

DATE: December 12, 2024

TO: Joliet Plan Commission

FROM: Planning Staff

SUBJECT: PUD-9-24: Preliminary Planned Unit Development for Vista Ridge Subdivision. (8301 Caton Farm Road) (COUNCIL DISTRICT #3)

PUD-10-24: Final Planned Unit Development for Vista Ridge Subdivision, Phase 1. (8301 Caton Farm Road) (COUNCIL DISTRICT #3) - WITHDRAWN

PUD-11-24: Final Planned Unit Development for Vista Ridge Subdivision, Phase 2. (8301 Caton Farm Road) (COUNCIL DISTRICT #3) - WITHDRAWN

Z-2-24: Zoning Reclassification of Part of 8301 Caton Farm Road from an R-1B (Single-Family Residential) Zoning District and an R-4 (Low Density Multi-Family Residential) Zoning District to an R-2 (Single-Family Residential) Zoning District and from an R-1B (Single-Family Residential) Zoning District to an R-4 (Low Density Multi-Family Residential) Zoning District. (8301 Caton Farm Road) (COUNCIL DISTRICT #3)

GENERAL INFORMATION:

APPLICANT: Vista Ridge Development LLC

STATUS OF APPLICANT: Contract Purchaser

OWNER: S & E Investments

REQUESTED ACTION: Approval of a Preliminary Planned Unit Development for Vista Ridge Subdivision, and zoning reclassification of part of 8301 Caton Farm Road from an R-1B (Single-Family Residential) zoning district and an R-4 (Low Density Multi-Family Residential) zoning district to an R-2 (Single-Family Residential) zoning

district and from an R-1B (Single-Family Residential) zoning district to an R-4 (Low Density Multi-Family Residential) zoning district.

**PURPOSE:** To allow future development of 321 single-family residential dwelling units and 76 townhouse dwelling units.

**LOCATION:** 8301 Caton Farm Road

**SIZE:** Preliminary PUD = 120 Acres

**EXISTING LAND USE:** Agricultural with a farmhouse residence.

**SURROUNDING LAND USE & ZONING:**  
North: Single-Family Residential; R-2  
South: One and Two-Family Residential; R-3  
East: Single-Family Residential; R-1B  
West: Single-Family Residential; R-1B

**SITE HISTORY:** The subject property was annexed into the City and zoned to its current zoning designation of R-1B (Single-Family Residential) and R-4 (Low Density Multi-Family Residential) zoning in 2004. A Final Plat to approve the construction of 257 single-family residential homes and 72 townhouse dwelling units was approved in 2006; however, a recording plat for the subdivision was never recorded. Due to unfavorable market conditions, the subject property, consisting of 120 acres, has remained undeveloped farmland since the original entitlements were sought nearly 20 years ago. Currently, the petitioner, Vista Ridge Development LLC, wishes to develop 321 single-family residences and 76 townhouse dwelling units on the 120-acre property. At this time, the petitioner is only pursuing a Preliminary Planned Unit Development and zoning reclassifications to allow the proposed total buildout.

**SPECIAL INFORMATION:** The petitioner is requesting approval of a Preliminary Planned Unit Development (PUD) for the entire 120-acre site where the 397 dwelling units would be built. The petitioner had originally requested approval of the Final Planned Unit Development for Phase 1 of the Subdivision, which would consist of 69 single-family dwelling units and 76 townhouse dwelling units, and the Final Planned Unit Development for Phase 2 of the Subdivision, which would consist of 67 single-family residential dwelling units. After further consideration, the

petitioner has decided to only pursue approval of the Preliminary PUD and Zoning Reclassifications. Future petitions for Final Platting of the subject property will be required before the subdivision can be recorded and ready for construction.

The petitioner is also requesting a zoning reclassification for much of the site from R-1B (Single-Family Residential) zoning to R-2 (Single-Family Residential) zoning to allow for smaller lot sizes than what was originally proposed in 2006. The requested area containing R-4 (Low Density Multi-Family Residential) zoning is also being altered to accommodate the proposed layout of townhomes. The developer is requesting approval of four additional townhome units with the current PUD. The attached Plat of Zoning shows which areas would contain R-2 and R-4 zoning. Draft elevations and floor plans of the proposed models have been included in the staff report packet. Homes would range between 1,400 and 2,571 square feet in size and feature 2-3 bathrooms and 3-5 bedrooms per unit. Lots within the R-2 zoned area would be a minimum of 7,500 square feet in size, with an average lot size of 8,713 square feet.

Per Section 47-15A.1 of the City's Zoning Ordinance, the legislative intent to allow Planned Unit Developments in the City of Joliet is to provide for certain exceptions to the use and bulk regulations of the Zoning Ordinance, where such exceptions will be utilized to provide greater flexibility and originality in the design of large-scale projects and to promote good site planning, better design, provisions for open spaces and high standards of light and air. The petitioner is requesting the following use exceptions with the proposed Preliminary PUD, which would be carried over to future Final PUD petitions:

1. Exception to reduce the required right-of-way from 66 ft. to 60 ft.
2. Exception to allow 4.45 dwelling units per acre in the proposed R-2 zoning area instead of 2.5 dwelling units per acre, as prescribed in the City's Kendall County Sub Area Comprehensive Plan.
3. Exception to allow 9.42 dwelling units per acre in the proposed R-4 zoning area instead of the maximum allowable density of 6 dwelling units per acre, per the regulations of the R-4 zoning district.
4. Exception to allow roundabout and eyebrow radii to be reduced from 75 ft. to 60 ft.
5. Exception to reduce the Greywall Boulevard right-of-way to 70 ft.
6. Exception to the use of brick or stone in exterior elevations, per Section 47-17.30(E) of the City's Zoning Ordinance, to allow building exteriors to match the attached elevations.

The site will be subject to school site and school facilities fees, Joliet water and sewer connection fees, and the economic development impact fee. All new homes will be required to meet the Anti-Monotony standards. The petitioner presented the subdivision proposal to the City's Land Use and Economic Development Committee on July 24, 2024. The Committee gave a favorable recommendation to the developer to proceed with applying for the subject petitions.

ANALYSIS: Approval of the requested petitions will allow the developer to proceed with preparing Final PUD Plats for the subject property, which would ultimately allow construction of 321 single-family dwelling units and 76 townhouse units in the Vista Ridge Subdivision. Staff recognizes the proposed density of the subdivision is greater than the original proposal from 2006 and is a minor deviation from the prescribed lot size and density that is called for with the Kendall County Sub Area Comprehensive Plan. However, per the direction of the Plan, the development will still be largely single-family residential in nature, with approximately 81% of all units being single-family residential. The Plan also emphasizes having a mix of townhomes with single-family residential development, which the petitioner is proposing. Staff believes the proposed PUD does a satisfactory job of integrating low-density multiple family residential development into the Plan Area and subject property, while maintaining a primarily single-family character. The subdivision as proposed would also add 8 acres of park and green space, with three separate park areas located throughout the development. The developer is currently finalizing arrangements with the Plainfield Park District to accept ownership and maintenance of these parks.

The proposed lot sizes within the R-2 (Single-Family Residential) zoning district are a single step above the lot sizes that are permitted within the R-1B zoning district. The proposed single-family density of 4.45 dwelling units per acre, while above what is prescribed in the Kendall County Sub Area Comprehensive Plan, is still within the gross density that is allowed within the R-2 zoning district, with a cap of 5.8 dwelling units per acre, and aligns closely with the top end gross density that is allowed in the R-1B zoning district at 4.7 dwelling units per acre. Similarly, the proposed townhome density within the R-4 zone, while surpassing the maximum net density of 6 dwelling units per acre within the R-4 section of the Zoning Ordinance at 9.42 dwelling units per acre, still aligns with the allowable density based off minimum lot area per unit of 2,500 square feet per dwelling unit. Extrapolated on a per acre basis, this would allow for a net density of approximately 12 dwelling units per acre, when assuming 30% of gross land consumption would be attributed to unusable space such as right-of-way and stormwater detention areas.

The PUD as proposed meets the intent of several objectives from the Kendall County Sub Area Comprehensive Plan and matches the general character of newer residential subdivisions in the surrounding area.

FLOODPLAIN: ACCORDING TO FEMA FIRM MAP 17093C0135H EFF. 1/8/2014 NO FLOODPLAIN EXISTS ON THIS SITE. ALL OF THE SITE IS WITHIN ZONE "X" (AREAS OF MINIMAL FLOOD HAZARD).

- GENERAL NOTES**
1. PARKWAYS, NEW DITCHES AND DETENTION AREAS SHALL RECEIVE MINIMUM 4" TOPSOIL AND SHALL BE SEEDED OR SODDED IN ACCORDANCE WITH THE KENDALL COUNTY SOIL EROSION AND SEDIMENT CONTROL ORDINANCE.
  2. SCHOOL, PARK AND LIBRARY DONATION SHALL BE PROVIDED.
  3. STREET SIGNS SHALL BE PROVIDED AT EACH INTERSECTION.
  4. AN EROSION CONTROL PLAN MEETING THE REQUIREMENTS OF THE ILLINOIS EPA AND THE ILLINOIS PROCEDURES FOR URBAN SOIL EROSION AND SEDIMENTATION CONTROL MANUAL WILL BE PROVIDED.

THIS PLAT IS NOT FOR RECORD

**PRELIMINARY PLANNED UNIT DEVELOPMENT  
PLAT OF VISTA RIDGE SUBDIVISION  
JOLIET, ILLINOIS**

**LEGAL DESCRIPTION**

PARCEL 1:  
THE EAST 60 ACRES OF THE SOUTHWEST 1/4 OF SECTION 26, TOWNSHIP 36 NORTH, RANGE 8, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN THE TOWNSHIP OF NA-AU-SAY, KENDALL COUNTY, ILLINOIS.

PARCEL 2:  
THE WEST 60 ACRES OF THE SOUTHWEST 1/4 OF SECTION 26, TOWNSHIP 36 NORTH, RANGE 8, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN THE TOWNSHIP OF NA-AU-SAY, KENDALL COUNTY, ILLINOIS.

**BASIS OF BEARINGS**

THE BASIS OF BEARINGS IS THE STATE PLANE COORDINATE SYSTEM (SPCS) NAD 83 (2011) ZONE 1201 (ILLINOIS EAST) WITH PROJECT ORIGIN AT  
LATITUDE: 41-33-52.2432 N  
LONGITUDE: 88-17-04.92888 W  
ELLIPSOIDAL HEIGHT: 549.281 SFT  
GROUND SCALE FACTOR: 1.000510085 GEOID 18US  
ALL MEASUREMENTS ARE ON THE GROUND.

**ZONING**

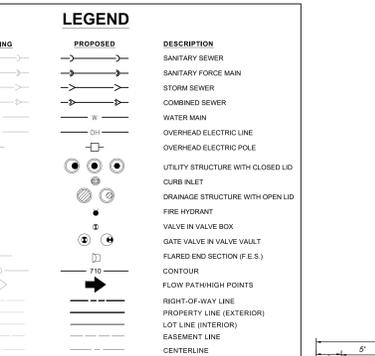
EXISTING SINGLE FAMILY ZONING: R-1B SINGLE FAMILY RESIDENTIAL  
PROPOSED SINGLE FAMILY ZONING: R-2 SINGLE FAMILY RESIDENTIAL  
EXISTING MULTI FAMILY ZONING: R-4 MULTI FAMILY RESIDENTIAL  
PROPOSED MULTI FAMILY ZONING: R-4 MULTI FAMILY RESIDENTIAL

**SITE DATA - FULL SITE**

GROSS SITE AREA = 120.00 AC.  
PARK AREAS = 5.25 AC.  
STORMWATER MANAGEMENT AREA = 11.29 AC.  
OPEN SPACE (OUTLOTS) = 2.75 AC.  
ROW DEDICATION = 26.72 AC.  
321 SINGLE FAMILY LOTS + ROW = 92.36 AC.  
GROSS LAND USE (321 LOTS + ROW) = 77%  
NET LAND USE (321 LOTS W/OUT ROW) = 65.64 AC.  
SINGLE FAMILY DENSITY (321/72.12) = 4.45 DU/AC  
MINIMUM LOT SIZE = 7,500 SF  
MAXIMUM LOT SIZE = 16,216 SF  
AVERAGE LOT SIZE = 8,713 SF  
76 TOWNHOMES (20' x 48") = 8.35 AC  
ROW DEDICATION = 1.80 AC  
LAND USE W/OUT ROW (TOWNHOMES) = 6.55 AC  
GROSS LAND USE (TOWNHOMES) = 6.96%  
TOWNHOMES DENSITY (76/8.07 AC) = 9.42 DU/AC  
397 TOTAL UNITS  
GROSS DENSITY = 4.84 DU/AC.

**BENCHMARKS**

REFERENCE BENCHMARK  
NGS DP5475 = TOP OF STEEL ROD IN AN ENCASED SLEEVE SURROUNDED BY A FLOATING BRONZE DISK LOCATED 8 FEET WEST OF THE EDGE OF PAVEMENT OF STATE HIGHWAY 59, 50 FEET SOUTH OF A LIGHT POLE AND 17 FEET EAST OF THE EAST EDGE OF A SIDEWALK.  
NAVD88 ELEVATION = 603.19.



**CITY COUNCIL CERTIFICATE**

STATE OF ILLINOIS )  
COUNTY OF WILL ) SS

APPROVED AND ACCEPTED BY THE MAYOR AND THE CITY COUNCIL OF THE CITY OF JOLIET, ILLINOIS, AT A MEETING HELD THE \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 2024.

APPROVED BY ORDINANCE NO. \_\_\_\_\_

MAYOR \_\_\_\_\_

CITY CLERK \_\_\_\_\_

**PLAN COMMISSION CERTIFICATE**

STATE OF ILLINOIS )  
COUNTY OF WILL ) SS

APPROVED BY THE PLAN COMMISSION OF THE CITY OF JOLIET, WILL COUNTY, ILLINOIS THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, A.D. 2024.

CHAIRMAN OF THE PLAN COMMISSION \_\_\_\_\_

SECRETARY \_\_\_\_\_

**DESIGN CRITERIA**

**SANITARY SEWERS:**  
PIPE MATERIAL - PVC PIPE - SDR 26, ASTM D-3034  
TRENCH BACKFILL - CA-6  
MAXIMUM MANHOLE SPACING: 400'  
SEWER SERVICES - 6" PVC - OVERHEAD SEWERS REQUIRED.

**WATERSHEDS:**  
PIPE MATERIAL - DUCTILE IRON PIPE, CLASS 52, ANSI 21.51, PUSH-ON JOINTS - PVC C900  
TRENCH BACKFILL - CA-6  
MAXIMUM FIRE HYDRANT SPACING - 300'  
WATER SERVICES - 1" TYPE "K" COPPER (MIN.)

**STORM SEWERS:**  
PIPE MATERIAL - REINFORCED CONCRETE PIPE - ASTM C-76  
JOINTS - GASKETED BELL & SPIGOT, ASTM C-361  
MAXIMUM CURB INLET SPACING - 300'  
ALL LOTS TO HAVE ACCESS TO STORM SEWER FOR PUMP CONNECTION

**STREET LIGHTS:**  
COMMONWEALTH EDISON CO. STANDARDS - 25' POLE HEIGHT  
SPACING: CATON FARM ROAD 250' NO. SIDE  
INTERNAL COLLECTORS: 200' STAGGERED (400' EACH SIDE)  
LOCAL STREETS: 250' SPACING - NO STAGGER REQUIRED

**STORMWATER MANAGEMENT DESIGN CRITERIA:**  
STORM SEWER DESIGN PERIOD - 10 YEARS, (PIPE-FULL CONDITION - NO SURCHARGE) 4.0" RAINFALL  
DETENTION BASIN DESIGN PERIOD - 100-YEAR, 24-HOUR 8.57" RAINFALL, 0.15 CFS/ACRE RELEASE  
2-YEAR, 24-HOUR 3.20" RAINFALL, 0.04 CFS/ACRE RELEASE

**PROJECT TEAM**

**OWNER/DEVELOPER**  
McNaughton Development  
11520 S. Jackson St. 101  
Burr Ridge, Illinois 60527  
630 325 3400

**ENGINEER**  
V3 Companies, Ltd.  
7325 James Avenue  
Woodridge, Illinois 60517  
630 724 9200

**SURVEYOR**  
V3 Companies, Ltd.  
7325 James Avenue  
Woodridge, Illinois 60517  
630 724 9200

**VICINITY MAP**

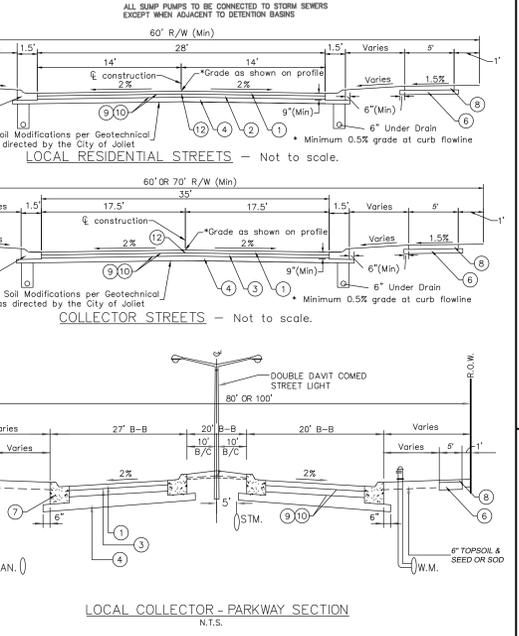
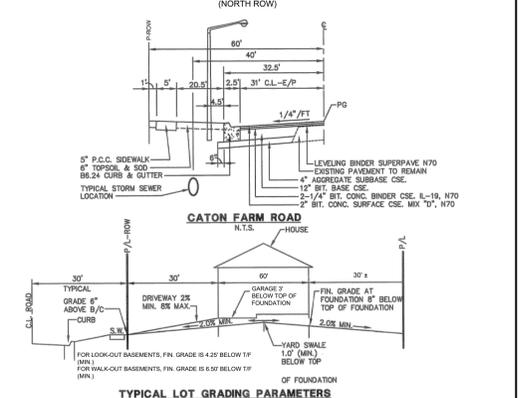
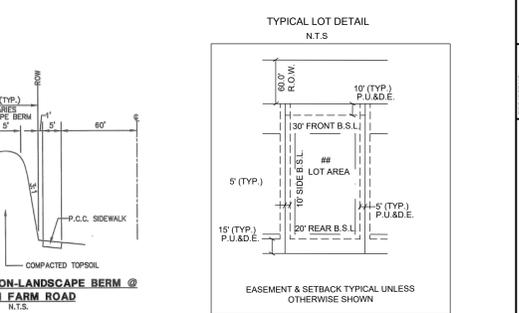
**SURVEYOR'S CERTIFICATE**

STATE OF ILLINOIS ) SS  
COUNTY OF DU PAGE )

I, CHRISTOPHER D. BARTOSZ, AN ILLINOIS PROFESSIONAL LAND SURVEYOR DO HEREBY CERTIFY THAT THE PLAT HEREON DRAWN WAS PREPARED AT AND UNDER MY DIRECTION. ALL DIMENSIONS SHOWN ARE IN FEET AND DECIMAL PARTS THEREOF.

GIVEN UNDER MY HAND AND SEAL THIS 13TH DAY OF NOVEMBER 13, A.D. 2024.

*Christopher D. Bartosz*  
CHRISTOPHER D. BARTOSZ  
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 35-3189  
MY LICENSE EXPIRES ON NOVEMBER 30, 2024  
V3 COMPANIES, LTD. PROFESSIONAL DESIGN FIRM NO. 184000902  
THIS DESIGN FIRM NUMBER EXPIRES APRIL 30, 2025.  
cdbartosz@v3co.com



**REVISIONS**

NO.	DATE	DESCRIPTION
1	11-13-24	REVISED PER CITY COMMENTS
2	11-13-24	REVISED PER CITY COMMENTS
3	11-13-24	REVISED PER CITY COMMENTS
4	11-13-24	REVISED PER CITY COMMENTS
5	11-13-24	REVISED PER CITY COMMENTS
6	11-13-24	REVISED PER CITY COMMENTS
7	11-13-24	REVISED PER CITY COMMENTS
8	11-13-24	REVISED PER CITY COMMENTS
9	11-13-24	REVISED PER CITY COMMENTS
10	11-13-24	REVISED PER CITY COMMENTS

**PROJECT INFORMATION**

PROJECT NO. 241015  
PROJECT MANAGER: [Name]  
DESIGNED BY: [Name]  
DRAWN BY: [Name]

**ILLINOIS**

**JOLIET**

**PRELIMINARY PLANNED UNIT DEVELOPMENT  
VISTA RIDGE SUBDIVISION**

1325 James Avenue  
Woodridge, IL 60517  
630.724.9200 phone  
www.v3co.com

**DRAWING NO. 1.0**

N:\2024\241015\Drawings\ACAD\LD\SS4\Misc\Drawings\Prelim\Plat241015.dwg 1/20/2024





October 17, 2024

Mr. James Torri  
City of Joliet  
Planning Director

Re: Vista Ridge

Dear Mr. Torri:

We are submitting the attached floor plans which are consistent with the Deer Crossing approved plans with the addition of the Townhome product intended for the Townhome section of Vista Ridge.

Ryan Homes is submitting the following plans:

- Ash
- Bayberry
- Cypress
- Elderberry
- Hazelnut
- Silver Oak
- Walnut
- Periwinkle (TH)
- The homes will follow the masonry requirements per the annexation agreement 3(d)

Sincerely,  
NVR/Ryan Homes

Mike Ciabattoni  
Market Manager & Vice President

**Approved:** \_\_\_\_\_

**Date:** \_\_\_\_\_



## VISTA RIDGE - PRODUCT

JOLIET, IL

**CONFIDENTIAL.** The statements, plans, photographs and illustrations included herein are provided for conceptual purposes and will be refined throughout execution.

# A Long History of Quality

As America's fourth-largest homebuilder, NVR has been constructing sought-after homes for over 40 years.

We currently operate in 15 states and thirty-five metropolitan areas under the brand names:

Ryan Homes

NVR

NVHomes

Heartland Homes

NVR builds single-family homes, townhomes and condos.

**Ryan Homes**

**NVR**

**NVHomes**

**HEARTLAND HOMES**

**15 states, 35 metro areas**

Over 510,000 homeowners have benefited from our expertise.

- **Mid Atlantic:** Maryland, Virginia, West Virginia, Delaware, Washington DC
- **North East:** Eastern Pennsylvania, New Jersey
- **Mid East:** Western Pennsylvania, New York, Ohio, Indiana, Illinois
- **South East:** North Carolina, South Carolina, Florida, Tennessee, Georgia

# Local Success – Chicago, IL Market

## Top 5 Builder in IL:

- 10+ Active Communities
- 473 Closings in 2023

2024 Projected Sales: **400+ Homes**



## Representative Projects:

Community	Subdivision Size	Type	Status
Deer Crossing	119	Single Family	87 Sales to Date
Railway Estates	110	Single Family	Sold Out
Grand Reserve	289	Single Family	209 Sales to Date
Green Ridge	104	Single Family	84 Sales to Date
Bristol Bay	70	Single Family	Sold Out



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# Product Offering – Single Family Detached



- **Single Story & Two-Story Homes**
  - **3-5 beds**
  - **2-Car Front-Loaded Garage**



**\* Note: Product will comply with masonry requirements pursuant to the Annexation Agreement: Sec 3(d)**

# Elevations – ASH

ASH

ELEVATION K



ELEVATION L



**Standard: 3 Beds, 2 Baths, 2-Car Garage, 1473 SF**

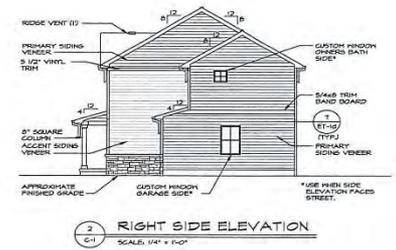
**\* Note: Product will comply with masonry requirements pursuant to the Annexation Agreement: Sec 3(d)**



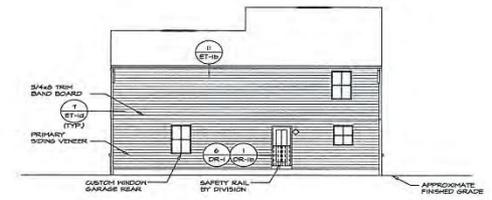




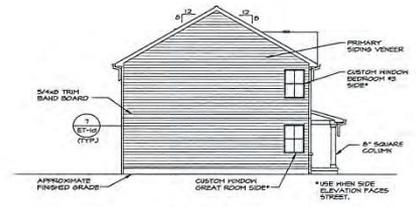
1 FRONT ELEVATION "L" II  
SCALE: 1/4" = 1'-0"



2 RIGHT SIDE ELEVATION  
SCALE: 1/4" = 1'-0"



3 REAR ELEVATION  
SCALE: 1/4" = 1'-0"



4 LEFT SIDE ELEVATION  
SCALE: 1/4" = 1'-0"

DATE	REV.	NO.	DATE
<p>ASH INC. 14711 N. ASPEN DRIVE, SUITE 100, DENVER, CO 80242          PHONE: 303.751.1100          FAX: 303.751.1101          WWW.ASHINC.COM</p>			
<p>SET: 18. APPROX          VERSION: 01          DRAWING TITLE: ELEVATIONS WITH COMPLETION OPTIONS          SHEET NO.: 0101          DATE: 01/20/2024          OFFICE: DENVER</p>	<p>18. APPROX          VERSION: 01          DRAWING TITLE: ELEVATIONS WITH COMPLETION OPTIONS          SHEET NO.: 0101          DATE: 01/20/2024          OFFICE: DENVER</p>		

# Elevations – BAYBERRY

ELEVATION K



ELEVATION L



**Standard: 4 Beds, 2 Baths, 2-Car Garage, 1714 SF**

**\* Note: Product will comply with masonry requirements pursuant to the Annexation Agreement: Sec 3(d)**

# Elevations – BAYBERRY



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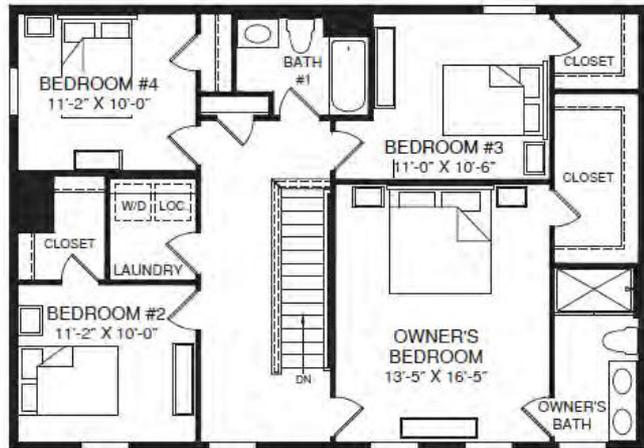
# Elevations – CYPRESS



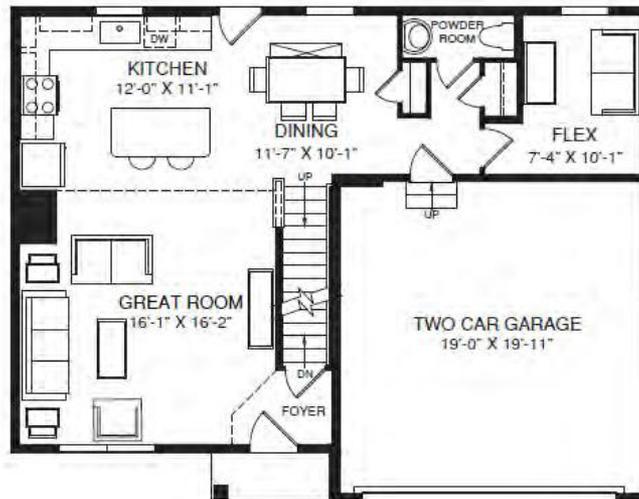
**Standard: 4 Beds, 2.5 Baths, 2-Car Garage, 1932 SF**

**\* Note: Product will comply with masonry requirements pursuant to the Annexation Agreement: Sec 3(d)**

# Elevations – CYPRESS

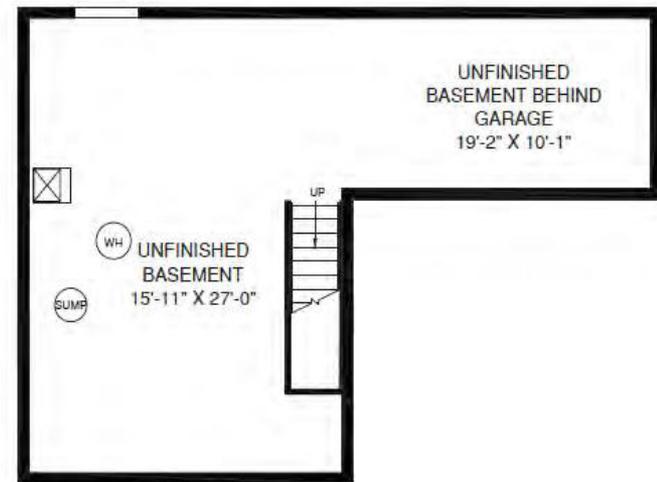


UPPER LEVEL

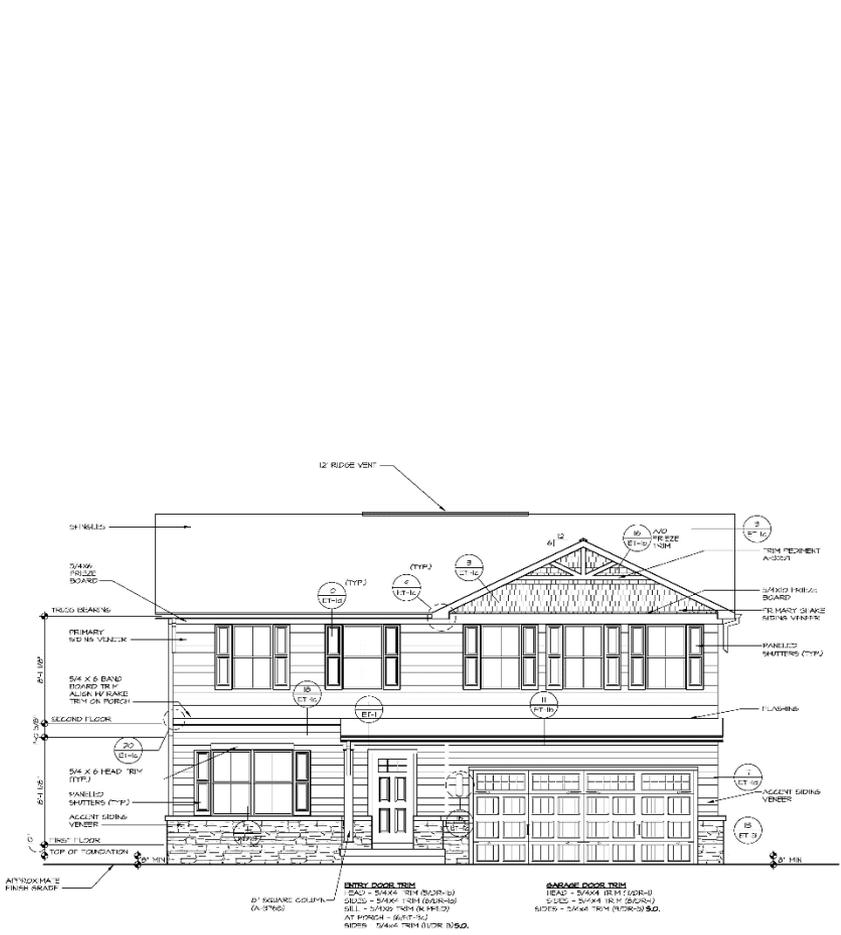


MAIN LEVEL

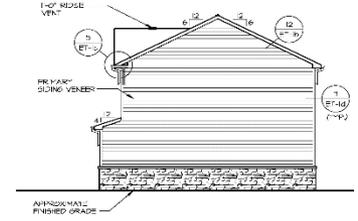
OPT. SLIDING GLASS DOOR



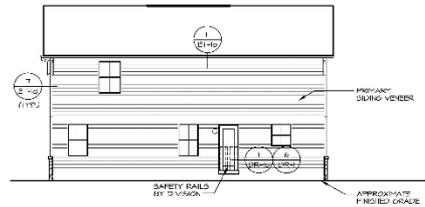
LOWER LEVEL



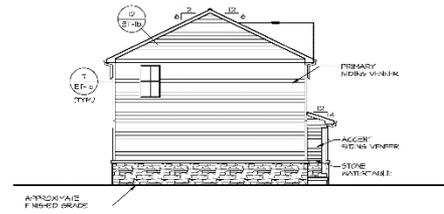
**1**  
C.O. **FRONT ELEVATION - K**  
SCALE: 1/4" = 1'-0"



**2**  
C.S. **RIGHT SIDE ELEVATION**  
SCALE: 1/8" = 1'-0"



**2**  
C.S. **REAR ELEVATION**  
SCALE: 1/8" = 1'-0"



**2**  
C.S. **LEFT SIDE ELEVATION**  
SCALE: 1/8" = 1'-0"

REMARKS

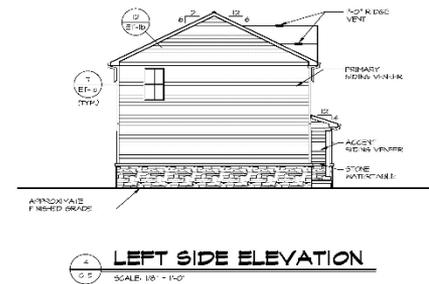
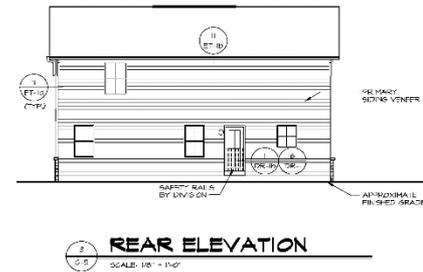
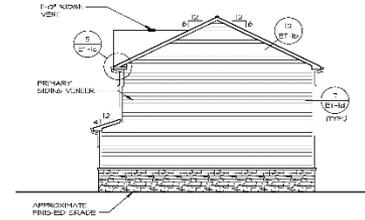
REV. NO. DATE

BY: [Signature] DATE: [Date]  
CHECKED BY: [Signature] DATE: [Date]  
PROJECT: [Project Name]  
SHEET: [Sheet Number] OF [Total Sheets]



SHEET NO. **CPYRESS**  
DATE: [Date]

ELEVATION **K**  
COMMUNITY OPTION SITE WATER TABLE



REMARKS

REV. NO. DATE

FOR THE CLIENT, ARCHITECT, ENGINEER, OR OTHER PROFESSIONAL CONSULTANT, THE ARCHITECT ASSURES THAT THE INFORMATION CONTAINED HEREIN IS THE PROPERTY OF NVR AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF NVR, INC.



FOR THE CLIENT, ARCHITECT, ENGINEER, OR OTHER PROFESSIONAL CONSULTANT, THE ARCHITECT ASSURES THAT THE INFORMATION CONTAINED HEREIN IS THE PROPERTY OF NVR AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF NVR, INC.

SHEET NO.

OPTIONAL WATER TABLE

# Elevations – ELDERBERRY

ELDERBERRY

ELEVATION K



ELEVATION L



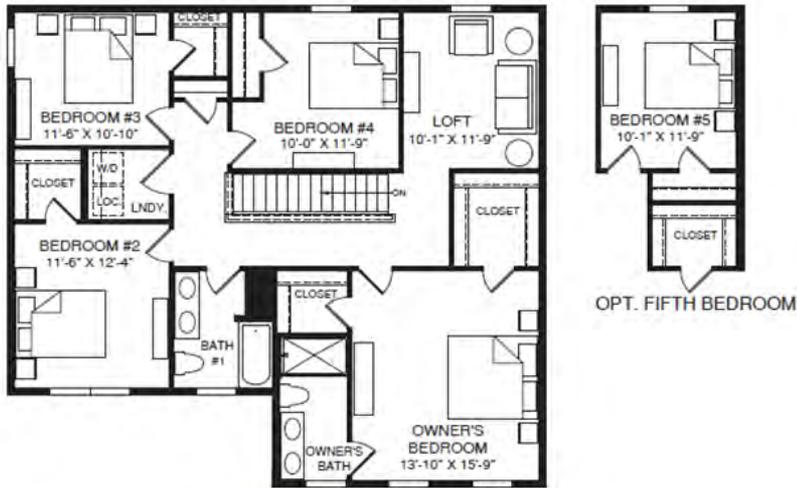
ELEVATION F



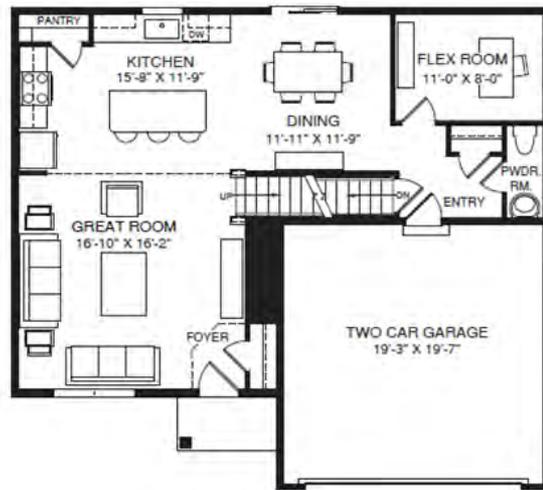
**Standard: 4 Beds, 2.5 Baths, 2-Car Garage, 2231 SF**

**\* Note: Product will comply with masonry requirements pursuant to the Annexation Agreement: Sec 3(d)**

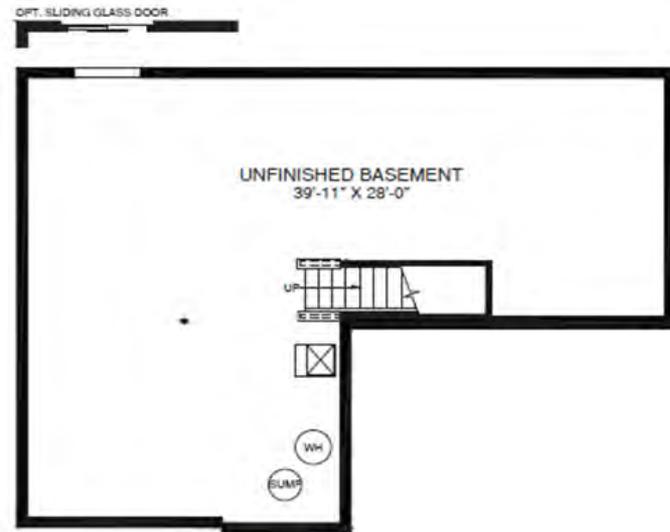
# Elevations – ELDERBERRY



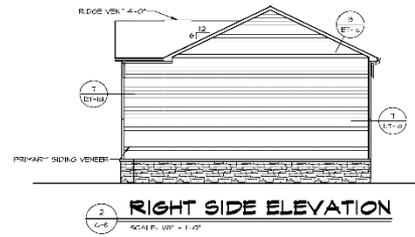
UPPER LEVEL



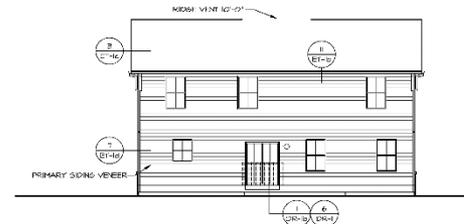
MAIN LEVEL



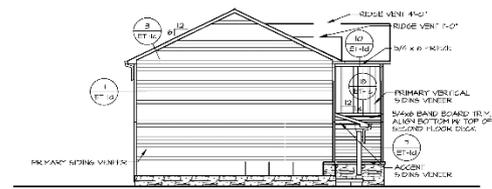
LOWER LEVEL



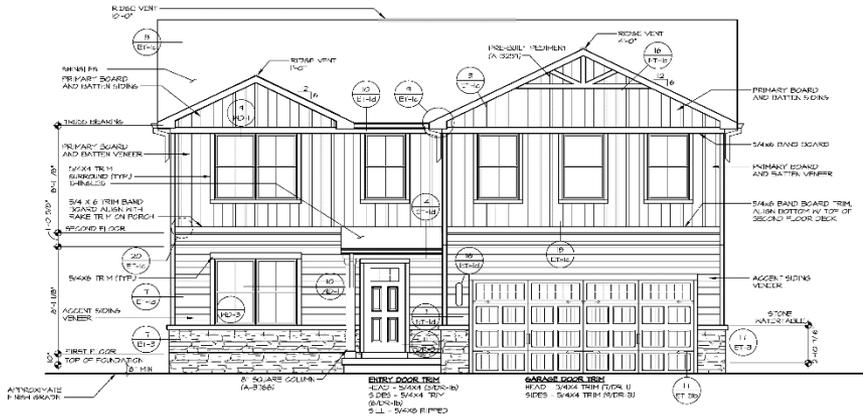
**RIGHT SIDE ELEVATION**  
SCALE: 1/8" = 1'-0"



**REAR ELEVATION**  
SCALE: 1/8" = 1'-0"



**LEFT SIDE ELEVATION**  
SCALE: 1/8" = 1'-0"



**FRONT ELEVATION "L"**  
SCALE: 1/4" = 1'-0"

REMARKS

REV. NO. DATE

BY: [Signature] DATE: [Date]  
CHECKED BY: [Signature] DATE: [Date]  
PROJECT: [Project Name]  
SHEET: [Sheet Number] OF [Total Sheets]



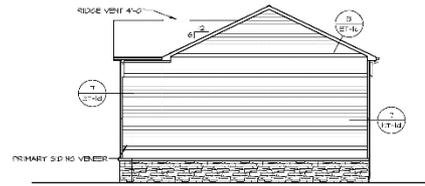
ELDERBERRY

SHEET NO.

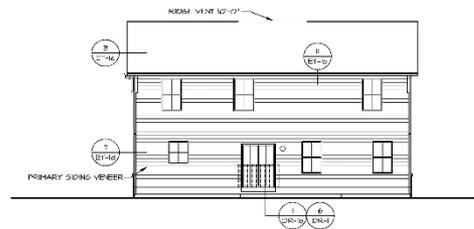
DATE



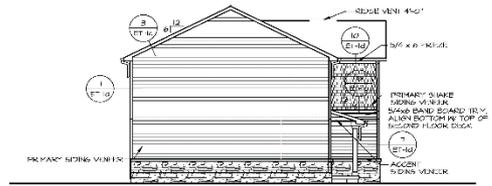
**FRONT ELEVATION "K"**  
SCALE: 1/4" = 1'-0"



**RIGHT SIDE ELEVATION**  
SCALE: 3/8" = 1'-0"



**REAR ELEVATION**  
SCALE: 1/8" = 1'-0"



**LEFT SIDE ELEVATION**  
SCALE: 1/8" = 1'-0"

REMARKS

REV. NO. DATE

FOR ALL PROJECTS, CONTRACTORS ARE TO VERIFY ALL DIMENSIONS AND MATERIALS WITH THE ARCHITECT BEFORE BEGINNING WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.



SHEET NO. ELDERBERRY

DATE: 11/15/2024

PROJECT: ELDERBERRY

SCALE: 1/8" = 1'-0"

DATE: 11/15/2024

PROJECT: ELDERBERRY

# Elevations – HAZELNUT



**Standard: 5 Beds, 3 Baths, 2-Car Garage, 2571 SF**

**\* Note: Product will comply with masonry requirements pursuant to the Annexation Agreement: Sec 3(d)**

# Elevations – HAZELNUT

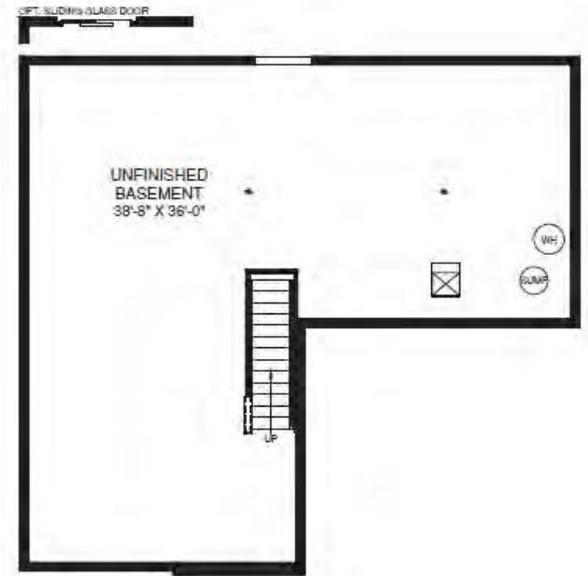


OPT. FIFTH BEDROOM  
ILO LOFT

UPPER LEVEL



MAIN LEVEL



LOWER LEVEL





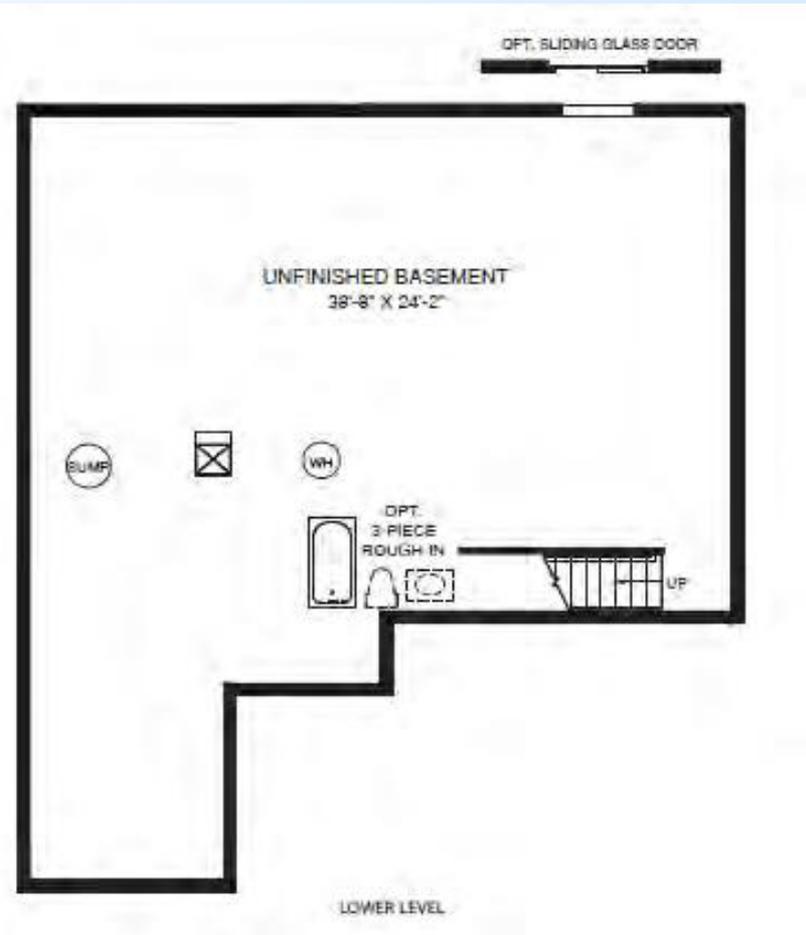
# Elevations – SILVER OAK



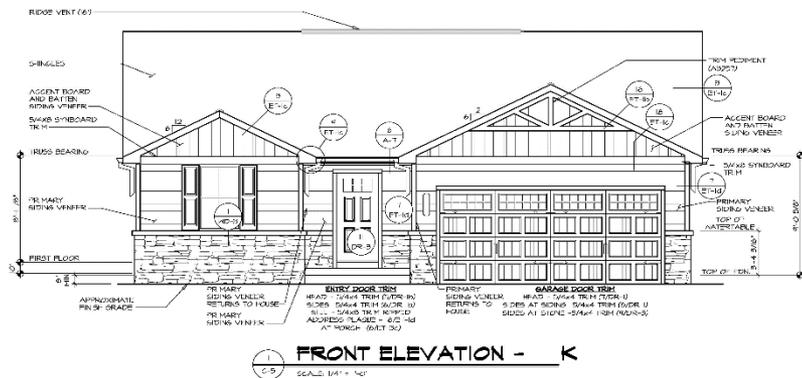
**Standard: 3 Beds, 2 Baths, 2-Car Garage, 1379 SF**

**\* Note: Product will comply with masonry requirements pursuant to the Annexation Agreement: Sec 3(d)**

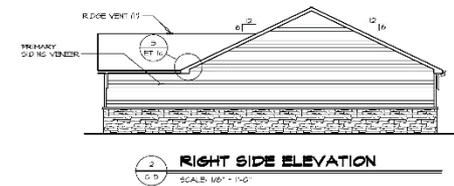
# Elevations – SILVER OAK



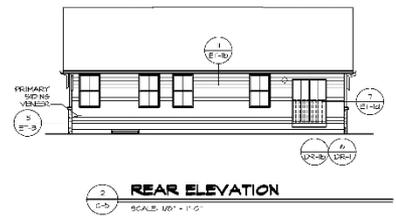




**1**  
C-5  
**FRONT ELEVATION - K**  
SCALE: 1/4" = 1'-0"



**2**  
C-6  
**RIGHT SIDE ELEVATION**  
SCALE: 1/4" = 1'-0"



**2**  
C-6  
**REAR ELEVATION**  
SCALE: 1/4" = 1'-0"



**4**  
C-6  
**LEFT SIDE ELEVATION**  
SCALE: 1/4" = 1'-0"

REV. NO. DATE

BY: [Signature] DATE: [Date]  
CHECKED BY: [Signature] DATE: [Date]  
PROJECT: [Project Name]  
SHEET: [Sheet Number] OF [Total Sheets]



SHEET NO. **SILVER OAK**

FOUNDATION PLAN  
ELEVATION K  
COMMUNITY OPTION STOVE WATER TABLE

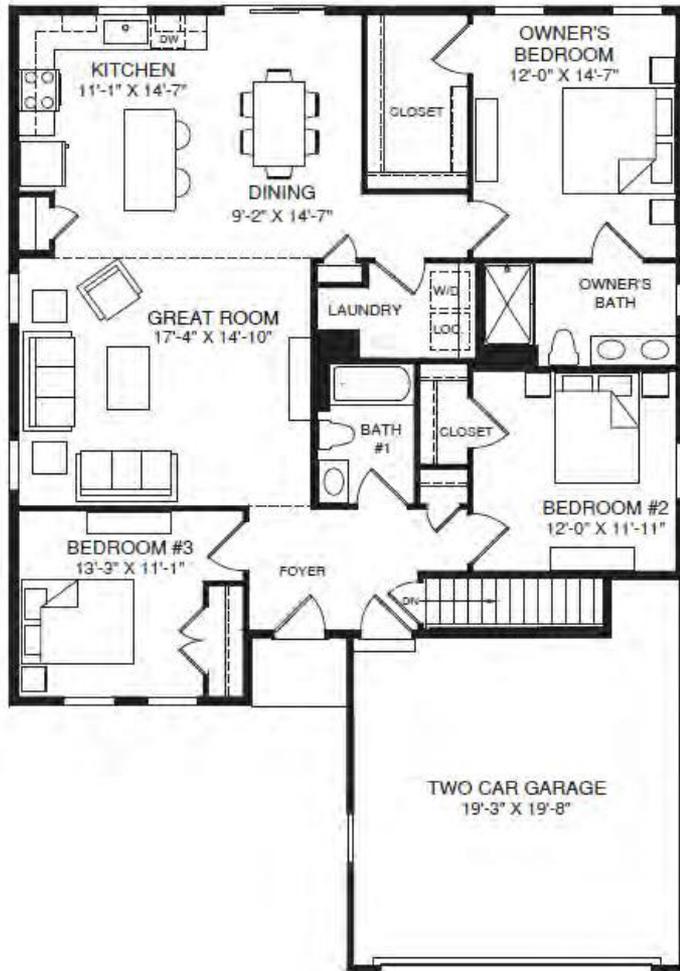
# Elevations – WALNUT



**Standard: 3 Beds, 2 Baths, 2-Car Garage, 1560 SF**

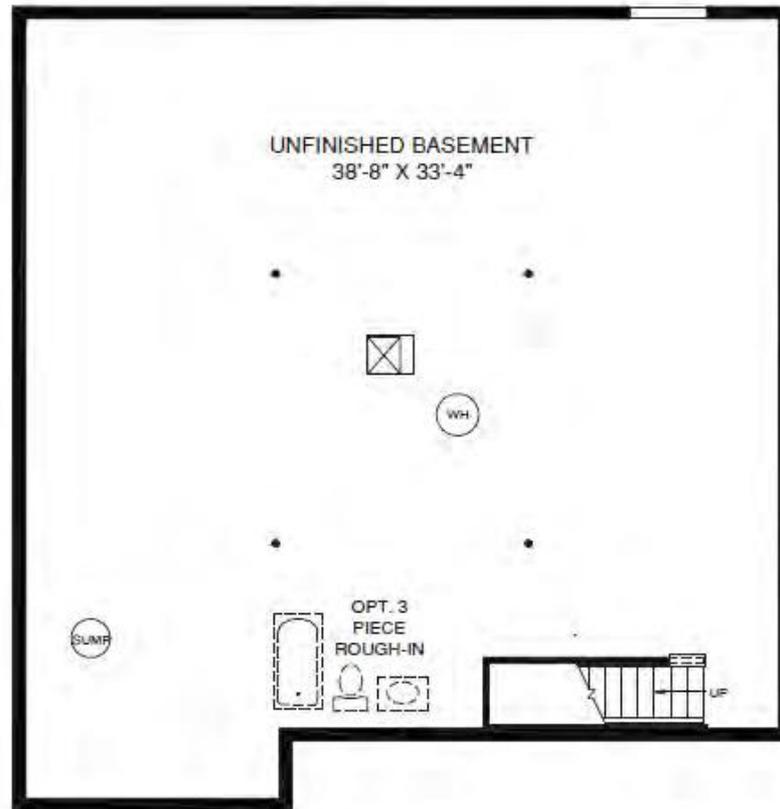
**\* Note: Product will comply with masonry requirements pursuant to the Annexation Agreement: Sec 3(d)**

# Elevations – WALNUT



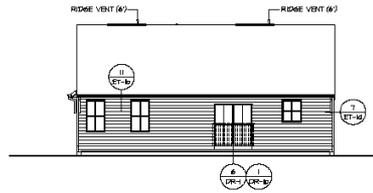
MAIN LEVEL

OPT. SLIDING GLASS DOOR

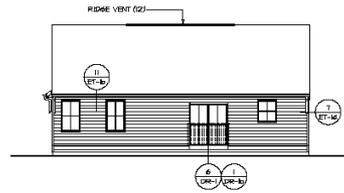


LOWER LEVEL

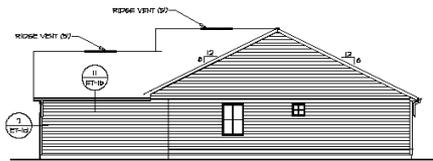




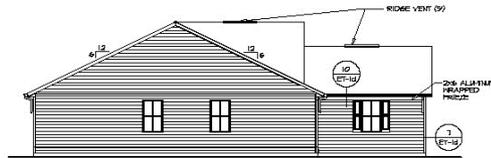
2 REAR ELEVATION "L"  
SCALE: 1/8" = 1'-0"



1 REAR ELEVATION "K"  
SCALE: 1/8" = 1'-0"



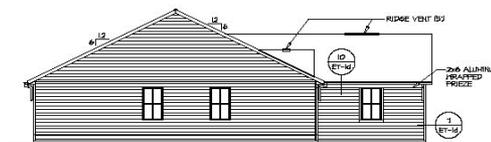
2 RIGHT ELEVATION "L"  
SCALE: 1/8" = 1'-0"



3 LEFT ELEVATION "L"  
SCALE: 1/8" = 1'-0"



1 RIGHT ELEVATION "K"  
SCALE: 1/8" = 1'-0"



1 LEFT ELEVATION "K"  
SCALE: 1/8" = 1'-0"

REMARKS

REV. NO. DATE

NOTES:  
1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL RESIDENTIAL CODE BOOK (IRC) AND THE INTERNATIONAL BUILDING CODE (IBC).  
2. ALL MATERIALS SHALL BE NEW UNLESS OTHERWISE NOTED.  
3. ALL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL BUILDING DEPARTMENT.  
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.  
5. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL UTILITIES AND ADJACENT PROPERTIES AT ALL TIMES.  
6. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.  
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES.  
8. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE SPECIFICATIONS AND DRAWINGS.  
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.  
10. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL UTILITIES AND ADJACENT PROPERTIES AT ALL TIMES.



OPTION

WALNUT  
OPTION DESCRIPTION

SHEET NO. MODEL

# Product Offering – Single Family Attached



\*Typical Driveway Width: 12ft

(2-car minimum width)

\* **Note: Product will comply with the Attached Product masonry requirements pursuant to the Annexation Agreement: Sec 3(d)**

- **Two-Story Homes**
  - **3 beds**
  - **2 bath**
  - **1513 SF**
- **Single Car Front-Loaded Garage**

# Product Offering – Single Family Attached



**\* Note: Product will comply with Attached Product masonry requirements pursuant to the Annexation Agreement: Sec 3(d)**



1 FRONT ELEVATION "A"  
SCALE: 1/8" = 1'-0"



2 FRONT ELEVATION "B"  
SCALE: 1/8" = 1'-0"



3 FRONT ELEVATION "C"  
SCALE: 1/8" = 1'-0"

NOTE:  
GARAGE DOOR GLASS  
COLOR MAY VARY BY  
MANUFACTURER

REVISIONS

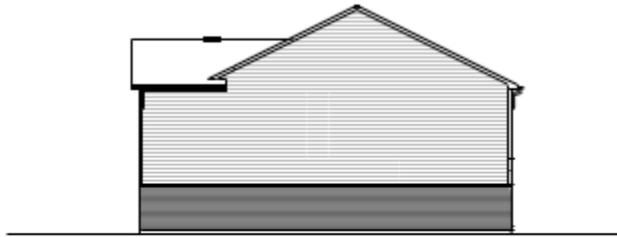
REV. NO. DATE

NOTES:  
1. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.  
2. FINISH GRADE SHALL BE INDICATED BY A DASHED LINE.  
3. SEE ARCHITECT'S NOTES FOR ALL OTHER REQUIREMENTS.  
4. SEE SPECIFICATIONS FOR ALL MATERIALS AND FINISHES.

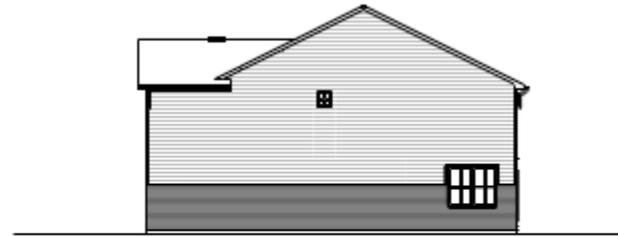


NO.	DESCRIPTION	OPTION

PROJECT: PERWINKLE  
PROJECT NUMBER: 1000  
OPTION DESCRIPTION



1 SIDE ELEVATION  
SCALE: 1/8" = 1'-0"



2 SIDE ELEVATION  
SCALE: 1/8" = 1'-0" WOODS END UNIT SIDE - 1/4" x 1/2"



3 REAR ELEVATION  
SCALE: 1/8" = 1'-0"



4 4 - UNIT BUILDING  
SCALE: 1/8" = 1'-0"



5 5 - UNIT BUILDING  
SCALE: 1/8" = 1'-0"

**\* Note: Product will comply with Attached Product masonry requirements pursuant to the Annexation Agreement: Sec 3(d)**

REVISIONS	
NO. DATE	
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PROJECT NO.	1000000000
PROJECT DESCRIPTION	
OPTION	
DATE	

**NVR**  
 2200 Northway Drive, Suite 100  
 Frederick, MD 21704  
 410-312-7123

# SAMPLE INTERIOR: ELDERBERRY

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# SAMPLE INTERIOR: ELDERBERRY

---



# SAMPLE INTERIOR: ELDERBERRY

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**CONFIDENTIAL.** The statements, plans, photographs and illustrations included herein are provided for conceptual purposes and will be refined throughout execution.

# SAMPLE INTERIOR: ELDERBERRY

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**CONFIDENTIAL.** The statements, plans, photographs and illustrations included herein are provided for conceptual purposes and will be refined throughout execution.

# SAMPLE INTERIOR: ELDERBERRY

---



**CONFIDENTIAL.** The statements, plans, photographs and illustrations included herein are provided for conceptual purposes and will be refined throughout execution.

# SAMPLE INTERIOR: PERIWINKLE

---



**CONFIDENTIAL.** The statements, plans, photographs and illustrations included herein are provided for conceptual purposes and will be refined throughout execution.

# SAMPLE INTERIOR: PERIWINKLE

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# SAMPLE INTERIOR: PERIWINKLE

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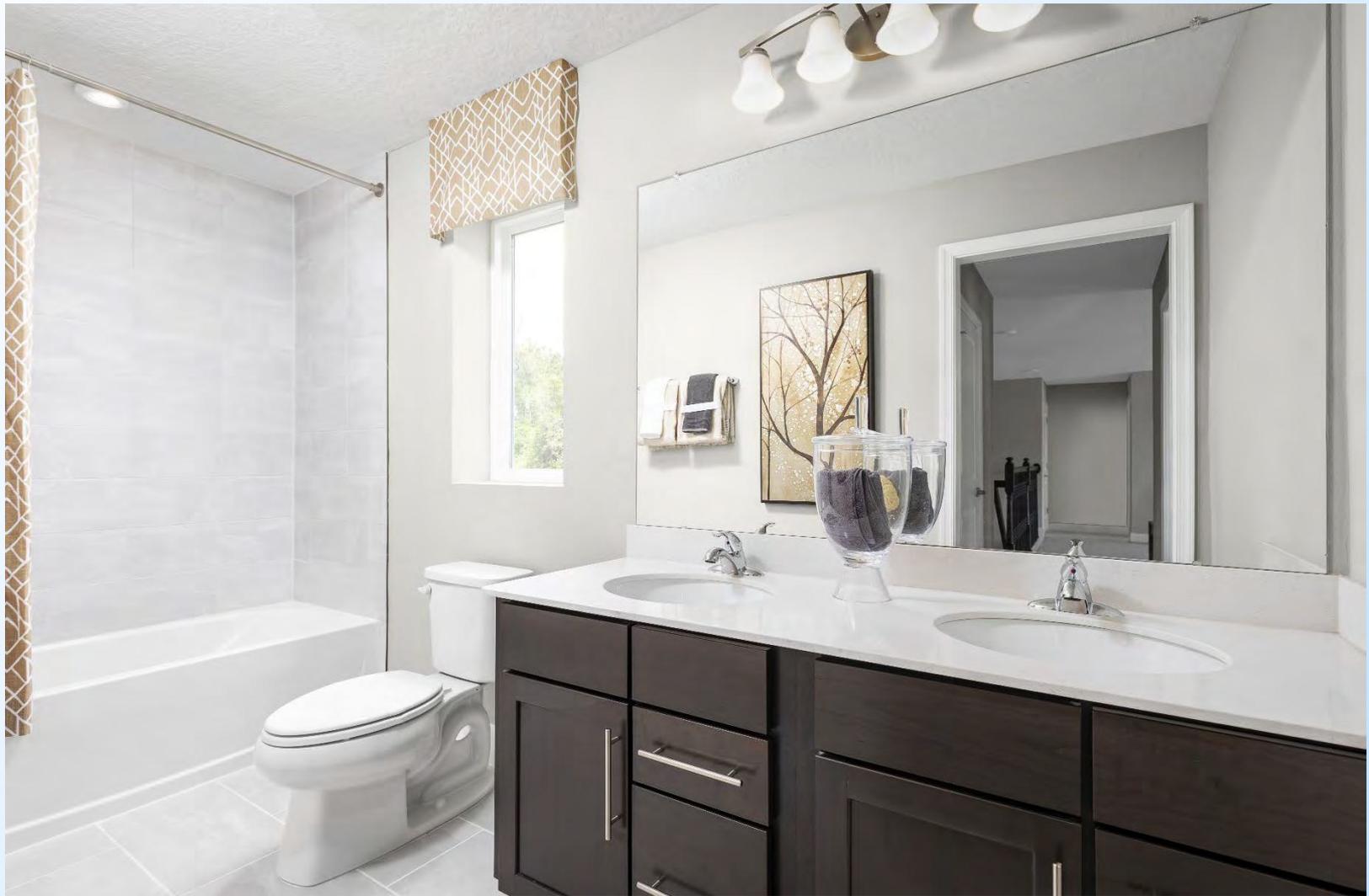


# SAMPLE INTERIOR: PERIWINKLE

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# SAMPLE INTERIOR: PERIWINKLE



**CONFIDENTIAL.** The statements, plans, photographs and illustrations included herein are provided for conceptual purposes and will be refined throughout execution.

# Thank You

---

Market Manager &  
Vice President

**Mike Ciabattoni**  
302.381.4718 | [mciabatt@nvrinc.com](mailto:mciabatt@nvrinc.com)

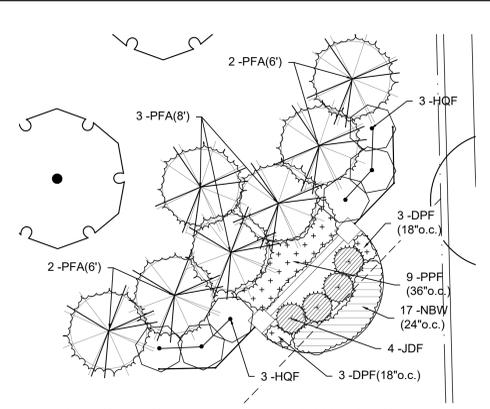
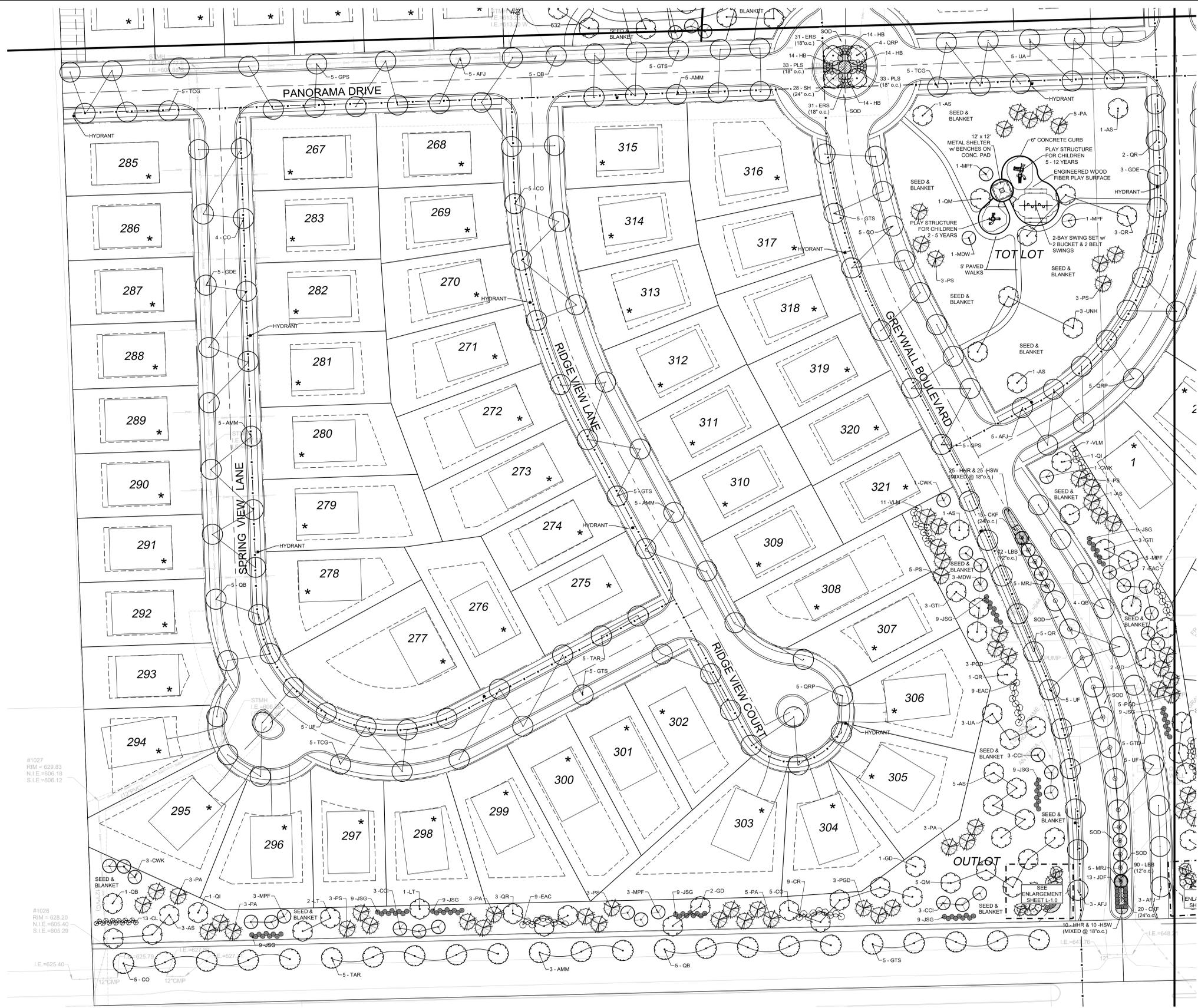
General Manager - Land

**Mark Fields**  
630.212.9856 | [mfields@nvrinc.com](mailto:mfields@nvrinc.com)

Land Acquisition Manager

**Charles Conde**  
914.815.0243 | [cconde@nvrinc.com](mailto:cconde@nvrinc.com)





**ENTRANCE MONUMENT LANDSCAPING**  
1"=10'

**GENERAL NOTES:**

Plant material shall be nursery grown and be either balled and bur-lapped or container grown. Sizes and spreads on plant list represent minimum requirements.

The requirements for measurement, branching and ball size shall conform to the latest addition of ANSI Z60.1, AMERICAN STANDARD OF NURSERY STOCK by the American Nursery & Landscape Association.

Any materials with damaged or crooked/disfigured leaders, bark abrasion, sunscald, insect damage, etc. are not acceptable and will be rejected. Trees with multiple leaders will be rejected unless called for in the plant list as multi-stem or clump (cl).

If any mistakes, omissions, or discrepancies are found to exist with the work product, the Landscape Architect shall be promptly notified so that they have the opportunity to take any steps necessary to resolve the issue. Failure to promptly notify the Landscape Architect and the Owner of such conditions shall absolve them from any responsibility for the consequences of such failure.

Quantity lists are supplied as a convenience. However, Bidders and the installing Contractor should verify all quantities. The drawings shall take precedence over the lists. Any discrepancies shall be reported to the Landscape Architect.

Actions taken without the knowledge and consent of the Owner and the Landscape Architect or in contradiction to the Owner and the Landscape Architect's work product or recommendations, shall become the responsibility not of the Owner and the Landscape Architect, but for the parties responsible for the taking of such action.

Civil Engineering or Architectural base information has been provided by others. The location of various site improvements on this set of drawings is only illustrative and should not be relied upon for construction purposes.

Refer to Civil Engineering documents for detailed information regarding size, location, depth and type of utilities, as well as locations of other site improvements, other than landscape improvements.

Plant symbols illustrated on this plan are a graphic representation of proposed plant material types and are intended to provide visual clarity. However, the symbols do not necessarily represent actual plant spread at the time of installation.

All plant species specified are subject to availability. Material shortages in the landscape industry may require substitutions. All substitutions must be approved by the Village, Landscape Architect and Owner.

Contractor shall verify location of all underground utilities prior to digging. For location outside the City of Chicago call "J.U.L.I.E." (Joint Utility Location for Excavators) 1-800-892-0123.

All perennial, ornamental grass, groundcover and annual beds shall be top dressed with a minimum of three inches (3") of mushroom compost. The top dressing shall be worked into the soil to a minimum depth of nine inches (9") by the use of a cultivating mechanism. Upon completion perennials and ornamental grasses shall be mulched with an additional two inch (2") layer of shredded wood mulch; Annuals & groundcovers shall be covered with an additional two inch (2") layer of mushroom compost.

All other planting beds and tree saucers shall be mulched with a minimum of three inches (3") of shredded wood mulch.

Planting beds adjacent to building shall be mulched in their entirety to the building foundation. Plant materials shall not be installed under building overhangs and other such areas which do not receive natural rainfall.

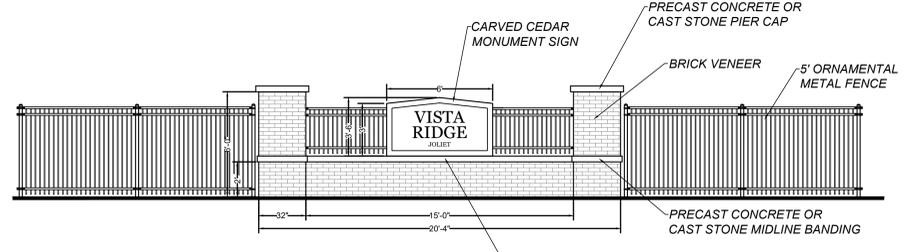
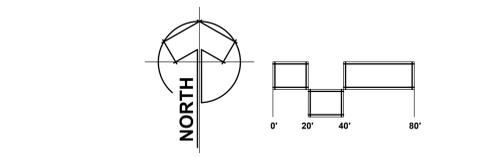
All bed lines and tree saucers shall require a hand spaced edge between lawn and mulched areas.

Grading shall provide slopes which are smooth and continuous. Positive drainage shall be provided in all areas.

Sod shall be mineral base only.

Seed mixes shall be applied mechanically so that the seed is incorporated into the top one-half inch (1/2") of the seed bed. The seed shall then be covered with the specified blanket (installed per manufacturer's specs) or Hydro-mulch.

All plant material shall be guaranteed for one (1) year from the date of acceptance.



**ENTRANCE MONUMENT**  
1/4"=1'-0"

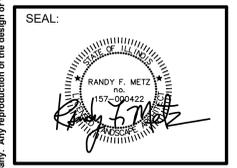
**PARKWAY TREE INSTALLATION NOTES:**

Landscape Contractor may not locate newly planted parkway trees within ten (10) feet from driveways, ten (10) feet from a fire hydrant, twenty (20) feet from street lights and thirty (30) feet away from intersecting right-of-way lines.

Newly planted parkway trees shall receive a donut-shaped mulch ring three (3) to four (4) inches deep from the base of the truck to the drip line. Mulch shall not be placed up along the base of the tuck creating a cone shaped ring.

**REVISIONS**


**VISTA RIDGE SUBDIVISION**  
JOLIET, ILLINOIS



**METZ & COMPANY**  
LANDSCAPE ARCHITECTS/SITE PLANNING  
826 East Maple Street  
Lombard, Illinois 60148  
PH: 630.561.3903  
Email: metz\_landarch@comcast.net

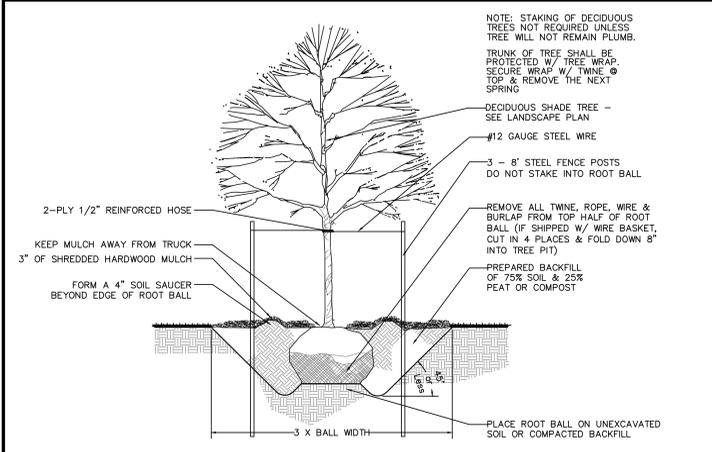
**TITLE**  
LANDSCAPE PLAN

**PROJECT NO.:**  
24-259

**DATE:** 9-25-2024  
**SCALE:** 1"=40'

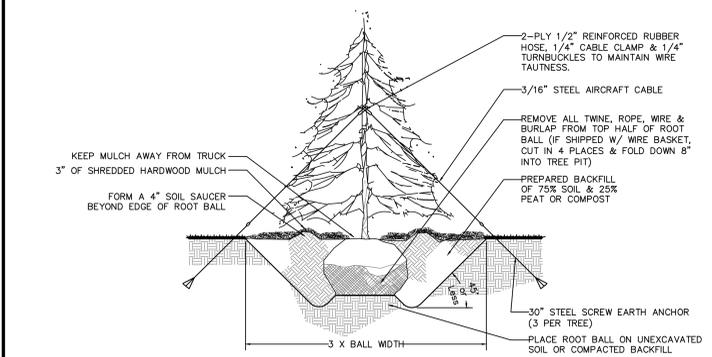
**SHEET**  
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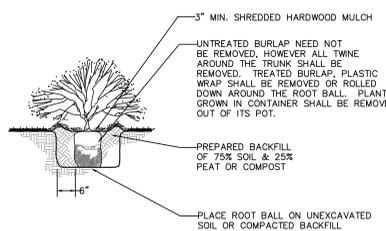


NOTE: STAKING OF DECIDUOUS TREES NOT REQUIRED UNLESS TREE WILL NOT REMAIN PLUMB.  
 TRUNK OF TREE SHALL BE PROTECTED W/ TREE WRAP. SECURE WRAP W/ TWINE @ TOP & REMOVE THE NEXT SPRING.  
 DECIDUOUS SHADE TREE - SEE LANDSCAPE PLAN  
 #12 GAUGE STEEL WIRE  
 3 - 8\"/>

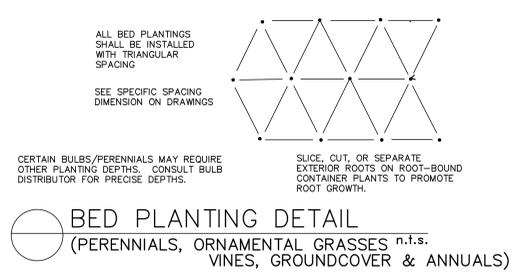
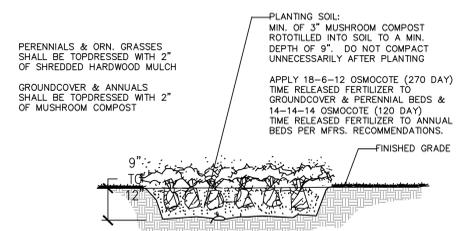
DECIDUOUS TREE n.t.s.



EVERGREEN TREE n.t.s.



SHRUBS n.t.s.



REVISIONS


**VISTA RIDGE SUBDIVISION**  
**JOLIET, ILLINOIS**

SEAL:  
  
 RANDY F. METZ  
 157-00422  
 Randy F. Metz

**METZ & COMPANY**  
 LANDSCAPE ARCHITECTURE/SITE PLANNING  
 826 East Maple Street  
 Lombard, Illinois 60148  
 PH: 630.561.3903  
 Email: metz\_landarch@comcast.net

TITLE  
**LANDSCAPE PLAN**

PROJECT NO.:  
**24-259**

DATE: 9-25-2024  
 SCALE: 1"=40'

SHEET  
**L-2.0**

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**EMERGENT WETLAND SEED MIX**  
Cardno-JFNew - Apply at 33.9 PLS pounds per acre

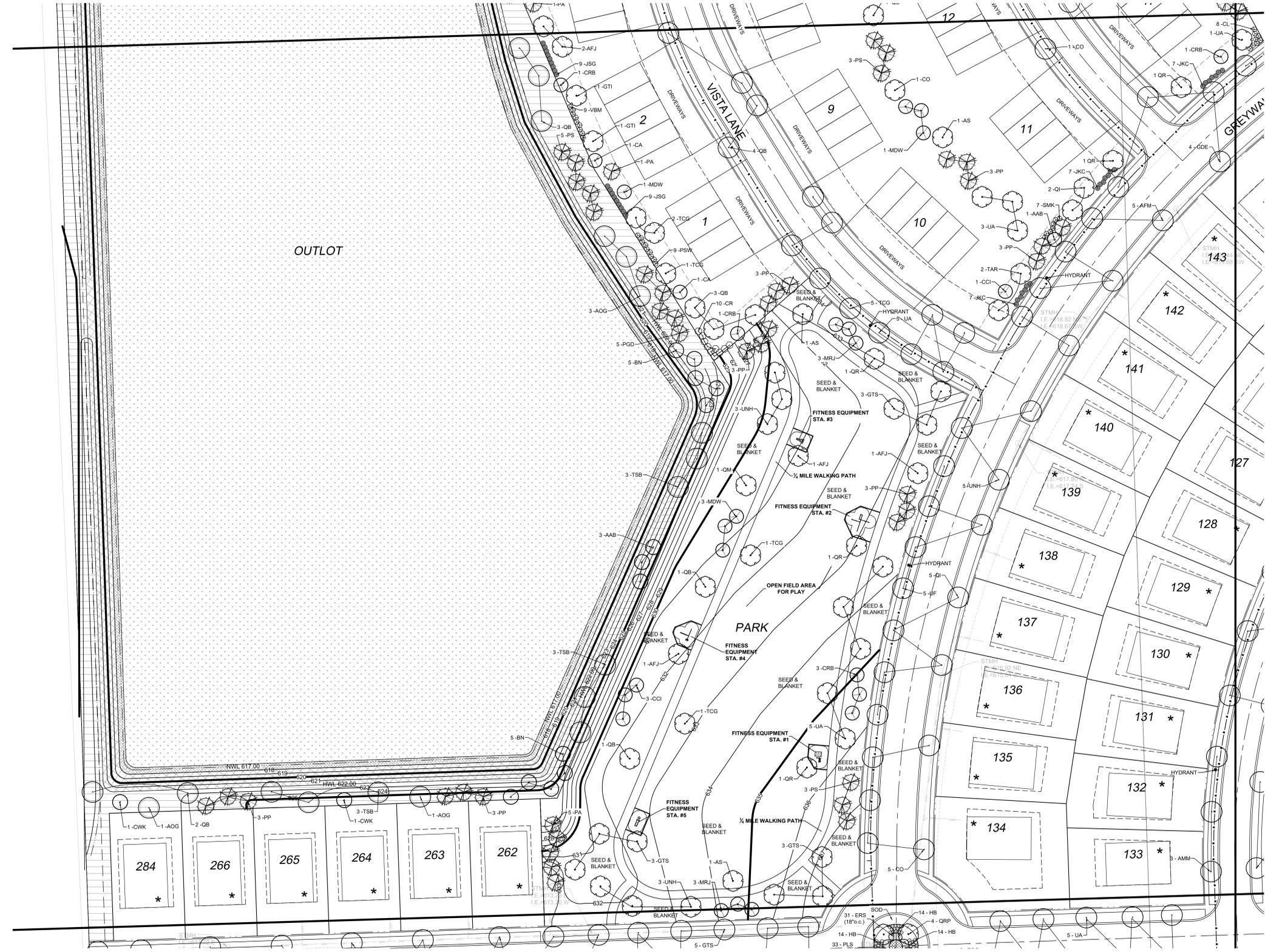
BOTANICAL / (COMMON) NAME	PLS OZ/Ac
<b>PERMANENT MATRIX:</b>	
Carex comosa (Bristly Sedge)	2.50
Carex lacustris (Common Lake Sedge)	0.25
Carex lurida (Bottlebrush Sedge)	4.00
Carex vulpinoidea (Brown Fox Sedge)	6.00
Eleocharis ovalis (Blunt Spike Rush)	1.00
Leersia oryzoides (Rice Cut Grass)	3.00
Juncus effusus (Common Rush)	1.00
Scirpus acutus (Hard-stemmed Bulrush)	2.50
Scirpus pungens (Charmaker's Rush)	4.00
Scirpus validus (Great Bulrush)	8.00
<b>TOTAL</b>	<b>30.25</b>
<b>TEMPORARY COVER:</b>	
Avena sativa (Seed Oats)	360.00
<b>TOTAL</b>	<b>360.00</b>
<b>FORBS:</b>	
Acorus calamus (Sweet Flag)	0.50
Alisma spp. (Water Plantain Mix)	2.00
Asclepias incarnata (Swamp Milkweed)	1.50
Cephalanthus occidentalis (Butterbush)	0.50
Decodon verticillatus (Swamp Loosestrife)	0.50
Eupatorium maculatum (Spotted Joe-Pye Weed)	0.50
Hibiscus spp. (Rose Mallow Mix)	3.00
Iris virginica (Blue Flag)	6.00
Lobelia siphilitica (Great Blue Lobelia)	1.50
Lobelia cardinalis (Cardinal Flower)	0.25
Lycopus americanus (Common Water Horehound)	0.25
Mimulus ringens (Monkey Flower)	1.00
Peltandra virginica (Arrow Arum)	16.00
Penthorum sedoides (Ditch Stonecrop)	0.50
Polygonum spp. (Smartweed Mix)	0.50
Pondtederia cordata (Piculet Weed)	10.00
Sagittaria latifolia (Common Arrowhead)	2.00
Sparganium americanum (American Bur Reed)	1.00
Sparganium eurycarpum (Common Bur Reed)	4.00
Verberna hastata (Blue Vervain)	1.00
<b>TOTAL</b>	<b>52.50</b>

**WETLAND EDGE SEED MIX**  
Cardno (or equivalent) - Apply @ 32.83 PLS pounds per acre

BOTANICAL / (COMMON) NAME	PLS OZ/Ac
<b>PERMANENT MATRIX:</b>	
Carex comosa (Bristly Sedge)	1.00
Carex cristatella (Crested Owl Sedge)	2.00
Carex banksii (Bristly Cattail Sedge)	6.00
Carex vulpinoidea (Brown Fox Sedge)	3.00
Eleocharis palustris (Great Spike Rush)	0.50
Elymus virginicus (Virginia Wild Rye)	12.00
Glyceria striata (Fowl Manna Grass)	1.00
Juncus effusus (Common Rush)	1.00
Leersia oryzoides (Rice Cut Grass)	0.50
Scirpus atrovirens (Dark Green Bulrush)	1.00
Scirpus cypripinus (Wood Grass)	0.75
Scirpus rivularis (River Bulrush)	0.50
Scirpus pungens (Charmaker's Rush)	1.00
Scirpus validus (Great Bulrush)	2.50
<b>TOTAL</b>	<b>32.75</b>
<b>TEMPORARY COVER:</b>	
Avena sativa (Seed Oats)	360.00
<b>TOTAL</b>	<b>360.00</b>
<b>FORBS:</b>	
Acorus calamus (Sweet Flag)	0.50
Alisma spp. (Water Plantain Mix)	2.00
Asclepias incarnata (Swamp Milkweed)	2.00
Aster puniceus (Bristly Aster)	1.00
Aster umbellatus (Flat-Top Aster)	0.25
Bidens spp. (Bidens Mix)	2.00
Eupatorium perfoliatum (Common Boneset)	1.00
Helianthus autumnalis (Sneezeweed)	2.00
Iris virginica (Blue Flag)	4.00
Lobelia cardinalis (Cardinal Flower)	0.10
Lobelia siphilitica (Great Blue Lobelia)	0.25
Lycopus americanus (Common Water Horehound)	0.25
Mimulus ringens (Monkey Flower)	1.50
Penthorum sedoides (Ditch Stonecrop)	0.50
Polygonum spp. (Smartweed Mix)	0.50
Rudbeckia laciniata (Wild Golden Glow)	0.75
Sagittaria latifolia (Common Arrowhead)	2.00
Senna hebecarpa (Wild Senna)	2.00
Sparganium eurycarpum (Common Bur Reed)	4.00
Thalictrum dasycarpum (Purple Meadow Rue)	0.50
Verberna hastata (Blue Vervain)	1.50
Verberna alternifolia (Wingstem)	2.00
Vernonia spp. (Ironweed Mix)	2.00
<b>TOTAL</b>	<b>32.60</b>

**LOW-PROFILE PRAIRIE SEED MIX**  
Cardno (or equivalent) - Apply @ 37.7 PLS pounds per acre

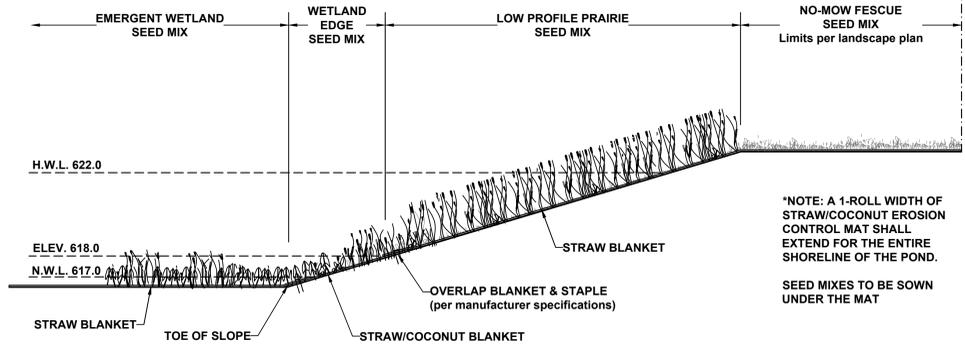
BOTANICAL / (COMMON) NAME	PLS OZ/Ac
<b>PERMANENT MATRIX:</b>	
Bouteloua curtipendula (Side Oats Grama)	10.00
Carex spp. (Prairie Carex Mix)	4.00
Elymus canadensis (Canada Wild Rye)	32.00
Koeleria cristata (June Grass)	1.00
Panicum virgatum (Prairie Switch Grass)	1.00
Schizachyrium scoparium (Little Bluestem)	32.00
<b>TOTAL</b>	<b>80.00</b>
<b>TEMPORARY COVER:</b>	
Avena sativa (Seed Oats)	360.00
<b>TOTAL</b>	<b>360.00</b>
<b>FORBS:</b>	
Anemone cylindrica (Thimbleweed)	0.50
Asclepias tuberosa (Butterfly Weed)	2.00
Aster ericoides (Heath Aster)	0.25
Aster laevis (Smooth Blue Aster)	0.75
Aster novae-angliae (New England Aster)	0.25
Baptisia lactea (White Wild Indigo)	2.00
Chamaecrista fasciculata (Partridge Pea)	14.00
Conepis laciniata (Sand Coneopsis)	5.00
Coneopsis palmata (Prairie Coneopsis)	1.00
Dalea candida (White Prairie Clover)	1.50
Dalea purpurea (Purple Prairie Clover)	1.50
Echinacea purpurea (Purple Coneflower)	7.00
Eryngium yuccifolium (Rattlesnake Master)	2.50
Lespedeza capitata (Round-Head Bush Clover)	2.00
Liatis aspera (Rough Blazing Star)	0.50
Lupinus perennis (Wild Lupine)	2.00
Morarda fistulosa (Wild Bergamot)	0.75
Parthenium integrifolium (Wild Quinine)	1.00
Penstemon digitalis (Foxglove Beard Tongue)	0.50
Pycnanthemum virginianum (Common Mountain Mint)	1.00
Rattida prnata (Yellow Coneflower)	4.00
Rudbeckia hirta (Black-Eyed Susan)	5.00
Silphium integrifolium (Rosin Weed)	3.00
Silphium terebinthaceum (Prairie Dock)	0.50
Solidago nemoralis (Old-Field Goldenrod)	0.50
Solidago rigida (Stiff Goldenrod)	1.00
Tradescantia ohniensis (Common Spiderwort)	0.75
Vernonia spp. (Ironweed Mix)	1.75
Veronicastrum virginicum (Culver's Root)	0.25
<b>TOTAL</b>	<b>63.75</b>



**NO MOW FESCUE SEED MIX**  
Prairie Nursery Westfield, WI

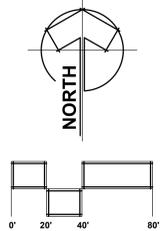
COMMON NAME	PERCENT	GERMINATION
SRS100 Chewings Fescue	23.52%	85%
Sheep Fescue	23.52%	85%
Dawson Red Fescue	11.76%	85%
SR100 Hard Fescue	11.76%	85%
Scaldis Hard Fescue	11.76%	85%
Creeping Red Fescue	11.70%	85%
Annual Ryegrass	3.88%	90%

Seed Rate 5 lbs per 100 sq. ft. or 220 lbs per acre



**LEGEND**

[Symbol]	NO-MOW FESCUE SEED MIX	1.5 acres
[Symbol]	LOW PROFILE PRAIRIE SEED MIX	1.0 acres
[Symbol]	WETLAND EDGE SEED MIX	1,780 s.y.
[Symbol]	EMERGENT WETLAND SEED MIX	8.5 acres



REVISIONS

NO.	DATE	DESCRIPTION

**VISTA RIDGE SUBDIVISION**  
**JOLIET, ILLINOIS**

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**SEAL:**

**METZ & COMPANY**  
 LANDSCAPE ARCHITECTURE/SITE PLANNING

826 East Maple Street  
 Lombard, Illinois 60148  
 PH: 630.561.3903  
 Email: metz\_landarch@comcast.net

**TITLE**  
**LANDSCAPE PLAN**

**PROJECT NO.:**  
**24-259**

**DATE:** 9-25-2024  
**SCALE:** 1" = 40'

**SHEET**  
**L-3.0**

PLANT MATERIAL

PART 1 - GENERAL

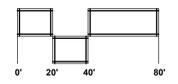
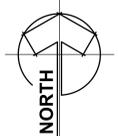
- 1.1 SCOPE OF WORK
1.2 GENERAL REQUIREMENTS
1.3 APPLICABLE STANDARDS

PART 2 - MATERIALS

- 2.1 GENERAL
2.2 NOMENCLATURE
2.3 QUALITY AND SIZE
2.4 DELIVERIES
2.5 TEMPORARY STORAGE
2.6 SUBSTITUTIONS
2.7 SELECTION
2.8 TOPSOIL
2.9 MULCH
2.10 FERTILIZER & NUTRIENTS
2.11 TREE WRAPPING MATERIAL
2.12 WATER

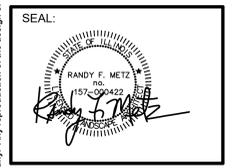
PART 3 - EXECUTION

- 3.1 TIME SCHEDULE OF PLANTING OPERATION
3.2 WATERING
3.3 MAINTENANCE
3.4 ACCEPTANCE
3.5 GUARANTEE



REVISIONS table with columns for revision number, description, and date.

VISTA RIDGE SUBDIVISION
JOLIET, ILLINOIS



METZ & COMPANY
LANDSCAPE ARCHITECTURE/SITE PLANNING
826 East Maple Street
Lombard, Illinois 60148

TITLE
LANDSCAPE PLAN

PROJECT NO.:
24-259
DATE: 9-25-2024
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SHEET
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\*Plant selections are subject to change based on region, site conditions and availability. An equal or greater substitute is required.

End Unit		
Description	Size	Qty
Foundation Evergreen	18-24"	2
Flowering Evergreen	24-30"	1
Accent Shrub	18-24"	1

Interior Unit		
Description	Size	Qty
Foundation Evergreen	18-24"	2
Accent Shrub	18-24"	1
Perennials	1 Gal	3

20' End Unit  
20' Int. Unit

Flowering Evergreen Shrub  
Medium Evergreen Shrub  
Accent Shrub  
Perennials (3)  
Gravel, River Rock or Crushed Shells  
to be installed between driveways  
under 5' width.

**Denison Landscaping**  
801 Oxon Hill Rd  
denisonlandscaping.com  
301-997-0210  
Ft. Washington, MD 20744

**Ryan Homes**  
1 Car Garage - 2 Car Parking  
Town Home Landscape Plan



**THREE-YEAR MANAGEMENT PERIOD ACTIVITIES**

- The work consists of the Contractor conducting routine ecological management activities during the three-year management and monitoring period in the naturalized planting areas as shown on the landscape plan to assist the Contractor in meeting required performance standards.
- During the first two (2) growing seasons of the three-year period the Contractor shall high-mow the vegetation in the native prairie planting areas several times during the growing season to ensure the vegetation does not exceed eighteen inches (18") in height. A rotary or flail type mower shall be used. During high-mowing, the vegetation shall be cut no lower than 6 to 9 inches so the native seeding are unharmed. Selective weed whipping can also be used if conditions are unfit (i.e., too wet) for a tractor, or if only small isolated areas of vegetation required cutting. In addition, cutting the inflorescence prior to seed set of many biennial species including teasel and sweet clover is an effective control method that can be utilized.
- The Contractor shall conduct chemical and/or mechanical weed control activities in all of the naturalized seeded areas for a three-year period following planting/seeding. The Contractor shall conduct four annual weed control application periods (total of twelve (12) for the three-year period). The Contractor is responsible to achieve a 95% kill of reed canary grass, purple loosestrife, thistle and common reed and 80% kill of other problematic, nuisance species to successfully complete each of the application periods specified below.
  - Application Period One (early spring): problematic species such as, but not limited to, reed canary grass, red/white cover, cattails.
  - Application Period Two (late spring to mid-summer): problematic species such as, but not limited to, reed canary grass, white/yellow sweet cover, cattails, wild carrot, purple loosestrife and common reed.
  - Application Period Three (mid to late summer): problematic species such as, but not limited to, reed canary grass, ragweed, cattails, purple loosestrife and common reed.
  - Application Period Four (late summer to early fall): problematic species such as, but not limited to, reed canary grass, red/white cover, common reed.
- Natural regeneration of cattails in the stormwater management facilities will likely occur following construction. As required by these planting specifications pre-planting weed control will be conducted if any problematic species are present. As for cattails, hand pulling cattails can be conducted when the cattails are small enough to ensure that the entire root is removed. Off-site disposal of cattails will be required. Larger cattails will require herbicide applications. Aggressive cattail control will be required after planting throughout the three-year management period to ensure plant establishment. After planting the hand-wick application method to control cattails shall be required.
- If permitted, the Contractor shall conduct a prescribed burn in the prairie areas during the third growing season. The Contractor shall obtain all the required burn permits from the Illinois Environmental Protection Agency, City or Village, and local fire protect district and prepare all necessary documents required for the permit including a Burn Plan.
- The Contractor shall irrigate all plant plugs as needed to achieve the survivorship requirements.
- The Contractor shall remove and dispose of all planting enclosures during the second year of the management period.

**PERFORMANCE CRITERIA**

- Within three (3) months of seed installation, at least 90% of the seeded area, as measured by aerial coverage, shall be vegetated. A minimum 90% vegetative coverage shall be maintained throughout and at the end of the three-year maintenance period for these areas. This standard does not apply to wetland plug areas (if planted).
- At the end of the second growing season, a minimum of 75% vegetative coverage in the wetland plug area(s) shall be achieved and maintained throughout the end of the three-year maintenance period (if planted).
- The stormwater management facilities shall not contain any rills greater than four inches (4") deep throughout and at the end of the three-year maintenance period.
- At the end of the second and third growing seasons, no area greater than 1.0 square meters on slope areas shall be devoid of vegetation.
- At the end of the second growing season, 30% seed mix presence for the prairie seed mix areas shall be achieved. At the end of the third growing season 50% seed mix presence for the prairie seed mixes shall be achieved.
- At the end of the third growing season, the top three dominate species based on aerial coverage shall NOT be non-native species, cattail or reed grass.
- Relative coverage (determined by ocular estimation) of cattail shall be less than 10% throughout, and at the end of the three-year maintenance period.
- Relative coverage (determined by ocular estimation) of common reed, reed canary grass, and loosestrife in aggregate shall be less than 5% throughout, and at the end of the three-year maintenance period.
- Relative coverage (determined by ocular estimation) of thistle and teasel shall be less than 5% throughout, and at the end of the three-year maintenance period.
- Plugs (if planted) must achieve 90% survivorship one (1) year from plant installation.

The Contractor shall water plant plugs (if planted) as needed in order to meet the performance criteria. The cost to irrigate is incidental to the contract and shall be included in the Contractor's bid price. The Contractor shall also perform vegetative management for three years following planting as specified under the section "Three-year Monitoring and Reporting Activities" to assist with meeting the Contractor Performance Criteria. If performance criteria are not achieved, Contractor is responsible to conduct additional activities, which may include supplemental seeding, supplemental planting and additional years of vegetation management to rectify areas at no additional cost to the Owner to achieve performance.

**LONG-TERM MANAGEMENT ACTIVITIES**

- Following completion of the initial Three-year maintenance program the following Long-term maintenance shall be performed on a regular basis:
  - Prescribed burning will be performed every one to three years for established native prairie plantings and naturalized detention basins. Burning requires a permit from the Illinois EPA and notification of the local fire district and the City of Joliet.
  - Late fall or early winter mowing to a height of six to twelve inches (6"-12"), with the removal of hay and debris, will be performed in alternate years where burning is not practical or conditions are not conducive to burning.
  - Applications of herbicide to control invasive will be required if burning or mowing does not control or eliminate said problematic or nuisance species. Those species shall include, but not limited to, reed canary grass, purple loosestrife, cattail, thistle and common reed. All herbicide applications shall be performed by a certified and licensed applicator. Herbicides shall be non-toxic to animals and aquatic life and will be applied in an appropriate manner to prevent the killing of desirable native species.

REVISIONS


**VISTA RIDGE SUBDIVISION**  
JOLIET, ILLINOIS

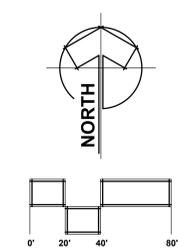
SEAL:

**METZ & COMPANY**  
LANDSCAPE ARCHITECTS/ENGINEERS/PLANNERS  
826 East Maple Street  
Lombard, Illinois 60148  
PH: 630.561.3903  
Email: metz\_landarch@comcast.net

TITLE  
**LANDSCAPE PLAN**

PROJECT NO.:  
**24-259**  
DATE: 9-25-2024  
SCALE: 1" = 40'

SHEET  
**L-6.0**



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# FITNESS PARK



Station #1



Station #2



Station #3

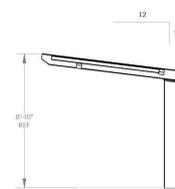
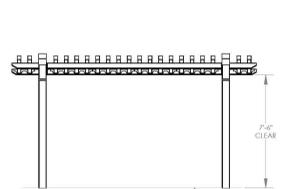
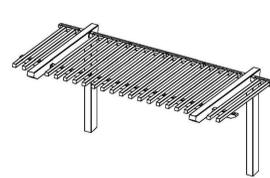
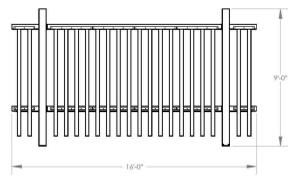


Station #4



Station #5

# DEER CROSSING PARK EXPANSION



- GENERAL ROOF NOTES**
- METAL ROOFING:
    - 24 GAUGE
    - GALVALUME COATED
    - KYNAR 500 PAINTED
  - TRIM COLOR MATCHES ROOF
  - SEE POLYGON.COM FOR COLOR OPTIONS

**STOP!**  
NOT FOR CONSTRUCTION  
USE FOR PRELIMINARY  
PLANNING AND ESTIMATING  
ONLY

ARCHITECTURAL ELEVATIONS  
DATE: 11-14-2023  
DRAWN BY: J.A.  
CHECKED BY: J.A.  
POLYGON CORPORATION  
14150 S. 191st ST.  
MIDvale, CO 80047  
www.polygon.com  
by PORTERCORP  
SHEET 1

METAL TRELLISE  
N.T.S.

# TOT LOT

350-2230  
350-2230A  
Equipment Manufacturer  
**PLAYWORLD**  
The Best Made Play

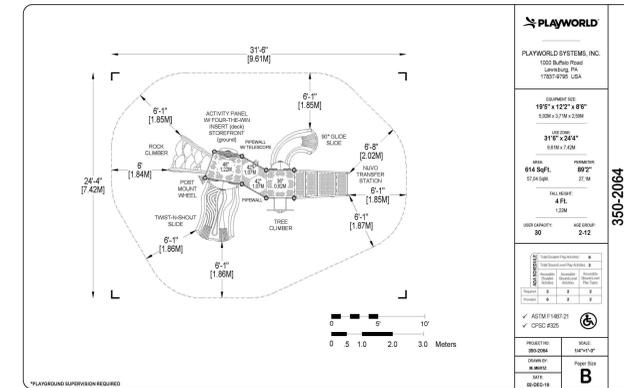
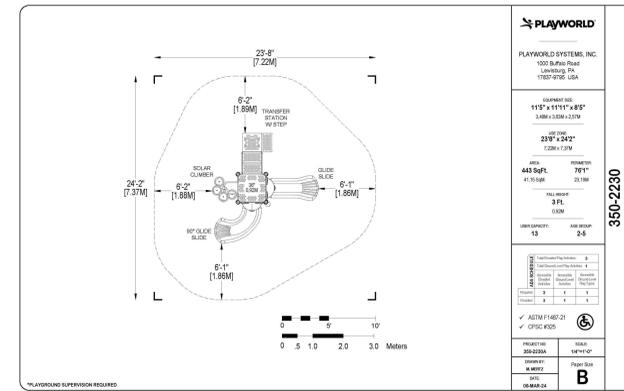


PLAY STRUCTURE - AGES 2 to 5

350-2064  
350-2064  
Equipment Manufacturer  
**PLAYWORLD**  
The Best Made Play



PLAY STRUCTURE - AGES 5 to 12



2-BAY SWING SET



12' x 12' - TOT LOT SHELTER

REVISIONS


VISTA RIDGE SUBDIVISION  
JOLIET, ILLINOIS

SEAL:  
Randy F. Metz  
157-000422  
Professional Engineer  
State of Illinois

**METZ & COMPANY**  
LANDSCAPE ARCHITECTS/SITE PLANNERS

826 East Maple Street  
Lombard, Illinois 60148  
PH: 630.561.3903  
Email: metz\_landarch@comcast.net

TITLE  
**PARK SITE AMENITIES**

PROJECT NO.:  
**24-259**

DATE: 9-25-2024  
SCALE: 1" = 40'

SHEET  
**L-7.0**

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# City of Joliet

150 West Jefferson Street  
Joliet, IL 60432



## Meeting Minutes - Final

Wednesday, July 24, 2024

9:00 AM

City Hall, Council Chambers

## Land Use & Economic Development Committee

*Committee Members*

*Councilman Cesar Cardenas, Chairperson*

*Councilman Cesar Guerrero*

*Councilman Pat Mudron*

Citizens who are unable to attend the meeting can email comments in advance of the meeting to [publiccomment@joliet.gov](mailto:publiccomment@joliet.gov).

## ROLL CALL

**Present** Councilman Cesar Cardenas and Councilman Pat Mudron  
**Absent** Councilman Cesar Guerrero

ALSO PRESENT: Planning Director James Torri, Economic Development Director Paulina Martínez, Interim Corporation Counsel Chris Regis, Planner Ray Heitner, and Planner Helen Miller

Councilman Guerrero arrived at approximately 9:05 a.m.

## APPROVAL OF MINUTES

**Land Use & Economic Development Committee Meeting  
Minutes - 6/26/24**

[TMP-7543](#)

Attachments: [Land Use & Economic Development Committee Minutes  
06-26-24.pdf](#)

A motion was made by Councilman Pat Mudron, seconded by Councilman Cesar Cardenas, to approve Land Use & Economic Development Committee Meeting Minutes - 6/26/24. The motion carried by the following vote:

**Aye:** Councilman Cardenas and Councilman Mudron

**Absent:** Councilman Guerrero

## CITIZENS TO BE HEARD ON AGENDA ITEMS

None

## AGENDA ITEMS

**TC Energy - Laraway Compressor Station**

[TMP-7546](#)

Attachments: [Land Use & Economic Development Staff Report TC  
Energy.pdf](#)  
[TC Energy Map.pdf](#)  
[TC Energy - Site Plan - 17014A-M-SK-001.pdf](#)  
[Sandwich Compressor](#)  
[Sandwich Compressor 2](#)

Planning Director James Torri read the staff report into the record.

Non-Environmental Permit Coordinator Andrew Black of TC Energy appeared on behalf of the proposal.

In response to the Committee's questions, there was a lengthy discussion about

essential service zoning requirements, a required subdivision, the surrounding agricultural area, compressor station piping location, and possibility of a labor agreement.

A brief discussion was held regarding the role of the Committee, in which Interim Corporation Counsel Chris Regis described the Council Committee as an advisory committee.

Councilman Mudron highlighted the location of the compressor station.

### **Vista Ridge Residential Subdivision Proposal**

**[TMP-7547](#)**

Attachments:    [Land Use & Economic Development Staff Report Vista Ridge.pdf](#)  
[Vista Ridge Map.pdf](#)  
[2024-06-18-SP\\_RENDERING-Copy-Vista Ridge](#)

Mr. Torri read the staff report into the record.

John Barry of McNaughton Development, LLC and Mark Fields of Ryan Homes appeared on behalf of the proposal. Mr. Fields gave a brief overview of the types of houses that will be built in Vista Ridge Subdivision.

In response to Councilman Mudron's questions, Mr. Torri and Mr. Fields explained the precedence for lot size change in other subdivisions, the number of units in the multi-family townhouses, and townhouse ownership.

Councilman Cardenas highlighted more houses being built as a sign of Joliet's growth.

Councilman Mudron inquired about the strain on infrastructure in the area. Mr. Torri responded that the developer and staff have given no indications that the proposal would cause strain on facilities.

### **Sales-Tax Sharing Agreement with World Automotive for Expansion and Retention**

**[TMP-7549](#)**

Attachments:    [World Automotive Sharing Memo 27JUNE2024.pdf](#)  
[World Automotive Schedule.pdf](#)  
[World Automotive Renderings.pdf](#)  
[World Automotive Signage.pdf](#)  
[World Automotive Agreement.pdf](#)

Economic Development Director Paulina Martínez gave a brief overview of the Sales Tax Sharing Agreement with World Automotive.

General Manager of World Kia Josh Falcone appeared on behalf of the proposal.

In response to the Committee's questions, Ms. Martínez explained that the sales-tax breakdown was in line with other dealerships, how the 25% Joliet resident workforce condition would be monitored, and confirmed the workforce condition applied to all employees and positions.

Councilman Cardenas highlighted the project as good for the City of Joliet and thanked World Automotive for remaining in Joliet.

## **NEW OR OLD BUSINESS - NOT FOR FINAL ACTION OR RECOMMENDATION**

None

## **PUBLIC COMMENT**

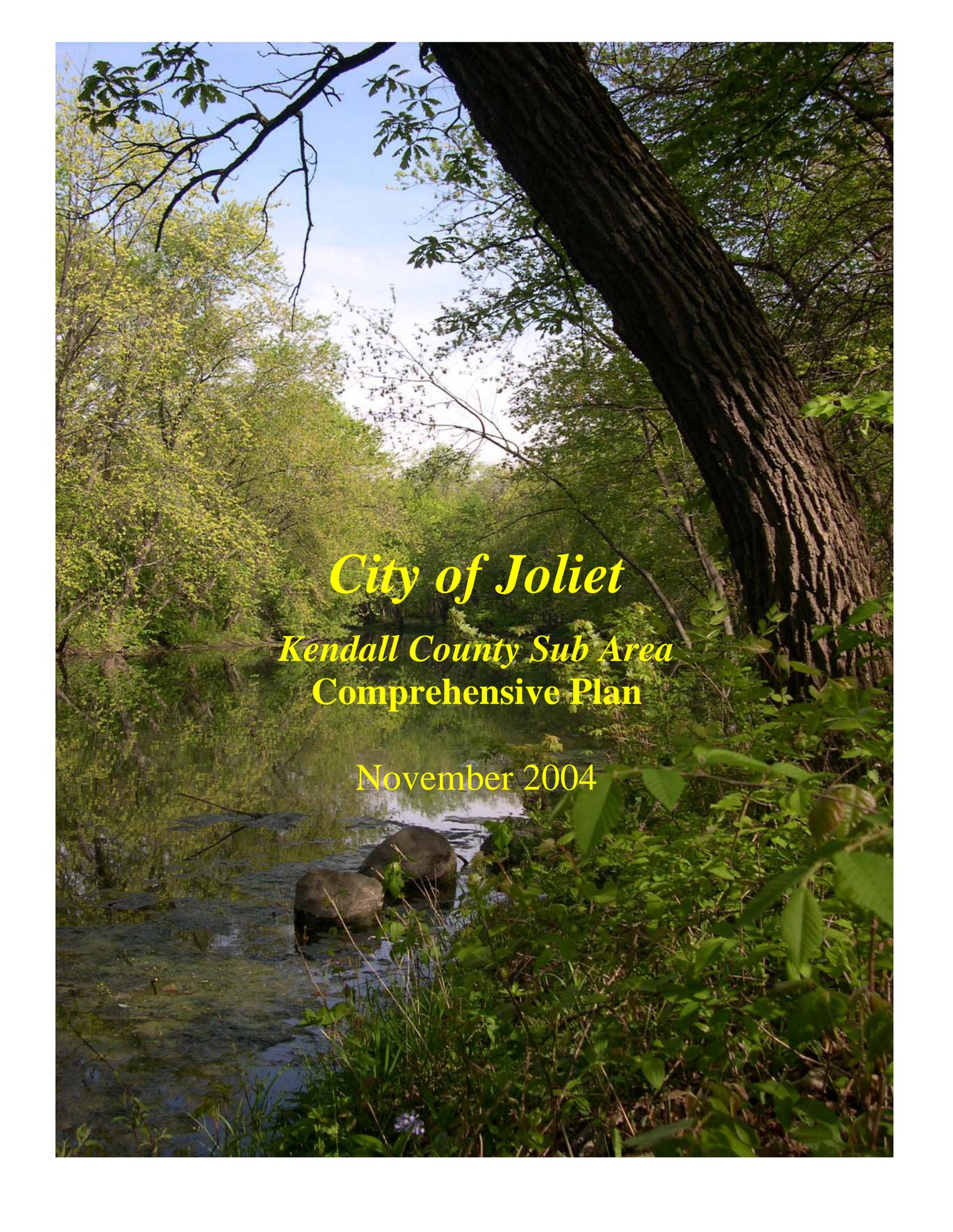
None

## **ADJOURNMENT**

A motion was made by Councilman Cesar Guerrero, seconded by Councilman Pat Mudron, to approve adjournment. The motion carried by the following vote:

**Aye:** Councilman Cardenas, Councilman Guerrero and Councilman Mudron

This meeting will be held in an accessible location. If you need a reasonable accommodation, please contact Christa M. Desiderio, City Clerk, 150 West Jefferson Street, Joliet, Illinois 60432 at (815) 724-3780.



*City of Joliet*  
*Kendall County Sub Area*  
**Comprehensive Plan**

November 2004

## **ACKNOWLEDGEMENTS**

---

### **Mayor**

Arthur Schultz

### **City Council**

Robert Hacker

Michael Turk

Thomas Giarrante

Joseph Shetina

Timothy Brophy

Anthony Uremovic

Alex Ledesma

Warren Dorris

### **City Manager**

John Mezera

### **City Staff**

James M. Haller, Director, Community and Economic Development

Donald Fisher, Planning Director

Janeen Vitali, Planner

Dennis Duffield, Director, Public Works & Utilities

James Trizna, Public Works Administrator

James Eggen, Public Utilities Administrator

Greg Ruddy, Engineer

Scott Gapsevich, Engineer

## **ACKNOWLEDGEMENTS**

---

### **Comprehensive Plan Advisory Group**

John Findlay, Resident  
Cindy Ellis, Aux Sable Creek Watershed Coalition  
Ksenia Rudensiuk, Aux Sable Creek Watershed Coalition  
Brian/Sharon Homerding, Resident  
Anne Vickery, Kendall County Board  
Dr. David Behlow, Superintendent, Oswego Unit School District #308  
Dr. John Harper, Superintendent, Plainfield Unit School District #202  
Ralph Wilhite, Superintendent, Minooka Grade School District #201  
Garry Raymond, Superintendent, Minooka High School District #111  
Chief Drick, Joliet Fire Department  
Chief Gerdes, Joliet Police Department  
Ron Dodd, Joliet Park District  
Greg Bott, Plainfield Township Park District  
Annette Hattner, Kendall County Planning Commission  
Jason Pettit, Kendall County Forest Preserve District  
Kurt Wandrey, Lakewood Homes  
John Gerl, Phoenix Developers  
Tim Bossy, Mid America

### **Consultants**

#### **Civil Engineering**

Rempe-Sharpe & Associates  
324 West State Street  
Geneva, Illinois 60134

#### **Landscape Architecture / Planning**

Gary R. Weber & Associates, Inc.  
224 South Main Street  
Wheaton, Illinois 60187

Joseph H. Abel & Associates  
200 Forest Avenue  
Glen Ellyn, Illinois 60137

#### **Environmental**

ENCAP, Inc.  
12961 State Route 38  
Cortland, Illinois 60112

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## **SECTION 1: INTRODUCTION**

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### **STUDY AREA**

The City of Joliet is a rapidly growing community of detached and attached single-family residential, commercial and industrial uses. The westward expansion into Kendall County began in 1996 along the Caton Farm Road corridor. The City of Joliet has a boundary agreement with the Village of Plainfield, which will expire on January 1, 2012. The City of Joliet also has a boundary agreement with the Village of Shorewood to the south, ½ mile north of Rt. 52, which will expire on May 1, 2014. (See [Exhibit 2-1, Existing Land Use](#).) The area included within the comprehensive plan goes slightly beyond these boundaries and includes the area (34.7 square miles) within Seward and Na-Au-Say Townships bounded by Wheeler Road on the north, Route 52 to the south, County Line Road to the east and Brisbin Road to the west (see Exhibit 1-1).

### **PURPOSE OF THE PLAN**

Comprehensive land use planning has been a continuous function of the City of Joliet since 1964. The Kendall County Sub Area Comprehensive Plan is an extension of a land use plan prepared in 1991, called the Northwest Quadrant Land Use Plan, and an amendment adopted in 1997. Many of the goals and objectives of the City contained herein are modified to update the ideas and concepts presented and adopted in these earlier plans. The Plan lays out recommendations, both broad and specific, regarding the future growth and development within this important area, which will accommodate over 20 years of future urban type development.

The Comprehensive Plan is intended to serve as the principal policy document guiding the orderly growth and development of the area towards its ideal, which is outlined in the text and maps of this Plan. The fundamental objectives of this Comprehensive Plan are, first, to ensure that development within the area takes place in an orderly and complementary fashion; and, second, to ensure that the necessary land use and associated issues are considered and accommodate future development and the resultant future population estimated to be approximately 77,000. The Comprehensive Plan is advisory rather than prescriptive in nature. It should not be considered a regulatory document that controls the use and development of individual parcels of private property as that function is performed by other City ordinances such as the zoning ordinance. The Comprehensive Plan should be used by City officials as the policy basis for guiding decisions regarding new developments, zoning map and text amendments, and other land use and community facility expansion decisions.

# SECTION 1: INTRODUCTION

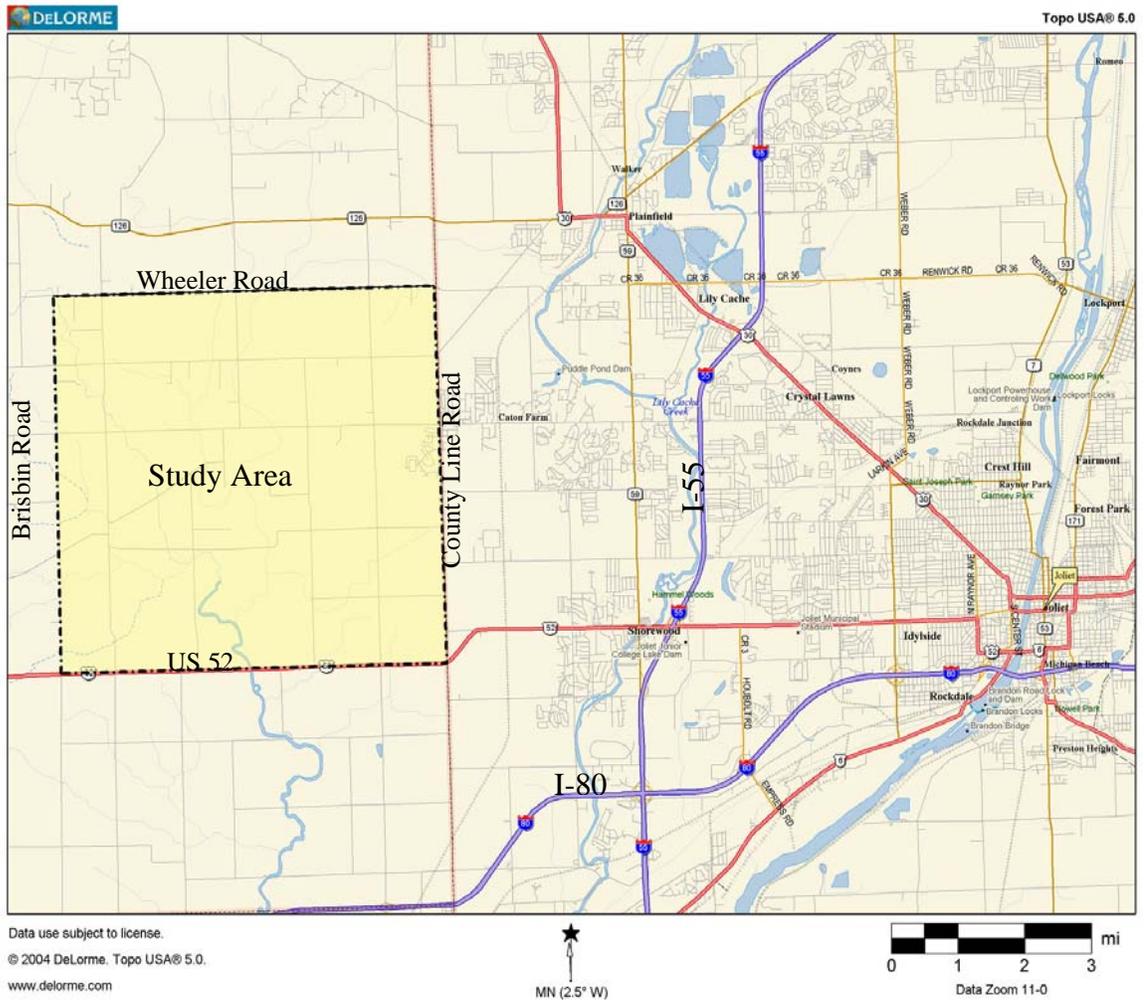


Exhibit 1-1  
Site Location Map

## **SECTION 1: INTRODUCTION**

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### **OBJECTIVES**

The following objectives are the over-arching principles driving the recommendations in the Plan:

1. To preserve the long established single family residential character of the City.
2. To protect residential neighborhoods from incompatible adjacent development.
3. To integrate low density multiple family residential development into the area, while maintaining a primarily single family character.
4. To examine opportunities for the expansion of working, shopping, and recreation within the area that will strengthen the overall tax base of the City.
5. To increase the amount of open undeveloped land (green space) in the City used for passive and active recreation and protection of flood prone areas, natural wetlands, and wooded areas.
6. To carefully control new development by maintaining high standards for compatibility between new development and existing adjacent land uses and incorporate the Planning and Design Guidelines of the Plan.
7. To annex development projects that will make a contribution to off site improvements for roads, schools, parks, utilities and other community facilities as required by the City of Joliet Ordinances.
8. To allow for sensitive development of land within the Aux Sable Protection Corridor in accordance with best management practices to facilitate and maintain the high water quality standards within this important natural resource.
9. To provide a guide for managing the future storm water needs of the entire watershed.

## **SECTION 2: EXISTING LAND USE**

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### **EXISTING LAND USE**

The existing land use study is an important component of the planning process. The spatial distribution of land use presents a composite picture of existing development at a given point in time and provides many valuable insights into understanding development trends and related problems. In order to establish future courses for the development of land in the study area, important features such as concentrations of housing, business, and industry as well as their direction of growth must be understood. Although the comprehensive planning program is primarily for the unincorporated area of Kendall County, if proper coordination is to be achieved between urban and rural development, it must be based on a general understanding and knowledge of the land use within the incorporated areas as well. The study was conducted by analyzing the changes that have taken place since the 1997 Northwest Quadrant Land Use Plan was completed, interpretation of recent aerial photography and field inspections.

The study area contains 22,198 acres or 34.7 square miles. Of this total, 96% is unincorporated and has a predominantly rural character consisting of woodland, water areas and scattered single-family residences and farms. The remaining area consisting of 963 acres or 1.5 square miles, is within the City of Joliet.

Past growth has occurred in a quite orderly way - that is, urban type development (residential and commercial) and has been well contained within residential subdivisions that have followed the Caton Farm Road corridor in a westerly direction. On the other hand, recreation uses represent a very small percent of the land area due mainly to the total lack of large open space reserves or State parks. The Kendall County Forest Preserve District has a 25 acre preserve (Baker Woods) along Aux Sable Creek north of U.S. Rt. 52 and the Plainfield Park District has a 40 acre site at the Northeast corner of Walker Road and Ridge Road. The City of Joliet has incorporated park sites within all of the new residential developments.

Topographic relief in the study area is generally low, with most of the area nearly level or gently sloping. The areas with the greatest relief are along Aux Sable and its tributaries, and between Arbeiter Road and Ridge Road.

The Plainfield South High School is located in the study area and one Elementary School is scheduled for construction within the residential area south of Caton Farm Road between County Line Road and Ridge Road. A new sewage treatment facility is scheduled for construction on a 40 acre site located north of Jones Road and west of Ridge Road. The treatment facility will have a design capacity to accommodate a population equivalent of approximately 77,000.

## **SECTION 3: DRAINAGE AND ENVIRONMENTAL**

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### **EXISTING DRAINAGE**

Approximately 31.5 square miles of the study area are tributary to the Aux Sable Creek which flows from north to south through the central portion of study area. The remaining 3.2 square miles of the study area are tributary to the DuPage River. At the downstream limits of the study area (Route 52) there are approximately 99 square miles of area tributary to the creek.

#### **Existing Hydraulic and Hydrologic Modeling**

The current regulatory hydrologic model was completed by the Army Corps of Engineers in 1981. The study used Technical Paper No. 40 (TP 40) Rainfall Frequency Atlas published by the U.S. Department of Commerce in May 1961 in conjunction with the HEC-1 runoff model using the SCS method to determine peak flows for each of the major branches of the Aux Sable Creek.

The current regulatory hydraulic model was completed by the Army Corps of Engineers 1976 and revised in January of 1981. HEC-2 was utilized in preparing the model. Only the main branch of the Aux Sable from Wildy Road (approximately 2 miles south of US Route 52) to Caton Farm Road was modeled.

#### **Modifications to the Existing Models**

Since the original hydrologic study was completed in 1981, a rainfall data study was completed by the Illinois State Water Survey (ISWS). In 1990 the ISWS published Bulletin 70 entitled, "Frequency Distribution and Hydroclimatic Characteristics of Heavy Rainstorms in Illinois." The data contained in this publication has become the standard for estimation of rainfall volumes in northeastern Illinois. Consequently this Comprehensive Plan has incorporated the Bulletin 70 rainfall data into a hydrologic model to reflect the current best estimate of peak runoff values for storms of varying probability. Storms with a probability of occurrence of 0.10, 0.02, 0.01 and 0.002 (commonly referred to as the 10, 50, 100 and 500 year storms respectively) were modeled in this study.

In order to maintain consistency with the existing regulatory flood flow rates, a hydrologic watershed model was developed using HEC-HMS software. This software is the most current version of the HEC-1 software originally utilized for development of peak runoff rates. The original HEC-1 model was not available for use; therefore, a new model was created using the TP 40 rainfall values and calibrated to obtain flow rates within 10% of the regulatory flow rates for the 0.01 probability storm event.

After model calibration, rainfall data from Bulletin 70 was input to the existing conditions hydrologic model, resulting in a significant increase in peak flow rates. Peak flows were found to increase by approximately 35 to 45 percent.

## **SECTION 3: DRAINAGE AND ENVIRONMENTAL**

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The current regulatory hydraulic model was developed using HEC-2 software. Since the time the modeling was originally completed, HEC-2 software has been replaced by HEC-RAS as the standard for hydraulic modeling. The water surface elevations generally matched the regulatory model within 0.10 feet. Exceptions generally occur around the bridge structures where differences in model routines account for larger discrepancies in the water surface elevation.

Once the model was found to be in general conformance with the existing model, the regulatory model was evaluated for accuracy. Model cross sections and structure data were reviewed against two foot contour mapping provided by the City of Joliet and USGS mapping where two foot contours are not available. Several discrepancies were noted and the model was revised to more accurately reflect the existing conditions. Once the modifications were completed, the main branch existing conditions model was run using the Bulletin 70 flow rates calculated by the HEC-HMS model. The resultant model generally showed an increase in flood flow elevations, as would be expected due to the increase in peak flow rates. [Exhibit 3-1, Existing Conditions Drainage Plan](#), shows the existing drainage areas, the regulatory floodplain limits, the floodplain limits established by this study (non-regulatory) and the calculated flow rates for the 10, 50, 100 and 500 year, 24 hour theoretical storm events.

### **RECOMMENDATION FOR ALLOWABLE DISCHARGE RATES**

The City of Joliet Stormwater Detention Regulations (Code of Ordinances, Section 31-205 as amended) currently requires that new development provide a restricted release rate of 0.15 cubic feet per second (cfs) per acre of property drained for the 100 year storm event and 0.04 cfs per acre for the 2 year storm event. These values are in concurrence with the recommendations of the Northeastern Illinois Planning Commission's study entitled "Evaluation of Stormwater Detention Effectiveness in Northeastern Illinois." However the City Ordinance also states that the allowable release rate can be more restrictive when the City Manager concludes that the capacity of the receiving stream is less than 0.15 cfs per acre. Based on the current Federal Emergency Management Agency (FEMA) regulatory flow rates for the Aux Sable Creek, the release rate is approximately 0.12 cfs per acre for the 100 year storm event. Because the headwaters of the Aux Sable are well beyond the limits of this study area and will likely remain undeveloped for the foreseeable future, it is the recommendation of this plan to adopt an allowable release rate of 0.10 cfs per acre for the 100 year, 24 hour storm event for new development within the study area. The intent of this restricted release rate is to maintain the existing regulatory flow rate and consequently the 100 year flood elevation. It is also recommended that the current regulatory release rate of 0.04 cfs/acre for the 2 year, 24 hour storm event be maintained.

## **SECTION 3: DRAINAGE AND ENVIRONMENTAL**

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### **PROPOSED DRAINAGE PLAN**

Based on the 100 year floodplain and floodway limits calculated as described in the Existing Conditions portion of this study; the restricted release rate of 0.10 cfs per acre for the 100 year, 24 hour storm event and 0.04 cfs per acre for the 2 year 24 hour storm event; and the study area topography, a proposed drainage plan has been developed. The plan locates proposed sub-basins, approximate locations of stormwater detention facilities and outfall storm sewer or ditches for each basin not located adjacent to a defined waterway. The proposed detention volumes shown on the plan are based on the modified rational method for detention volume calculation and are based on assumed development characteristics. The detention volumes, stormwater storage unit sizes and locations are for general planning purposes. Each development will be analyzed in detail using site specific characteristics during the permitting process. [Exhibit 3-2, Proposed Drainage Plan](#), shows the application of the proposed design criteria for individual parcels. A proposed storm sewer outfall system for parcels within the study area is also shown.

At various locations on the plan, stormwater storage units are shown to be located within the floodplain. The City of Joliet ordinances currently allow for the construction of stormwater storage basins within the floodplain, provided compensatory storage is provided at a ratio of 1:1 (Section 31-205(g)(1)). This plan recommends adoption of an Ordinance requiring a 1.5:1 compensatory storage ratio for stormwater management units within the Aux Sable Creek Watershed. The storage volumes noted on the plan do not reflect the addition storage volume required for floodplain compensatory storage. Careful review of any proposal to provide stormwater storage within the floodplain should be conducted by City staff prior to approval of proposals to provide stormwater storage in floodplain areas.

The City stormwater ordinance also allows stormwater storage in the floodway; however, it strongly discourages the practice. This study does not recommend stormwater storage within the designated floodway area and recommends adoption of an Ordinance prohibiting stormwater storage in the floodway.

Depressional storage volumes are not defined in this study due to the level of detail of available topography. Depressional storage should be addressed at the time of engineering plan review in accordance with applicable regulations and good engineering practice. Depressional storage areas shall be preserved at a ratio of 1:1.

## SECTION 3: DRAINAGE AND ENVIRONMENTAL

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### ENVIRONMENTAL ANALYSIS

#### Summary of Natural Resources

A total of sixty-five wetlands were mapped by the U.S. Fish and Wildlife Service National Wetland Inventory (NWI) and Kendall County Natural Resources Conservation Service (NRCS) Wetland Inventory. The Aux Sable Creek and tributaries extend throughout the study area. A statistical analysis of the wetlands (location and type) and Aux Sable Creek is as follows (see [Exhibit 3-3, Natural Resource Area Map](#)):

- 40% of identified wetlands occur outside of mapped floodplain boundaries
- 60% Wetlands occurring in the floodplain to the Aux Sable Creek and associated tributaries (Regulatory floodplain as currently illustrated on Flood Insurance Rate Maps)
- 21% Forested Wetlands
- 26% Farmed Wetlands
- East Aux Sable Creek Tributary 31,435 linear feet within the study area
- Middle Aux Sable Creek Tributary 25,816 linear feet within the study area
- West Aux Sable Creek Tributary 22,041 Linear Feet within the study area
- Unnamed Tributary 49,171 Linear Feet within the study area
- Aux Sable Creek 4, 338 Linear Feet within the study area

Thirteen significant wooded areas were identified by the U.S. Geological Survey Topographic Map and 2002 Aerial Photograph interpretation. The wooded areas total approximately 265 acres and are primarily located along the Aux Sable Creek and associated tributaries. Because there are so few existing wooded areas, the City of Joliet promotes incorporation of this resource into land planning. A tree survey identifying quality, large diameter trees should be completed during the preliminary planning phases of development. Incorporation of mature trees into the planned development is strongly recommended.

In addition, one ecologically sensitive area has been identified by the Illinois Department of Natural Resources (IDNR). This area is located in the southern portion of the study area (see [Exhibit 3-3](#)) and is considered an Illinois Natural Area Inventory (INAI) site by the IDNR. The area is ecologically sensitive due to extent of forested wetland habitat and presence of a threatened species of fish, the River Redhorse (*Moxostoma valenciennesi*).

- The River Redhorse has red fins, fleshy lips, a square snout, and is a member of the sucker family. Average adult size is 12” in length. The River Redhorse prefers moderate to swift flowing waters of large rivers, lower portions of main tributaries, reservoirs, and pools over clean gravel. Both the River Redhorse and mollusks on which they feed are intolerant to siltation and turbidity.

## **SECTION 3: DRAINAGE AND ENVIRONMENTAL**

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Stormwater management on properties adjacent to the sensitive area is critical to the well being of this natural resource. Stormwater best management practices that reduce sediment and pollutant discharge shall be implemented. As with all development in the watershed, appropriate buffers shall be utilized.

### **Applicable Regulations**

**Federal** - Jurisdictional Wetlands and Waters of the U.S. are regulated under the Nationwide Permit Program by the U.S. Army Corps of Engineers (USACE). The study area falls under the jurisdiction of the USACE- Rock Island District. The majority of anticipated development within the study area will consist of residential, commercial, and institutional dwellings. These projects typically are permitted under Nationwide Permit (NWP) 39. The general guidelines and regulations for NWP 39 are as follows:

- The Nationwide 39 Permit authorizes 0.1 acre or less of low quality wetlands to be filled without mitigation. If over 0.1 acre is proposed for filling or is subject to secondary impacts, in-kind mitigation may be required at a ratio of 1.5:1, or greater.
- Under the existing regulations, secondary impacts (both on-site and off-site) from filling of Waters of the U.S. during development also must be evaluated.
- Before mitigation will be approved, reasonable proof that avoidance or minimization of wetland impacts has been attempted must be provided to the appropriate authority. The Army Corps of Engineers will determine if they have jurisdiction, otherwise, the City of Joliet will be the regulatory authority.
- A USACE permit is not required if the wetlands are avoided and/or construction erosion near a wetland is controlled.

Other types of development may require a separate NWP. Each proposed development within the study area will need to review the federal regulations as they pertain to their project.

**State-** Illinois House Bill 0422 passed the Illinois General Assembly in spring 2003; This bill would “regulate isolated wetlands in Illinois by explicitly approving various county stormwater ordinances, authorizing other counties to enact their own standards, and enacting one set of standards for the rest of the state subject to the regulation of the Illinois Department of Natural Resources” (Gardner, Carton & Douglas, 2003). This bill will be voted on by the general public in the November 2004 election. Further information regarding Illinois House Bill 0422 must be reviewed prior to individual site development as it becomes available.

## **SECTION 3: DRAINAGE AND ENVIRONMENTAL**

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**County-** The Kendall County Stormwater Management Ordinance includes unincorporated portions of Kendall County but not areas annexed to the City of Joliet. The County Ordinance provides for the protection of wetlands and other depressional storage areas from damaging modifications and adverse changes in runoff quality and quantity associated with land developments.

**Local-** The City of Joliet has adopted the Aux Sable Creek Protection Ordinance. “The purpose and intent of the Aux Sable Creek Protection Ordinance is to promote the health, safety and general welfare of persons residing near the Aux Sable Creek watershed and associated drainage areas and wetlands by providing for the protection, preservation, proper maintenance, and use of the Aux Sable Creek, including the East, Middle, and West Branches.” The Aux Sable Creek Protection Area is the real property lying within one hundred feet of an ordinary high water mark of the Aux Sable Creek, within twenty-five feet of the upland edge of any wetland within the Aux Sable Creek Watershed, or within one hundred feet of the center thread of any tributary to the Aux Sable Creek actually located in the 100-year floodplain.

A special use permit must be obtained for any development of a lot or parcel containing territory located within the Aux Sable Creek Protection Area. A special use permit can be issued in accordance with the Aux Sable Creek Protection Ordinance. Each proposed development within the study area that lies within the Aux Sable Creek Protection area will need to review the Ordinance in regards to the specific project.

### **Best Management Practices Recommendations**

**Protection of Wetland, Riparian, and Woodland Environments-** The City protects and prohibits the modification of the wetland, woodland, and riparian environments, except as strictly provided for within the Aux Sable Protection Ordinance, and the City encourages the preservation of wetland, woodland, and riparian environments whenever possible. The natural functions of these areas include: improved water quality, stormwater storage, groundwater recharge, filtering of sediment and pollutants, and provide wildlife habitat.

**Minimization of Impervious Surfaces-** Reduction of impervious surfaces within the City of Joliet Standards should be considered during planning. Minimization of impervious surfaces avoids generating excess stormwater runoff and reduces impacts to ecologically sensitive areas. Recent Ordinances adopted by the City of Joliet require larger lot sizes, larger park donations, and increased open space. Concrete channels will not be allowed in dry bottom detention basins. Where concrete channels have historically been used, pervious materials will be substituted.

**Aux Sable Creek Protection Ordinance-** Enforcement of the Aux Sable Creek Protection Ordinance ensures long-term protection of the Aux Sable Creek and associated wetland and natural areas.

## **SECTION 3: DRAINAGE AND ENVIRONMENTAL**

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**Naturalized Stormwater Management-** Naturalization of on-site stormwater management features should be implemented during development whenever possible. Stormwater storage basins and vegetated outfall swales should be planted with native prairie and wetland vegetation. Native vegetation adds environmental benefits that conventional basins utilizing rip-rap and/or turf grass do not. Native vegetation provides greater soil stabilization, increased water infiltration, filters sediment and pollutants, provides wildlife habitat, and offers an aesthetically pleasing landscape.

Management of these areas is essential to the success of the native plantings. Typically, a minimum of three years is required for native vegetation to become adequately established. Management is significantly reduced as the native area matures. Assigning performance standards for the first three years to naturalized stormwater features ensures success of the native plant community.

**Soil Erosion Control and Stabilization-** Applicable recommendations of the “Standard Specifications for Soil Erosion and Sediment Control” and City of Joliet standards should be followed during and after site construction to minimize erosion impacts to the Aux Sable Creek and DuPage River. Numerous practices are recommended in the standard specifications and a site specific plan should be developed in accordance with City of Joliet ordinances. Where current watercourses show evidence of streambank erosion, a site specific plan shall be developed to stabilize critical locations.

The Illinois Urban Manual prepared by the United States Department of Agriculture, Natural Resource Conservation Service, shall be used as a basis for specific best management practices to be implemented at any specific site. At a minimum, the following practices should be considered:

- Vegetated strips / bioswales at storm detention outfalls to the Aux Sable Creek or it’s tributaries;
- Spreader boxes or level spreaders;
- Depressed landscape islands in parking lots with parking lot runoff directed through curb openings to storm inlets in the center of the islands;
- Infiltration trenches;
- Grassed filter strips;
- Stream bank stabilization.

More information on the above best management practices can be found on the NRCS website ([www.il.nrcs.usda.gov](http://www.il.nrcs.usda.gov)).

## SECTION 3: DRAINAGE AND ENVIRONMENTAL

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### Species Recommendations for the Aux Sable Creek Enhancement Areas and other Naturalized Areas (see [Exhibit 6-1](#) for location of Aux Sable Creek Enhancement Areas)

The following species are recommended to be planted within enhancement and other naturalized areas including storm detention ponds, creek banks and other areas as noted and referenced on [Exhibit 6-1](#). These species are native to this region and are commonly found in native plant communities. An environmental consultant or landscape architect experienced in planting of native species shall determine which species and planting methods are most appropriate for specific site conditions and anticipated water fluctuations. This general list should not be considered all inclusive. Additions and/or substitutions that are native to this region are permissible.

#### **Native Grasses**

<b>Scientific Name</b>	<b>Common Name</b>
<b>Andropogon gerardii</b>	Big Bluestem Grass
<i>Andropogon scoparius</i>	Little Bluestem Grass
<i>Bouteloua curtipendula</i>	Side-Oats Gramma
<i>Calamagrostis canadensis</i>	Blue Joint Grass
<i>Glyceria striata</i>	Fowl Manna Grass
<i>Panicum virgatum</i>	Switch Grass
<i>Sorghastrum nutans</i>	Indian Grass
<i>Spartina pectinata</i>	Prairie Cord Grass
<i>Sporobolus heterolepis</i>	Prairie Dropseed
<i>Elymus canadensis</i>	Canada Wild Rye

#### **Native Forbs**

<b>Scientific Name</b>	<b>Common Name</b>
<i>Asclepias incarnata</i>	Swamp Milkweed
<i>Aster novae-angliae</i>	New England Aster
<i>Carex spp.</i>	Sedge Species
<i>Cassia fasciculata</i>	Partridge Pea
<i>Coreopsis tripteris</i>	Tall Coreopsis
<i>Echinacea purpurea</i>	Purple Coneflower
<i>Epilbium coloratum</i>	Cinnamon Willow Herb
<i>Eryngium yuccifolium</i>	Rattlesnake Master
<i>Eupatorium maculatum</i>	Spotted Joe Pye Weed
<i>Eupatorium perfoliatum</i>	Common Boneset
<i>Helenium autumnale</i>	Sneezeweed
<i>Iris virginica shrevei</i>	Blue Flag
<i>Juncus dudleyi</i>	Dudley's Rush

### SECTION 3: DRAINAGE AND ENVIRONMENTAL

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<i>Juncus torreyi</i>	Torrey's Rush
<i>Lespedeza capitata</i>	Round-Headed Bush Clover
<i>Liatris spp.</i>	Blazing Star Species
<i>Lobelia cardinalis</i>	Cardinal Flower
<i>Lobelia siphilitica</i>	Great Blue Lobelia
<i>Lycopus americanus</i>	Common Water Horehound
<i>Monarda fistulosa</i>	Wild Bergamot
<i>Panicum virgatum</i>	Switch Grass
<i>Petalostemum purpureum</i>	Purple Prairie Clover
<i>Physostegia virginiana</i>	Obedient Plant
<i>Pycnanthemum virginianum</i>	Common Mountain Mint
<i>Ratibida pinnata</i>	Yellow Coneflower
<i>Rudbeckia hirta</i>	Black-eyed Susan
<i>Silphium laciniatum</i>	Compass Plant
<i>Silphium perfoliatum</i>	Cup Plant
<i>Silphium terebinthinaceum</i>	Prairie Dock
<i>Solidago graminifolia</i>	Grass-leaved Goldenrod
<i>Solidago nemoralis</i>	Old-Field Goldenrod
<i>Solidago riddellii</i>	Riddell's Goldenrod
<i>Solidago rigida</i>	Stiff Goldenrod
<i>Tradescantia ohiensis</i>	Common Spiderwort
<i>Verbena hastata</i>	Blue Vervain
<i>Verbena stricta</i>	Hoary Vervain
<i>Vernonia fasciculata</i>	Common Ironweed
<i>Veronicastrum virginicum</i>	Culver's Root
<i>Zizia aurea</i>	Golden Alexander

#### **Native Shrubs**

<b><i>Scientific Name</i></b>	<b>Common Name</b>
<i>Amelanchier arborea</i>	Serviceberry
<i>Amorpha fruticosa</i>	Indigo Bush
<i>Amorpha canescens</i>	Lead Plant
<i>Ceanothus americanus</i>	New Jersey Tea
<i>Cephalanthus occidentalis</i>	Buttonbush
<i>Cornus stolonifera</i>	Red-osier Dogwood
<i>Cornus obliqua</i>	Silky Dogwood
<i>Corylus americana</i>	Hazelnut
<i>Hamamel virginiana</i>	Witch Hazel
<i>Hypericum prolificum</i>	Shrubby St. John's Wort
<i>Ilex verticillata</i>	Winterberry
<i>Rhus glabra</i>	Smooth Sumac

## SECTION 3: DRAINAGE AND ENVIRONMENTAL

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<i>Rhus typhina</i>	Staghorn Sumac
<i>Spiraea alba</i>	Meadowsweet
<i>Viburnum acerifolium</i>	Maple-leaved Arrowwood
<i>Viburnum rafinesquianum</i>	Downy Arrowwood
<i>Viburnum trilobum</i>	Highbush Cranberry

### **Native Trees**

<b><i>Scientific Name</i></b>	<b>Common Name</b>
<i>Acer rubrum</i>	Red Maple
<i>Acer saccharum</i>	Sugar Maple
<i>Betula nigra</i>	River Birch
<i>Carya ovata</i>	Shagbark Hickory
<i>Celtis occidentalis</i>	Hackberry
<i>Juglans nigra</i>	Black Walnut
<i>Juniperus virginiana</i>	Red Cedar
<i>Malus ioensis</i>	Iowa Crab
<i>Pinus strobus</i>	White Pine
<i>Quercus alba</i>	White Oak
<i>Quercus bicolor</i>	Swamp White Oak
<i>Quercus coccinea</i>	Scarlet Oak
<i>Quercus imbricaria</i>	Shingle Oak
<i>Quercus macrocarpa</i>	Bur Oak
<i>Quercus palustris</i>	Pin Oak
<i>Quercus rubra</i>	Red Oak
<i>Quercus velutina</i>	Black Oak
<i>Tilia americana</i>	American Basswood

### **Management Recommendations for the Aux Sable Creek Enhancement Areas and other Naturalized Areas (see [Exhibit 6-1](#) for location of Aux Sable Creek Enhancement Areas)**

Management of native plant communities is essential to the successful establishment of a quality plant community. As natural areas mature required management needs are typically reduced. Management activities should be conducted for a minimum of three-years following planting. This is the typical period required for establishment of native species. A professional trained in evaluation of native plant communities should determine appropriate management measures for site specific conditions. Common management activities are as follows:

- **Mowing/Hand Removal.** The naturalized area should be mowed to a height of six inches one to four times during the growing season if an abundance of annual weeds are present. This is especially important during the first two years after planting so that the success of

## **SECTION 3: DRAINAGE AND ENVIRONMENTAL**

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the native plantings is not compromised. Mowing shall take place prior to or when non-native and weedy species are flowering so as to prevent seed set.

Hand-pulling of non-native and weedy species can be utilized when target species exhibit minimal coverage, chemical applications can not be performed, or in small naturalized areas. All above and below ground stems and roots or rhizomes of the plant should be removed from the naturalized area when utilizing this management technique. Plant material shall be removed from site or disposed of in a manner that prohibits re-growth of the plant.

- **Herbicide Application.** Perennial weeds within naturalized areas should be treated with appropriate herbicide as necessary. Perennial weeds will aggressively out compete native vegetation for sunlight, nutrients, and space if left unmanaged. Herbicide should be applied with utmost caution by a trained and licensed applicator. Appropriate herbicide techniques include spot treatments, backpack/spray bottle treatments, and/or handwicking. Site specific weather conditions including rain, wind speed and direction and temperature must also be considered when using herbicide. Chemical applications should be conducted in accordance with the herbicide label. Common non-native and weedy species requiring herbicide management include but are not limited to: Canada Thistle (*Cirsium arvense*), Bull Thistle (*Cirsium vulgare*), Reed Canary Grass (*Phalaris arundinacea*), Purple Loosestrife (*Lythrum salicaria*) and Common Reed (*Phragmites australis*).
- **Burning.** As appropriate, fire can be introduced to the naturalized area as an additional management tool. Trained professionals experienced in herbaceous fuel types shall conduct burning. State and local permits shall be obtained prior to prescribed burning. Surrounding property owners as well as local police and fire departments shall be notified prior to burn. A burn plan designating the preferred wind direction and speed, location of firebreaks, and necessary personnel and equipment shall be prepared and utilized in planning and burn implementation.

The initial burn shall be dependant on fuel availability that is directly related to the quantity and quality of the vegetation present within the planting area. The recommended burn season is November 1 through April 30. Generally, a new prairie/wetland area shall be burned annually for two years after the second or third growing season and then every other year thereafter burning approximately 50-75% of the area.

Prescribed burning simulates historical processes that once maintained prairies in this area prior to European settlement. Burning reduces invasive woody species and promotes the growth of native herbaceous species. Prescribed burning is the best

## **SECTION 3: DRAINAGE AND ENVIRONMENTAL**

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management practice for native plant communities. However, when burning is not practical due to site constraints or local restrictions implementation of the above management techniques can be utilized as an alternative.



A quality native plant community creates an attractive landscape and provides habitat for local wildlife.

### **Recommendations for Evaluating Success of Aux Sable Creek Enhancement Areas and other Naturalized Areas**

A three year monitoring and management period should be implemented for all enhanced and naturalized areas. General performance criteria for evaluation purposes are listed below. Additional or modified performance criteria based on site specific conditions and goals may be implemented.

- By the end of the third year, a minimum of 90% of all naturalized areas must be stabilized with vegetation. No area greater than 0.5 square meters shall be devoid of vegetation as measured by aerial coverage. This standard does not apply to emergent and aquatic communities.
- By the end of the third year, none of the three most dominant plant species in any plant community zone may be non-native species or weedy species, including but not limited to: *Phragmites australis*, *Phalaris arundinacea*, *Lythrum salicaria*, *Melilotus sp.*, *Cirsium arvense*, and *Cirsium vulgare*.
- By the end of the third year, a minimum of 75% of the vegetative coverage within and enhanced or naturalized area must consist of native, non-invasive species.

## **SECTION 4: TRANSPORTATION**

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### **PURPOSE**

The purpose of the proposed transportation plan is to define the size and location of major roadways in order to efficiently carry traffic through and within the study area. The Aux Sable Creek and associated tributary streams and floodplain provide a formidable obstacle to construction of an efficient roadway network. Therefore, advanced planning for the orderly development of a transportation network is necessary to guide the City in decisions regarding development.

### **EXISTING TRANSPORTATION NETWORK**

The current roadway network consists of two lane roadways with bituminous or gravel surfaces (see the Existing Land Use Plan). All roads are under the jurisdiction of the Na-Au-Say and Seward township highway departments or the City of Joliet with the following exceptions:

- US Route 52 – Illinois Department of Transportation jurisdiction
- Grove Road (CH2)– Kendall County Highway Department jurisdiction
- Ridge Road (CH11)- Kendall County Highway Department jurisdiction
- Caton Farm Road (CH23)- Kendall County Highway Department jurisdiction

A total of approximately 172 drainage structures were inventoried by this study. Structures range from 10 inch diameter culverts to multi-span bridges. Nineteen bridge structures and fourteen culverts with at least one dimension over six feet were identified by the study (see [Exhibit 4-1, Proposed Transportation Plan](#)).

### **PROPOSED TRANSPORTATION NETWORK**

The purpose of the proposed transportation network is to efficiently move traffic thru the study area and from one destination to another within the study area. In order to accomplish this, the following roadway functional classifications have been identified:

- Major Arterial – five lanes (2 in each direction plus a turn lane) designed to carry large volumes of traffic thru and between regions.
- Arterial – four lanes (2 in each direction) designed to carry large traffic volumes within the region and feed into the major arterials
- Collector – one parking lane and two traffic lanes (1 in each direction) designed to move local traffic to the larger roadway network. This functional classification is not identified on the Proposed Transportation Plan, as it is largely a function of individual land development plans.

## SECTION 4: TRANSPORTATION

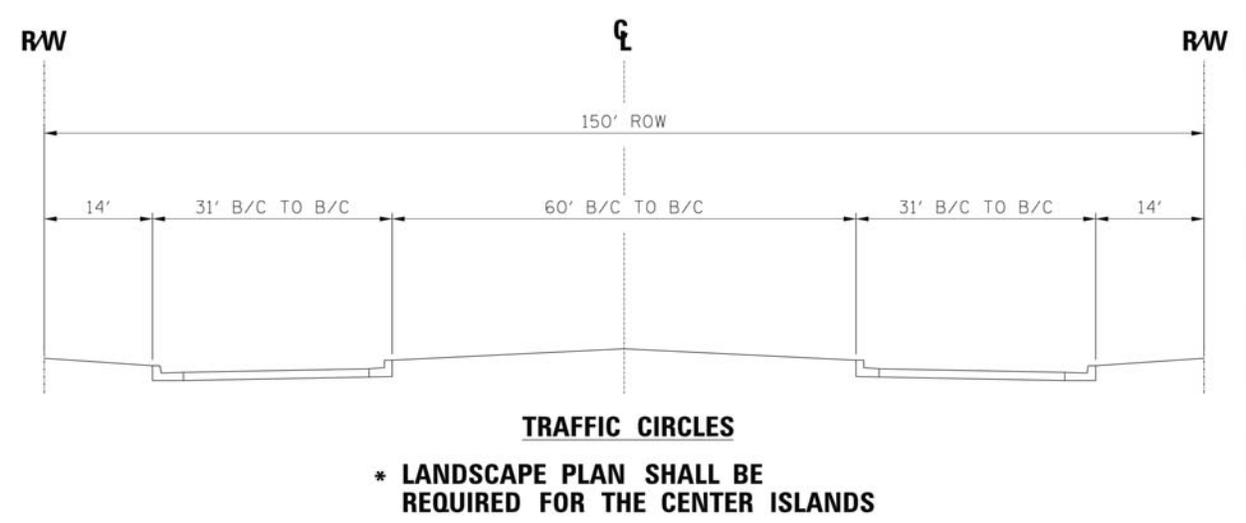
Typical pavement cross sections for each of the above functional classifications is provided as [Exhibit 4-2](#) of this study. Arbeiter Road, McKanna Road, Black Road from County Line Road to Arbeiter Road, and Theodore Street west of Ridge Road shall have a 16 foot, landscaped center median.

It should be noted that Ridge Road is currently identified as a Major Arterial. Current regional plans have identified this corridor as a portion of the WIKADUKE Trail, a regional arterial. The roadway section required for the WIKADUKE is shown as [Exhibit 4-2](#) of this report. At this time, plans for the WIKADUKE Trail have not been finalized, however, right of way should be obtained and other planning efforts should reflect the potential for construction of this roadway.

### ACCESS LOCATIONS

The Proposed Transportation Plan identifies approximate locations for sites to access the larger roadway network. The City of Joliet policy allows for full access at approximately ¼ mile intervals. This policy serves as the basis for the recommended access locations. Access to roadways under the jurisdiction of other agencies (the Illinois Department of Transportation and Kendall County Highway Department) will be permitted under the policies of those agencies. Ridge Road, Grove Road, Chicago Road west of Grove Road, and Caton Farm Road are under Kendall County jurisdiction. In addition, the Wikaduke Trail Plan allows access at ¼ mile spacing in regional commercial centers.

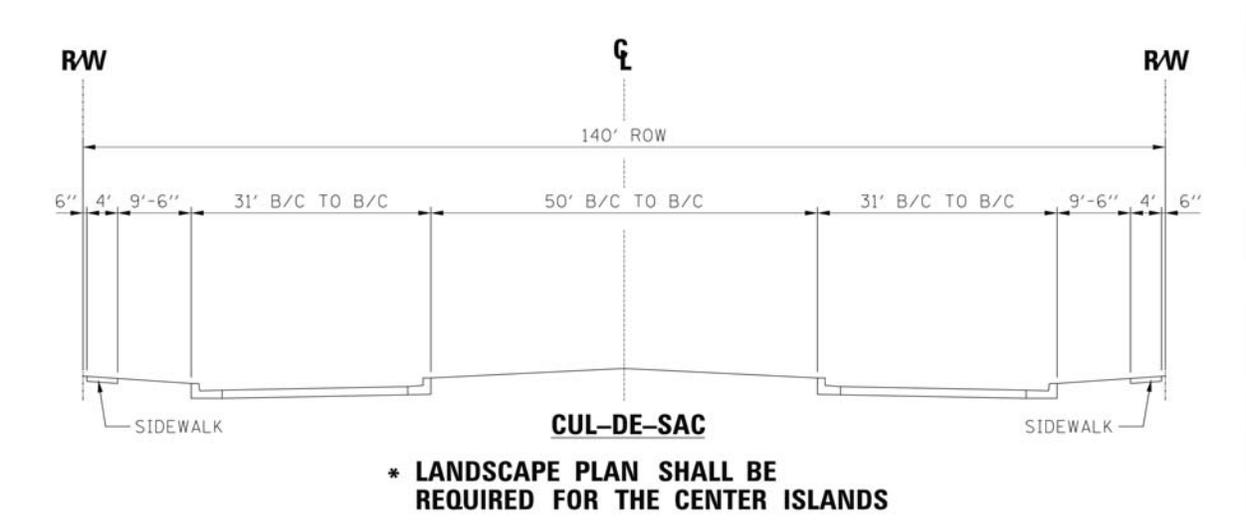
The primary access to each major residential sub-division shall have a traffic circle with the cross section as shown below. See Section 8 for additional information regarding required access features.



## SECTION 4: TRANSPORTATION

### CUL-DE-SAC

Cul-de-sacs shall be incorporated into the land plan where appropriate and where permitted by City Ordinance. The center island of the cul-de-sac shall have an approved landscape plan.



### INTERSECTION IMPROVEMENTS

Channelization and signalization of intersections will be required to maintain the safe and efficient flow of traffic through and within the study area. The Proposed Transportation Plan identifies the locations where intersection improvements will likely be necessary. The extent of the improvements required will be dictated by traffic volumes and surrounding land uses as determined by a detailed engineering analysis.

### INFRASTRUCTURE IMPROVEMENTS

In order to implement the roadway network described above, significant infrastructure improvements will be required. These improvements include roadway widening, channelization and signalization of intersections, bridge widening, and culvert extensions. Current City of Joliet policy requires developers of property that is adjacent to an existing roadway to widen and improve the roadway to the ultimate cross section. While this policy has proven adequate with past development, growth into the Aux Sable drainage basin will present new and different challenges.

Parcels adjacent to existing bridges or large culverts will require costly structure widening. In addition, most parcels adjacent to an existing structure are largely inundated by floodplain, increasing the cost to develop the property. Given these factors, development of parcels adjacent

## **SECTION 4: TRANSPORTATION**

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to existing structures becomes undesirable. If these parcels remain undeveloped while traffic volumes in the region continue to increase, a “bottleneck” will occur at bridge locations. In order to mitigate the congestion, the City of Joliet will need to become the lead agency to widen the existing structures.

This study evaluated the costs associated with bridge widening and culvert extensions (or replacements) to carry the proposed roadway cross section and multi-use path across various branches of the Aux Sable Creek. The total estimated construction cost in year 2004 dollars is \$35 million. This does not include the US Route 52 bridge as this is under the jurisdiction of the Illinois Department of Transportation. The bridges and culverts currently under the jurisdiction of the Kendall County Department of Transportation are included in the estimate of cost. The costs provided in this study are for construction only. Should the City of Joliet obtain jurisdiction over routes currently under County control, funding for maintenance and repair of these facilities will need to be evaluated. One means of obtaining the necessary funding is to develop a transportation impact fee for properties within the study area that are annexed into the City. As of October, 2004, there are approximately 12,760 acres of land within the limits of the study area and the boundary line agreements that have not been annexed to the City. If the \$35 million construction cost were to be spread over this area, an impact fee of approximately \$2,750 per acre would be necessary. Prior to implementing such a fee, a more detailed construction cost and financial analysis should be conducted.

Review of the hydraulic analysis for the study area shows that the existing bridge opening for Van Dyke Road over the East Branch of the Aux Sable Creek does not pass the 50 year flow without roadway overtopping. As this will be a major arterial road, consideration should be given to raising the roadway grade and increasing the size of the bridge opening to safely pass the 50 year flood under the road. Preliminary bridge design and calculation of the cost associated with this improvement is not within the scope of this study.

## **SECTION 5: FUTURE LAND USE**

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### **FUTURE LAND USE**

The Future Land Use plan (see [Exhibit 5-1](#)) designates the distribution of the various categories of land for private, public, and semi-public development. It establishes, in accordance with the requirements of a modern community addition to the City of Joliet, the amount and relationship of the lands set apart for various categories of land use, such as residential, commercial, office, public and semi-public. With almost 100 percent of the land within the study area undeveloped, there exists a significant area for potential growth.

Within the unincorporated area, Joliet now exercises control over standards of land subdivision design and quality of land improvements such as streets and utilities installed by developers. Annexation of adjacent land into the City will provide direct controls for securing desirable residential, commercial, and community facility developments in accordance with the planned pattern of land use for the entire community.

### **RESIDENTIAL LAND USE**

In order to provide for a wide range of housing types to meet the projected demand within the study area, to preserve and enhance the character of the Aux Sable Watershed, and to provide appropriate buffers between commercial and residential uses, the Future Land Use plan proposes a distribution of residential land use within two classifications organized into planning units or neighborhoods. Each planning unit includes recreation areas such as local parks and playgrounds based on a standard of 7.5 acres of park land per 333 lots or a population of approximately 1,000.

The new planning units have major thorough-fare access at their periphery and will connect to and focus on a greenbelt trail system along the Aux-Sable Creeks, through regional multi-use trails, or local neighborhood trails (see attached Map, [Exhibit 5-1](#)). The greenbelt will provide area for bike trails that will connect to an open space network.

### **RESIDENTIAL – 3 DWELLING UNITS/ACRE**

The residential areas illustrated on the Land Use Plan are based on single-family average lot sizes of 10,000 square feet for an entire subdivision with a minimum lot size of 9,100 square feet. A density of 2.5 dwelling units per acre will be allowed if the development is single family and 3.0 dwelling units per acre for mixed use development. Any planned unit development component will be limited to no more than 20% of the total dwelling units.

## **SECTION 5: FUTURE LAND USE**

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All multi-family developments must be reviewed as a planned unit development. The maximum density for multi-family is six dwelling units per acre. A mix of town homes and duplexes is desired, with review of elevations an important feature. The location of multi-family units should be internal within a subdivision, near open space components, and not used as a buffer between commercial or major arterials.

### **RESIDENTIAL – AUX SABLE DESIGN CORRIDOR**

The Aux Sable Corridor is all about prairie, woodland marsh and floodplain being incorporated into the design of urban type residential developments in order to preserve the natural character of the area.

The most efficient, most amenable use of space is the guiding principle for design and construction of homes in the Aux Sable Corridor. A variety of exterior materials, changing roof lines, variations in the way residences are positioned on lots of different sizes, all work together to create quality residential communities.

Some areas within the Corridor will be set aside for non-housing uses, such as golf courses, recreation areas, and possibly a location for a town center, but the majority of the area will be utilized for residential developments in cluster type arrangements. It is this concept of clustering that allows much of the land to remain open space.

Prairie, woodland and floodplain areas that surround or adjoin residential developments will preserve the natural character of the Corridor. Lakes will be created that will provide water frontage for many lots.

Within the corridor, design objectives include maximizing open space, natural feature enhancement and implementation of best management practices, creative land planning and higher landscape and architectural standards. See Section 8: Land Use and Design Guidelines.

### **COMMERCIAL**

In order to provide for a well-balanced tax base, to preserve and promote the existing downtown, to provide a convenient shopping experience for future residents of the planning area, and to eliminate strip commercial development, the plan classifies commercial land use into two categories – Community Commercial and Local Commercial.

The main Community Commercial areas are located along Ridge Road near Caton Farm Road and at the intersection of U.S. Route 52.

## **SECTION 5: FUTURE LAND USE**

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The Community centers should contain 60 acres adjoining major arterials or at intersections and 20-30 acres along minor arterials or at intersections. Collector intersections would have 5-10 acre neighborhood commercial centers.

### **TOWN CENTER**

Two sites for town centers are shown on the plan – one at the intersection of Black Road extended and Ridge Road and one at the intersection of Chicago Road/Schlapp Road and Caton Farm Road.

The Town Center should be a focal point for the surrounding neighborhood areas. The Town Center should consist of an area of approximately 20 to 40 acres. This limited size allows for a human scale of development that is pedestrian friendly.

Uses within the Town Center include, but are not limited to, commercial and residential uses, and may include a post office, restaurants and outdoor cafes, banks, offices, churches and civic uses such as a library. Apartments and lofts can be located above the retail uses. The Town Center would ideally be located adjacent to regional open space and parks.

Open space should be a prominent feature in the Town Center and readily accessible to those who use the area. Also prominent in the design of the Town Center are the pedestrian/bicycle trails that connect the Town Center to the surrounding area.



A town center creates a retail/office core adjacent to high density residential and open space.

## SECTION 6: OPEN SPACE, RECREATION AND NATURAL RESOURCES

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Open space, tree preservation and natural areas are important to the City of Joliet and the provision for neighborhood parks, regional parks and pedestrian/bike trails is desired. The focus of the open space should be towards the Aux Sable Creek and its tributaries. Within the last year, the City of Joliet has adopted several ordinances for the protection and preservation of the Aux Sable Creek Watershed. Specifically, the City adopted

Aux Sable Creek Protection Area Ordinance  
Flood Plain Hazard Area Ordinance  
Will County Storm Water Ordinance  
Kendall County Trails and Greenway Plan  
WIKADUKE Trail Land Use and Access  
Management Study

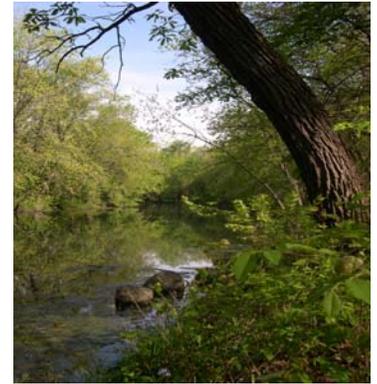
The proposed Open Space, Recreation and Natural Resources Plan is presented as [Exhibit 6-1](#).

Open space planning should respect the natural features and characteristics of the existing landscape and provide for the open space and recreational needs of existing and future residents of the City.

Floodplains, wetlands, areas of ecological or archaeological significance and mature forests should be protected and enhanced as open space.

Conservation easements should be provided for protection of trail system, open space, parks and environmental areas.

New residential development should provide neighborhood parks in close proximity to all of the homes, with generous frontage, as well as pedestrian linkages to community parks and open space. Depending on recreational needs, they can vary in size as determined with consultation from local park districts or other recreation authorities.



Aux Sable Creek  
Through Baker Forest Preserve



Open Space Site Plan



Neighborhood Park Plan



Playground

## SECTION 6: OPEN SPACE, RECREATION AND NATURAL RESOURCES

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Community parks are larger and provide a broader range of recreational needs than neighborhood parks. They should serve two or more neighborhoods and should be accessed by arterial or collector streets, as well as the multi-use trail system. A community park may range from twenty to one hundred acres based on land and requirements for desired uses.

- In appropriate locations land to accommodate softball and soccer fields, as well as indoor facilities shall be provided. Provisions for the appropriate parking facilities should also be provided.
- The following planning factors will influence the location and size of the selected site:

- Recreational Needs of the Community
- Drainage
- Water Resources
- Existing wetland, areas of ecological significance
- Existing and proposed trail systems
- Existing and proposed roadway networks
- Existing and proposed public lands
- Existing and proposed schools
- Private recreational uses



Community Park



Existing Trail Through Baker Forest Preserve



Natural Enhancement Areas

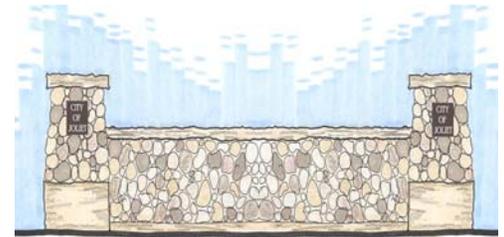
## SECTION 6: OPEN SPACE, RECREATION AND NATURAL RESOURCES

Regional multi-use trails are proposed along roadways and greenway corridors. These trails provide safe recreational opportunities for all age groups and encourage physical activity. They provide pedestrian orientated linkages to parks, natural areas, environmental corridors, as well as shopping activities and residential neighborhoods. Regional multi-use trails are proposed along roadway and greenway corridors. They should be located at least 10' from the creek bank and 2' above normal water level. It is proposed that the path will be 10' wide constructed of asphalt with 3' turf shoulders on each side.



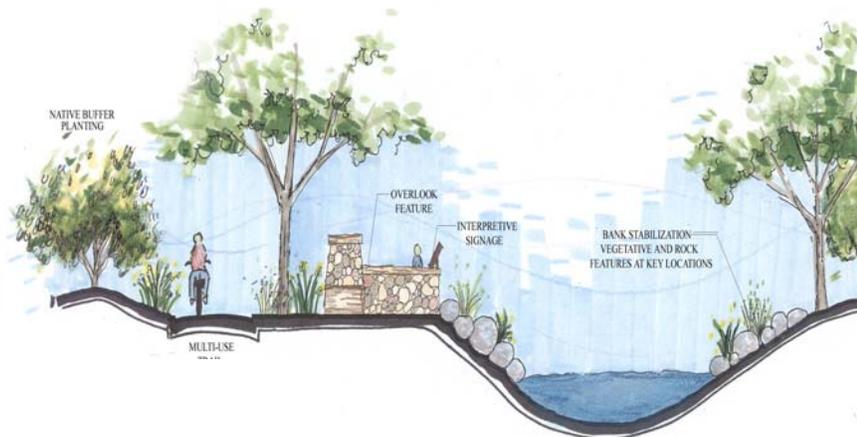
Interpretive Signage

Overlooks provide rest areas along the trail. They should be sited to take advantage of quality vistas and designed to incorporate and enhance interesting site features. Interpretive signage and seating should be included.



Bridge Crossing Elevation

Trailheads should be provided at strategic locations and be sited for good visibility and accessibility, avoiding environmentally sensitive areas. Trailheads should have limited parking, and directional information and signage. Approximately 1/2 acre of land is required for each trailhead.



Overlook Section

## SECTION 6: OPEN SPACE, RECREATION AND NATURAL RESOURCES

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Trailhead Plan

### Aux Sable Creek Enhancement Areas

Portions of the Aux Sable Creek are identified on the Open Space, Recreation and Natural Resources plan as Enhancement Areas. These locations are currently excavated channels with farmed property up to the stream bank. The City desires to restore these sections of channel to a more natural state by modifying the channel to contain pools and riffles, with a meandering alignment. Upstream and downstream conditions shall be evaluated to determine if the improvements are beneficial to the long term success of the entire stream corridor. The side banks shall be stabilized as necessary to prevent erosion. The preferred option for stream bank stabilization is native vegetation, where practical. Engineering analysis shall be utilized to determine channel velocities and design appropriate erosion protection.

Wetlands shall be evaluated prior to planning improvements. All stream bank improvements will be subject to the approval of the Army Corps of Engineers, Illinois Department of Natural Resources or other governing bodies with jurisdiction. Improvement to wildlife habitat shall also be considered as part of the enhancement efforts.

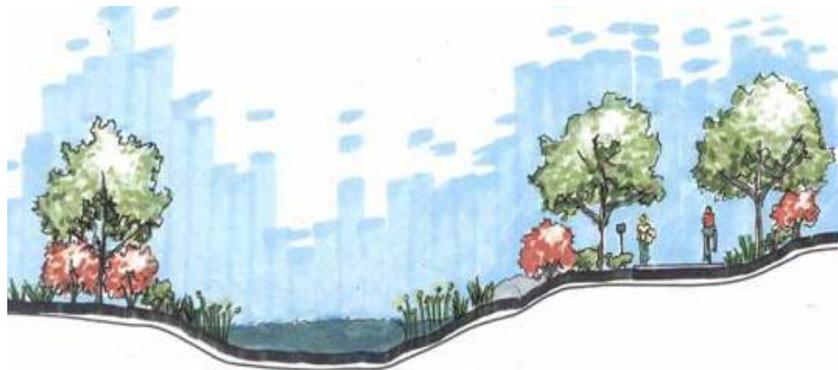
## **SECTION 6: OPEN SPACE, RECREATION AND NATURAL RESOURCES**

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Areas outside the limits of the designated enhancement areas shall be evaluated for excessive erosion on a case by case basis. Where necessary, erosion control and stream bank stabilization measures shall be implemented.



Existing Aux Sable Tributary  
To be Enhanced



Proposed Trail Along Aux Sable  
Creek

## **SECTION 7: COMMUNITY SERVICES AND FACILITIES PLAN**

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Future sites for schools, fire and police stations, municipal facilities, libraries, parks and recreational facilities are part of the social infrastructure which serves residential neighborhoods. Individual taxing bodies have the authority for planning, locating and funding many of these facilities. This is an ongoing process carried out in conjunction with annexation and development activity. Specific sites for most of these facilities are therefore not shown on the Plan and will be considered in the evaluation of each new development (see [Exhibit 7-1, Community Services and Facilities Plan](#)).

Currently the City has all of its Police operations in downtown Joliet. A Police sub-station is planned to be located in the proposed interim municipal center, which will be located in the former Fire Station 9, located on Caton Farm Road just west of County Line Road. Station 9 will relocate to Caton Farm Road east of Drauden. The Plan proposes a new municipal center adjacent to the Municipal Treatment/Public Works facility and town center node located along Van Dyke/Black Road west of Ridge Road. The Plan proposes the general location for 3 new Fire Stations in the study area.

### New Fire Station 10:

With the recent annexations and plat approvals in and around Ridge, Caton Farm, Arbeiter and Van Dyke Roads, the need for new, Fire Station 10 is critical. Our comprehensive plan calls for this Station to be open in summer of 2006. Station 10 will be located on Theodore (its extension beyond Ridge), west of Ridge Road. Because this will be the headquarters facility for the “West District” it will need 2 acres of land.

### New Fire Station 11:

As growth and development continues south of Caton Farm Road, in the areas of McKanna Road and Grove Road, there will be a need to build Station 11. This station requires 1.5-2 acres and could be located north of Van Dyke and ¼ to ½ mile west of McKanna Road.

### New Fire Station 12:

As growth and development continues in the area north of Caton Farm Road, west of Schlapp Road, there will be a need to build Station 12. This station requires 1.5-2 acres and could be located north of Walker Road, near Grove Road.

Since two hospitals are currently located in Joliet (Provena St. Joseph and Silver Cross) and a new hospital is being considered in Plainfield approximately 4 miles to the northeast, no new hospital sites are proposed on the Plan. However, there will be a need for out patient medical facilities located near the major commercial nodes.

## **SECTION 7: COMMUNITY SERVICES AND FACILITIES PLAN**

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### **EDUCATION**

The provision for educational services is a very important component of the Plan. There are five school districts in the study area: Oswego Community Unit School District 308, Plainfield Community Consolidated School District 202, Minooka Intermediate and Junior High School District 201, Minooka Community High School District 111, and Yorkville Community Unit School District 115. Provision for school sites under the Joliet School Site Donation Ordinance will be required in all new residential developments. Typically one elementary school is required per square mile. Two to three elementary schools feed a middle school and two middle schools feed a high school. Exact location of school sites and the required acreage shall be coordinated with the appropriate school district.

## **SECTION 8: LAND USE AND DESIGN GUIDELINES**

### **THE PURPOSE OF THE GUIDELINES**

The purpose of the following land use and design guidelines is to provide site planning direction and to promote attractive quality development with consistent and compatible site planning and design elements. Preservation, protection, and enhancement of natural features, and the provision for neighborhood parks, community parks, and trails is desired.



Attractive Park and Pond Feature

### **RESIDENTIAL DEVELOPMENT**

The City of Joliet has created a new residential zoning district, R-1B single family, for lots in Kendall County. That zoning district requires a minimum lot size of 9,100 square feet, within a minimum lot width of 75 feet, and a mean average lot size for an entire subdivision of 10,000 square feet. A blend of lot sizes is desirable, and the City will allow 70 foot minimum width lots not to exceed 50% of the subdivision. The mean average of the lot widths shall be 72 ½ feet. The maximum gross density is 3 units per acre.



Gatehouse Entry and Traffic Circle

All multi-family developments must be reviewed as a planned unit development. The maximum density for multi-family is six dwelling units per acre. The review of architectural elevations is important. The City has revised its philosophy on the design and location of multi-family within a subdivision. The location of multi-family should be within the subdivision, near open space components, and not used as a buffer between commercial or major arterials. Townhome units cannot exceed 20% of the total unit count.



All sub-division developments within the study area shall provide the following design elements: 8:12 roof pitch, entrance traffic circle, review of architectural elevations, entrance gate house, naturalized stormwater detention, identification of key lots, and adherence to the City brick ordinance and landscape ordinance.

Aux Sable Creek Tributary  
Quality Native Vegetation  
to be Preserved

## **SECTION 8: LAND USE AND DESIGN GUIDELINES**

### **Aux Sable Design Corridor**

The future land use plan indicates an area adjacent to the Aux Sable Creek and tributaries as the Aux Sable Design Corridor. This is an area where innovative, high quality development, is required. The following standards apply:

- Maximize quality, accessible open space, that includes corridor protection through enhancement of natural features.
- Selected best management principles are recommended. (See Section 3 Drainage and Environmental, best management practices recommendations.)
- Flexibility in creative quality land planning.
- Higher Landscape Standards – See Below
- Higher Architectural Standards – See Below

### **Site Planning**

- The City desires residential development with an open space landscape component at the entrance, including wet bottom stormwater management ponds with landscaped features as appropriate to the site.
- The plan should be responsive to site natural features, including significant trees and vegetation, stream corridors, wetlands and topographic features. Protection of the Aux Sable Creek Watershed is a key priority.
- Planning should provide for a usable and accessible network of parks and open space safely linked to regional corridors through trail systems. Neighborhood parks should be incorporated into each development and be located with good street frontage and accessibility.
- Dwellings adjacent to major and minor arterial roadways or backing up to collector streets should be



Mixed Landscape Buffer

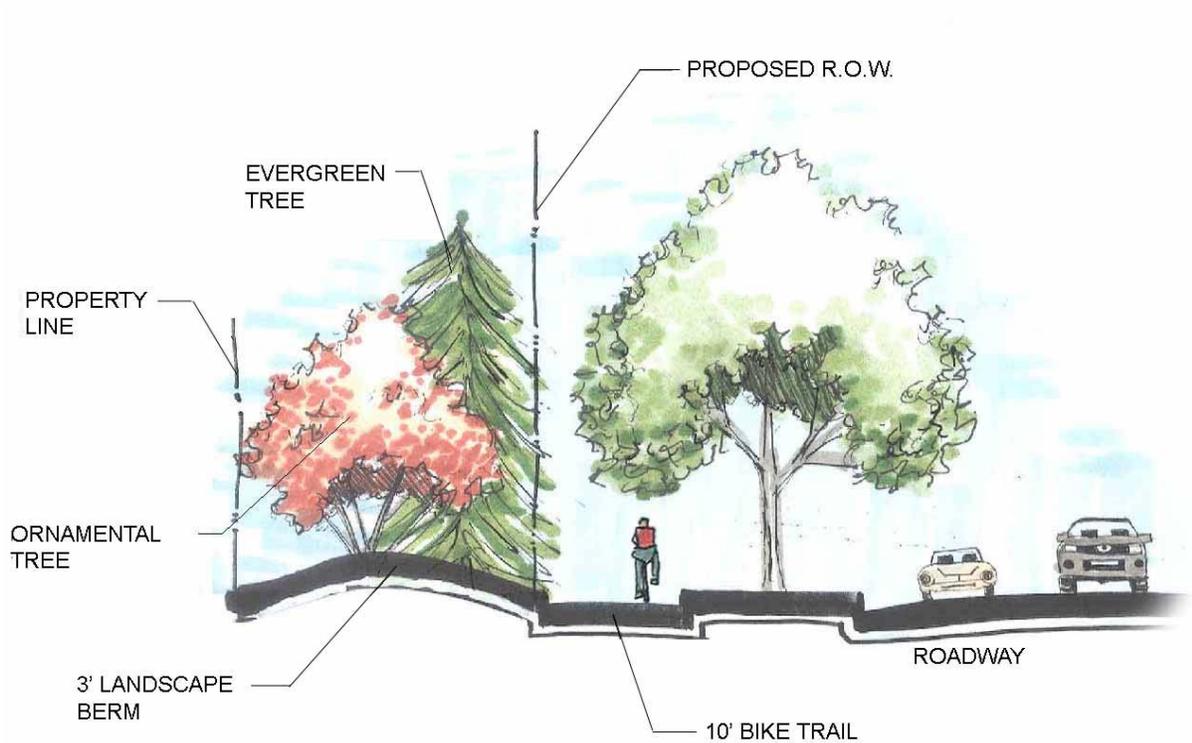


Pedestrian Walk and Buffer

**SECTION 8: LAND USE AND DESIGN GUIDELINES**

buffered with landscaped berms located in dedicated open space outlots. Any fencing should be located on the dwelling side of the berm. Fencing should be a development coordinated design element.

- In addition to multi-use trails, bikeways should be incorporated into one side of collector streets as appropriate.



Bike Trail/Buffer Section

## **SECTION 8: LAND USE AND DESIGN GUIDELINES**

### **Landscape Design**

- Landscape Design should incorporate restoration of remnant native landscapes and the use of native plant materials where appropriate. Permitted trees are listed in the City's Landscaping Ordinance. See Species Recommendations pages 3-8 thru 3-10.
- Landscape buffers and perimeter landscaping should include berming (no greater than 3:1) and a mixture of deciduous and evergreen plant materials to provide for attractive and effective screening which meet or exceed the landscape ordinance.
- Parkway trees are required with spacing and species mixture as specified in the landscape ordinance.
- Special attention to entrance treatments and site theming, including landscaped boulevards, gate house, gated entrances or other innovative entry features.
- A typical landscape plan should define the minimum landscape required for individual homesites which meet or exceed the landscape ordinance.
- Foundation planting plans should be included for multi-family dwellings which meet or exceed the landscape ordinance.
- Stormwater basins shall be landscaped with a mixture of deciduous and evergreen materials. Best management practices should be incorporated where appropriate. (See Section 3 Drainage and Environmental Best Management Practices recommendations.)

### **Landscape Design – Aux Sable Design Corridor**

- Ten percent of perimeter and buffer deciduous trees and evergreen trees shall be increased in size to 4" caliper and



Traffic Circle Entry Feature



Entrance Monument Elevation



Gate House

**SECTION 8: LAND USE AND DESIGN GUIDELINES**

8’ tall, respectively. These plant materials shall be located at key high visibility areas.

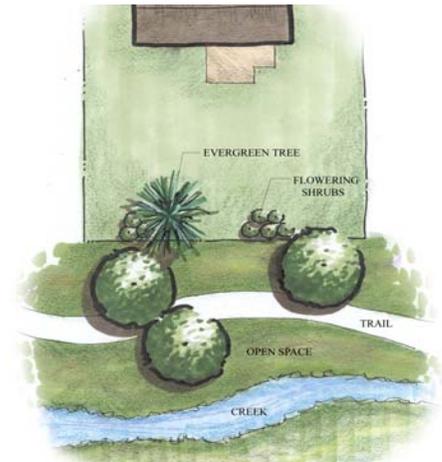
- Parkway trees shall have a minimum trunk size of 3” caliper as measured 6” above grade.

- Selected best management practices shall be incorporated into site plans. (See Section 3 Drainage and Environmental Best Management Practices recommendations.)

- Rear yard landscaping on lots which are visible from a trail, public right of way, or conservation easement, must provide at least one evergreen tree, a minimum of 6 feet tall, one ornamental, a minimum of 6 feet tall, one shade tree, a minimum of 2” in caliper, and seven evergreen or deciduous shrubs per 100 lineal feet. An approved landscape package provided by a developer may be substituted for the required rear yard landscaping.

- Themed site amenities, such as stone design elements, street signs and lighting, should be appropriately appointed throughout site.

- Focal points and highly visible ‘key lots’ should be identified on the site plan. Special design attention should be given to these locations including landscape treatments and the addition of site amenities such as seating areas or overlooks to view corridors.

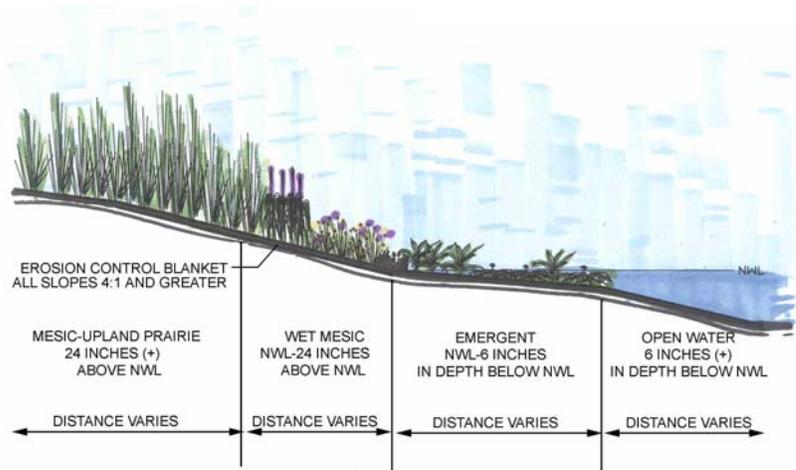


Rear Yard Landscaping



Key Lot Landscaping and Site Amenities

Naturalized Stormwater Cross Section



## **SECTION 8: LAND USE AND DESIGN GUIDELINES**

### **Architectural Standards**

- All residential developments shall comply with the City of Joliet Anti-monotony regulations through creative design and material selection.
- Facades visible from arterial and collector streets, trails and conservation easements shall be articulated appropriately with windows, shutters, roof lines a minimum of 8:12 pitch, bay windows, arch windows, wider roof overhangs, porches, decks, decorative railings, steeper roof pitches, brick fireplaces/chimneys, grilles in windows, gables and peaks, arbors, trellises/planter boxes, rear or side loaded garages, window and/or door bump-outs, roofed entrances, and other unique architectural treatments, which provides visual interest and not monotony. At least 30% of the structures shall contain brick, stone, or other masonry on at least 25% of all elevations.
- The architectural design and use of building materials shall reflect residential character.
- The prominent materials shall be of high quality including brick, stone, wood, and siding and shall be in accordance with the City's Brick Ordinance which requires 50% of the single family and duplex homes have 25% of the front façade in brick, stone or masonry and all multi-family dwellings to have 50% of the front façade and 25% of the side and rear facades in brick, stone or masonry.
- Exterior color schemes should provide a variety of compatible colors, which are respectful of the surrounding neighborhood.
- Architectural review of all elevations is required for all proposed projects.
- All new development must comply with City plans, policies, subdivision regulations and ordinances.



Quality Design and Materials



Appropriately Articulated Rear Façade as Viewed from Collector Street



Decorative Railings and Roofed Porches



Steep Roof Pitches and Bay Windows

## **SECTION 8: LAND USE AND DESIGN GUIDELINES**

### **COMMERCIAL DEVELOPMENT**

The commercial/industrial component of the City of Joliet has grown along with the residential areas. During the past ten years, 1400 acres have been platted for office, commercial, or industrial use in Joliet. The amendment to the land use plan adopted in 1997, anticipated 215 acres of commercial within the study area. However, the City anticipates a need for more commercial and office use within Kendall County, with major community commercial centers containing 60 acres along major arterials or at intersections, and 20-30 acres along minor arterials or at intersections. Collector intersections would have 5-10 acre neighborhood commercial center with a minimum size of 4 acres.



Entrance Landscape Emphasis

#### **Site Planning**

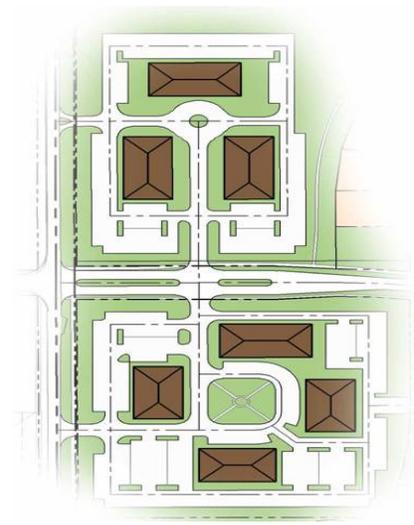
- Pedestrian/bikeway trails should be connected to commercial developments.
- Curb cuts to commercial developments should be minimized. Use of shared driveways and collector street access is recommended.
- Minimum lot size for neighborhood convenient shopping is 4 acres.
- Loading areas should accommodate safe truck circulation and appropriate buffering from adjacent uses and public streets.
- Structures and on-site circulation systems should be designed to minimize pedestrian/vehicular conflicts.



Architectural Style Reflects Residential Character

## **SECTION 8: LAND USE AND DESIGN GUIDELINES**

- Sidewalks extending the full length of the building must be provided along any façade featuring a customer entrance and along any façade abutting public parking areas. Such sidewalks shall be located at least six feet from the façade of the building to provide planting beds for foundation landscaping.
- The internal pedestrian walkways must be distinguished from driving surfaces through the use of special pavers, bricks, or scored concrete to enhance pedestrian safety and the attractiveness of the walkways.
- Cross-access easements should be provided to adjacent existing and future potential commercial properties.
- Pedestrian oriented exterior spaces are recommended, providing for quality shopping environments.



Site Design with Shared Driveways and Parking



Landscape Buffer Adjacent to Street

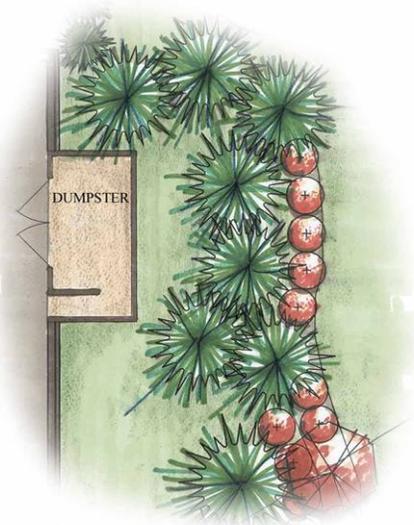
## **SECTION 8: LAND USE AND DESIGN GUIDELINES**

### **Landscape Design**

- Landscape buffers and perimeter landscaping should include berming (no greater than 3:1) and a mixture of deciduous and evergreen plant materials to provide for attractive and effective screening.
- Landscape buffers shall be no less than 30' wide. Exterior pedestrian oriented spaces are recommended, providing quality shopping environments.
- Parking areas adjacent to streets shall be buffered with landscape berms and landscaping to screen automobiles from view while maintaining visibility to storefronts. Site signage should be incorporated into landscape plan.
- The interior of parking areas shall include landscaped parking islands with a maximum number of 20 spaces between islands.
- Stormwater basins shall be landscaped with a mixture of deciduous and evergreen materials. Best management practices should be introduced in appropriate areas.
- Building landscape should include either foundation planting or urban solutions, such as trees in grates or planters of quality materials.
- All refuse areas shall be screened on three sides by a solid enclosure matching the building materials on-site, and gated on the 4<sup>th</sup> side. The open, gated side of the enclosure should not face streets or adjacent neighborhoods. Landscaping should be included for additional buffering.
- Landscaping shall meet or exceed the Joliet Landscape Ordinance.



Appropriate Materials and Amenities



Screened Refuse Area



Parking Area Landscaping

## **SECTION 8: LAND USE AND DESIGN GUIDELINES**

### **Architectural Standards**

- Architectural style and colors should reflect the residential character of the area.
- Exterior materials shall be masonry brick with architectural pre-cast accents as appropriate.
- Facades visible from street articulated appropriately with windows, shutters, roof lines and detailing, which provides visual interest and not monotony.
- All architectural elevations require City approval.
- Commercial signage should be low-lying, understated and coordinated with the building materials and colors.
- Site lighting shall be high quality and compatible with residential neighborhoods, designed to avoid glare and excessive spillage upon adjacent residential properties or public rights-of-way.
- All rooftop mechanical equipment shall be effectively screened from public view by the roof structure or parapet wall.
- All meters and other mechanical equipment located on the exterior wall or ground shall be effectively screened by landscaping or architectural elements.
- All new development must comply with City plans, policies, subdivision regulations and ordinances. The height of commercial buildings shall be no more than 2.5 stories.



Attractive Pedestrian Spaces



Screening of Mechanical Equipment



Understated Quality Signage



Architectural Style and Colors

## **SECTION 9: IMPLEMENTATION**

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In order to effectively utilize this plan for development in the Kendall County Sub-area, the following issues should be considered:

### **GENERAL PLAN USE**

**Plan Adoption-** The Comprehensive Plan should be adopted by the City Council and recognized as the guidance document for development within the defined area. Each development which approaches the City for annexation should be made fully aware of the plan and thus the desires of the City for development within the plan. During the annexation process, each land plan presented to the City should be measured against this Comprehensive Plan and careful consideration should be given to the impact of variances from the Comprehensive Plan.

**Continual Plan Improvement-** Market forces will play a large role in how and when the study area develops. As such, the Comprehensive Plan should be a flexible document that is evaluated against the needs of the City on a periodic basis. At a minimum, the plan should be reviewed and updated on a five year basis to incorporate new practices and standards that the City feels would be an enhancement to the Plan.

### **SPECIFIC PLAN RECOMMENDATIONS**

The following recommendations refer to specific items contained in the Comprehensive Plan:

**Regulatory Floodplain/Floodway-** As discussed in Section 3 of this Plan, the current regulatory floodplain and floodway were not calculated from the current state of the industry standards. In accordance with the “Joliet Special Flood Hazard Areas Development Ordinance,” Section 8-505(d), “When no base flood or 100-year frequency flood elevation exists, the base flood or 100-year frequency flood elevation for a riverine SFHA shall be determined from a backwater model...Flood flows should be based on anticipated future land use conditions in the water shed as determined from adopted local and regional land use plans.” Based on this ordinance, we recommend that the floodplain elevations and floodway boundaries contained within this study be utilized as the basis for floodplain determination when the limits are more conservative than the current Flood Insurance Rate Maps and/or Flood Insurance Study. Should the developer disagree with the floodplain elevations contained within the study, they may proceed with development of their own model to be reviewed and approved by the Illinois Department of Natural Resources.

**Regional Recreation Facilities-** The plan shows an approximately 130 acre lake located south of Van Dyke Road between the East Branch and the Middle Branch of the Aux Sable Creek. This area is largely floodplain and as such may be better utilized as a regional recreational amenity rather than a private residential development. Regional water facilities can be constructed and maintained by the municipality with funds collected from developers or with

## **SECTION 9: IMPLEMENTATION**

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general tax revenues. These facilities are larger than a typical stormwater detention pond and can become an aesthetic landmark and a significant open space area. Local residents can utilize the area for recreational purposes including small watercraft boating, fishing, wildlife viewing, and ice skating. Even though the area may be primarily used for regional water facilities, it also could be used for other recreation such as: golf courses, softball or soccer fields. A pedestrian trail system can be installed along the banks providing additional recreational possibilities. Planting all or portions of a water facility and surrounding areas with native vegetation should be implemented whenever possible. Due to the large amount of floodplain located in the immediate vicinity of the proposed water facility, the opportunity for win-win relationships with adjacent developers should be considered. Land currently within the floodplain will require fill to raise property above the base flood elevation. In addition, filled properties will need a location to provide compensatory floodplain storage. Both of these needs can be met by construction of a regional basin. Any development of a regional basin will need to be accomplished with great care due to the proximity to the Aux Sable Creek. With appropriate management, the water facility can become a benefit to the Aux Sable Creek watershed as well as a regional recreational amenity.

As the Plan area develops and larger tracts of property are aggregated by individual developers, the opportunity for construction of other regional detention facilities should be evaluated.

**Public Involvement/Education-** The future residents of the Plan area should be informed and educated about the natural resources that occur within their community. They should be educated about common daily practices and their effects on the local natural resources. With proper training, local residents can become involved with the maintenance and management of the natural areas. A public awareness and concern for the protection of the natural resources is essential to the long-term success of the natural features within the study area. The education can be in the form of simple brochures provided to area homeowners or presentations to schools and community groups.

## **SECTION 9: IMPLEMENTATION**

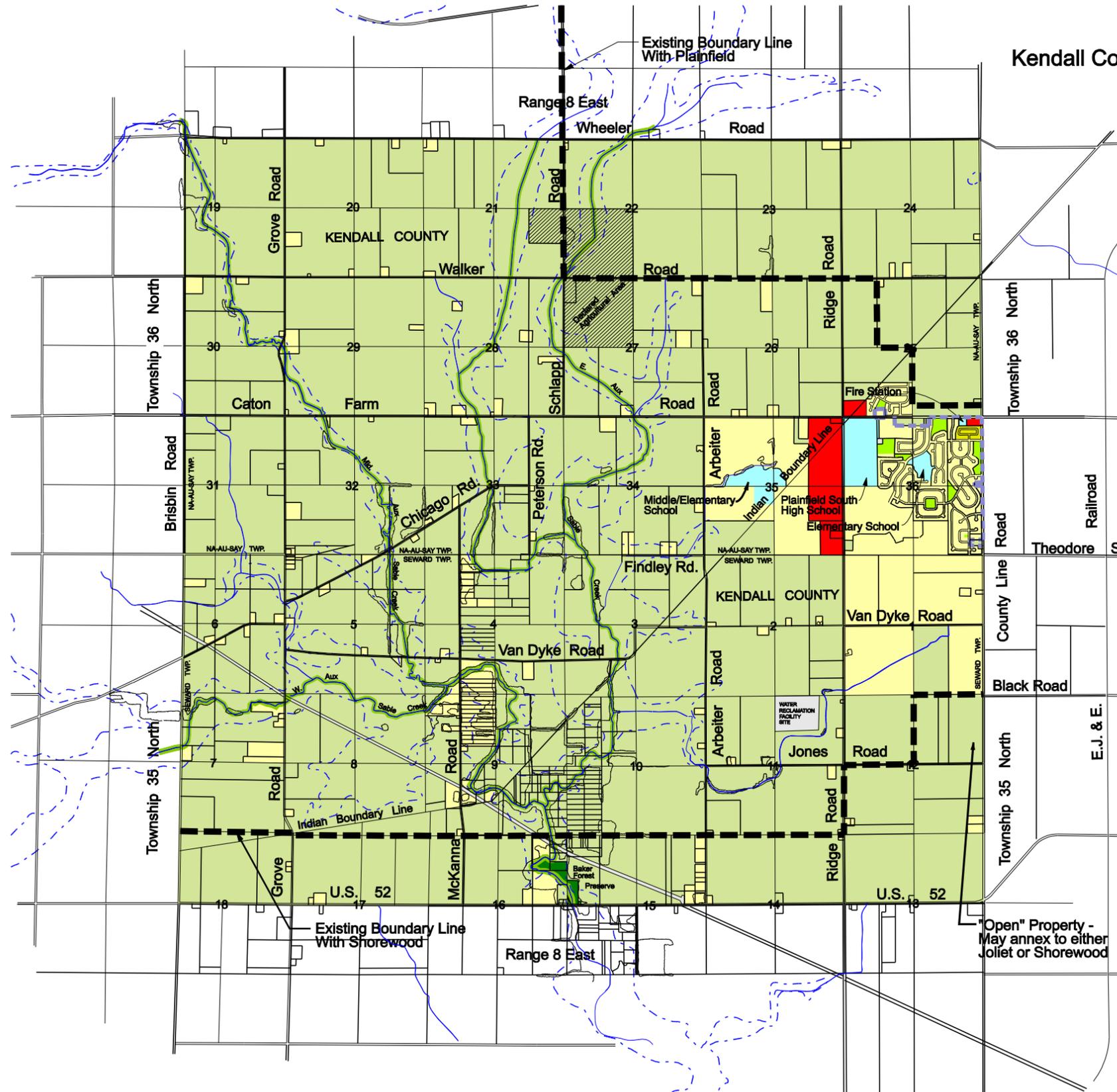
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**Transportation Infrastructure** – As noted in Section 4 of this Plan, the estimated cost for structure widening and improvement in the study area is \$12.3 million. Under the current City policy the adjacent landowner pays for roadway improvements at the time of development. Due to the high cost of structure widening and the generally less desirable land characteristics (large amounts of floodplain and floodway) of property adjacent to major drainage structures within the Aux Sable Creek watershed, it would be anticipated that these properties would be among the last to develop. Consequently, a “bottleneck” may develop where roadways cross drainage channels. In order to maintain the efficient flow of traffic through the Plan area, it is recommended that the City of Joliet assume the responsibility for widening of major structures within the Plan area. As these improvements will benefit all residents within the region, we recommend the use of alternative funding sources, such as a traffic impact fee, to implement the necessary bridge widening.

### **ADDITIONAL RESOURCES**

Additional information regarding the City of Joliet and City staff contact information is available via the City’s web page at [www.CityofJoliet.info](http://www.CityofJoliet.info).

# City of Joliet Kendall County Sub Area Comprehensive Plan Existing Land Use



## Legend

### Residential

- Single Family Detached Residential - 3 DU/AC
- Duplex Residential - One or Two Family
- Multi-Family Residential - 6 DU/AC

### Commercial

- General Business

### Municipal/Institutional

- (Schools, Churches, Hospitals, Fire District & Municipal Facilities)
- As Labeled
  - Utilities

### Public Open Space

- Kendall County Forest Preserve
- Parks

### Agricultural

- Agricultural
- Declared Agricultural Area
- Aux. Sable Creek
- Flood Plain
- Tree Line



Joseph H. Abel & Associates  
Land Use Planning • Zoning • Economic Development • Report Testimony  
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**REMPE-SHARPE**  
CONSULTING ENGINEERS  
324 WEST STATE STREET - GENEVA, ILLINOIS 60134  
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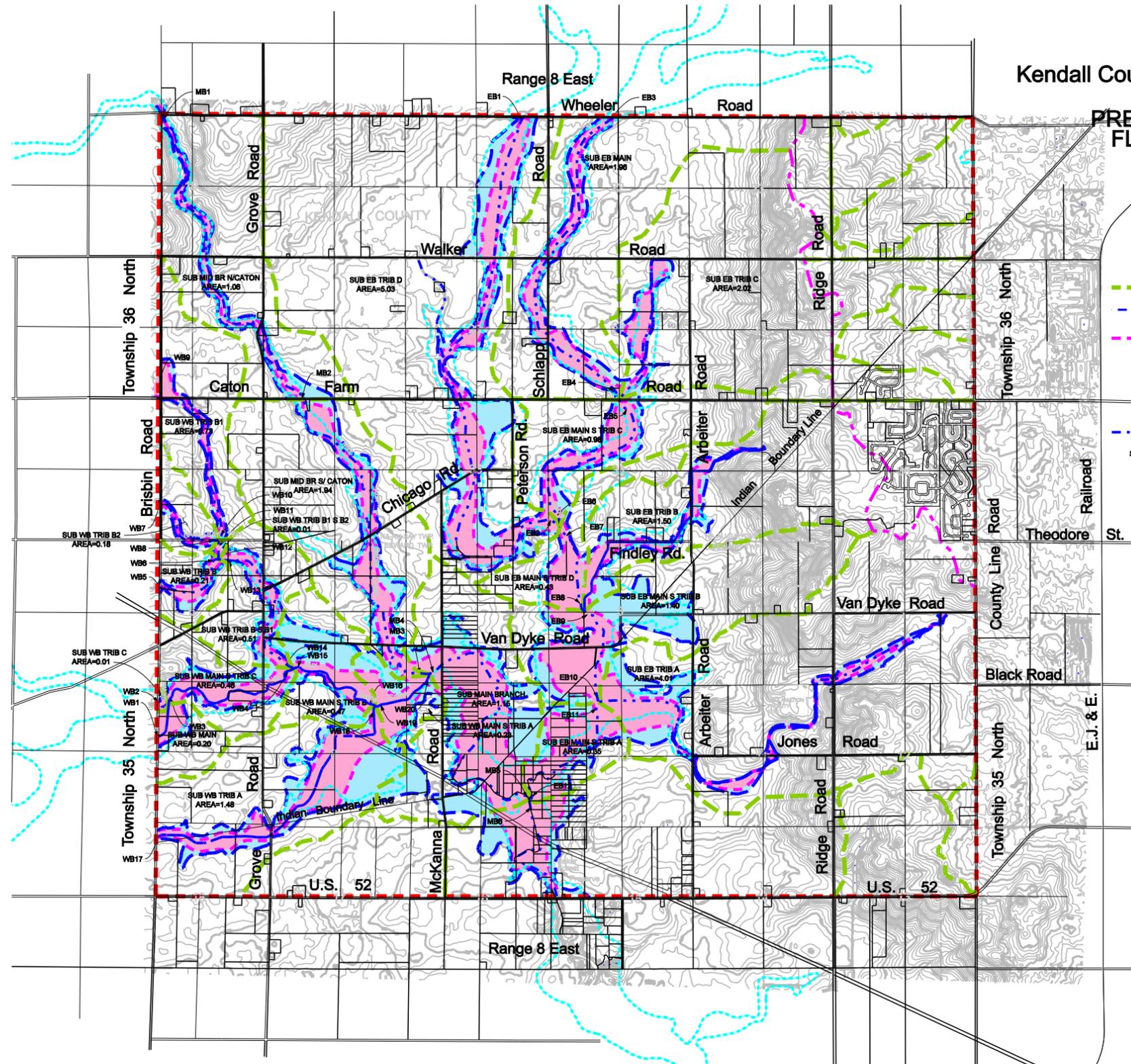
**ENCAP, Inc.** 2000 North Ave. 2nd Floor Chicago, IL 60647

**LAND PLANNING**  
CONSULTING ENGINEERS  
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Telephone: (630) 232-0627 - Fax: (630) 232-9028

"Open" Property -  
May annex to either  
Joliet or Shorewood

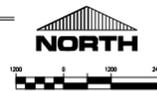
City of Joliet  
Kendall County Sub Area Comprehensive Plan

PRE-STUDY FEMA FLOODPLAIN AND  
FLOODWAY VS STUDY FINDINGS



Legend

- SUB-BASIN WATERSHED DIVIDE
- CHANNEL CENTERLINE
- MAJOR WATERSHED DIVIDE BETWEEN THE AUX SABLE CREEK AND THE DUPAGE RIVER
- 100 YEAR FLOODPLAIN BOUNDRY PER STUDY (NON-REGULATORY)
- APPROXIMATE FLOODWAY BOUNDRY PER STUDY (NON-REGULATORY)
- EXISTING FLOODWAY LIMITS
- WATERSHED SUB-BASIN NAME AND TRIBUTARY AREA (SQUARE MILES)
- EB1 POINT WHERE THEORETICAL FLOW RATES HAVE BEEN CALCULATED (SEE SHEET 2 OF 2)

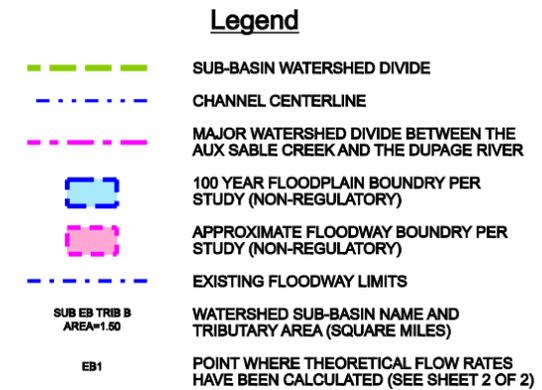


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City of Joliet  
Kendall County Sub Area Comprehensive Plan

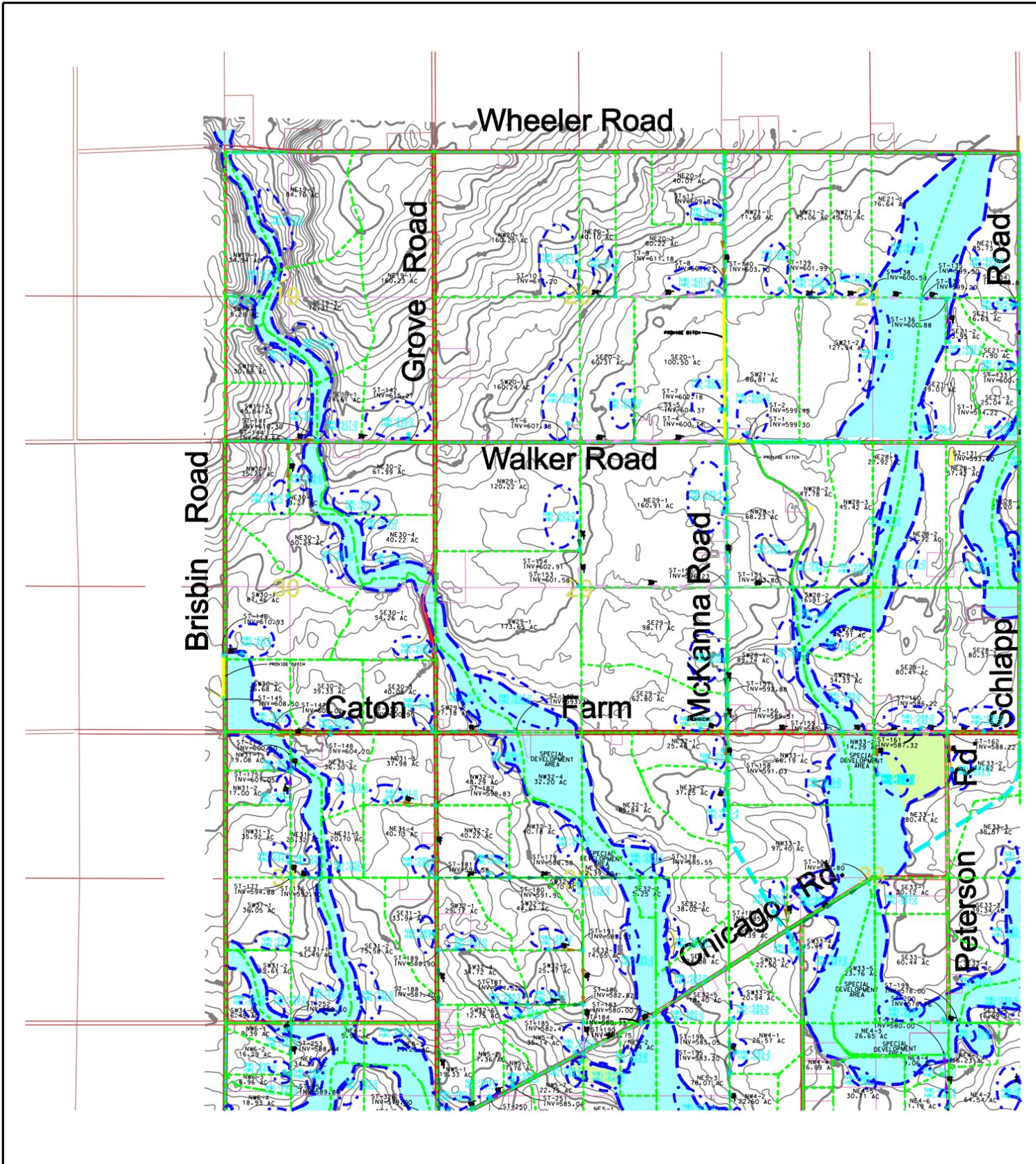
PRE-STUDY FEMA FLOODPLAIN AND  
FLOODWAY VS STUDY FINDINGS

Summary of Peak Discharges Calculated by HEC-HMS						
Using Bulletin 70 Rainfall Data						
Map Key	HEC-HMS Model Descriptor	Cumulative Drainage Area (sq. mi)	Peak Discharge (cfs)/Recurrence Interval			
			500 Year	100 Year	50 Year	10 Year
WB1	WB MAIN (OFF-SITE)	28.71	4369	3455	2661	1537
WB2	WB TRIB C (OFF-SITE)	9.91	1741	1378	1063	615
	SUB WB TRIB C	0.01	9	8	6	4
	SUB WB MAIN	0.20	172	139	110	67
WB3	WB TRIB C (JUNCTION)	38.83	6057	4792	3692	2134
	SUB WB MAIN S TRIB C	0.46	231	185	145	87
WB4	J1 WB TRIB B	39.29	6060	4793	3693	2135
WB5	WB TRIB B (OFF-SITE)	1.27	666	535	419	251
	SUB WB TRIB B	0.21	160	129	102	62
WB6	J1 WB TRIB B1	1.48	738	592	464	278
WB7	WB TRIB B2 (OFF)	0.85	457	367	288	173
	SUB WB TRIB B2	0.18	131	105	83	50
WB8	J1 WB TRIB B2	1.03	538	431	338	203
WB9	WB TRIB B1 (OFF)	1.41	812	653	513	308
	SUB WB TRIB B1	0.73	367	294	231	138
WB10	J2 WB TRIB B2	2.14	1179	947	743	446
WB11	WB TRIB B2 (JUNCT)	3.17	1708	1372	1077	646
	SUB WB TRIB B1 S B2	0.01	9	8	6	4
WB12	J2 WB TRIB B1	3.18	1708	1372	1077	646
WB13	WB TRIB B1 (JUNCT)	4.66	2444	1962	1539	922
	SUB WB TRIB B S B1	0.51	289	232	182	110
WB14	J2 WB TRIB B	5.17	2696	2164	1698	1017
WB15	WB TRIB B (JUNCTION)	44.46	6078	4807	3703	2140
	SUB WB MAIN S TRIB B	0.47	257	206	162	97
WB16	J2 WB TRIB A	44.93	6078	4807	3704	2140
WB17	WB TRIB A (OFF-SITE)	1.03	422	338	264	156
	SUB WB TRIB A	1.48	526	420	327	193
WB18	J1 WB TRIB A	2.51	949	758	591	349
WB19	WB TRIB A (JUNCTION)	47.44	6174	4883	3781	2173
	SUB WB MAIN S TRIB A	0.23	145	117	92	56
WB20	ASC 31	47.67	6174	4883	3781	2173
MB1	SUB MID BR (OFF)	12.92	3435	2731	2117	1237
	SUB MID BR N/CATON	1.06	488	391	306	182
	ASC 40	13.98	3547	2819	2184	1276
MB2	MID BRANCH S/CATON	13.98	3547	2819	2184	1276
	SUB MID BR S/CATON	1.94	713	569	443	262
MB3	ASC 30A	15.92	3869	3073	2379	1388
MB4	WEST BR ASC 30	63.59	9246	7314	5636	3259
	SUB MAIN BRANCH	1.15	252	200	155	90
MB5	ASC 20A	64.74	9470	7492	5773	3338
EB1	EB TRIB D OFF-SITE	4.91	1732	1382	1076	634
	SUB EB TRIB D	5.03	1012	802	619	359
EB2	J1 TRIB D	9.94	2613	2078	1611	942
EB3	EB MAIN OFF-SITE	11.75	2886	2293	1775	1035
	SUB EB MAIN	1.96	610	486	378	222
EB4	J1 EB TRIB C	13.71	3353	2663	2062	1202
	SUB EB TRIB C	2.02	966	774	606	362
EB5	EB TRIB C	15.73	3541	2811	2174	1266
	SUB EB MAIN S TRIB C	0.98	468	375	294	175
EB6	J2 TRIB D	16.71	3624	2876	2224	1294
EB7	TRIB D	26.65	6220	4938	3820	2225
	SUB EB MAIN S TRIB D	0.43	205	165	129	77
EB8	J1 EB MAIN S TRIB B	27.08	6263	4972	3846	2240
	SUB EB TRIB B	1.50	626	501	391	232
EB9	EB TRIB B	28.58	6525	5178	4004	2330
	SUB EB MAIN S TRIB B	1.40	640	512	401	239
EB10	J1 EB TRIB A 1	29.98	6712	5324	4115	2393
	SUB EB TRIB A	4.01	925	734	568	331
EB11	EB TRIB A	33.99	7623	6048	4675	2719
	SUB EB MAIN S TRIB A	0.35	160	128	100	60
EB12	ASC 21	34.34	7661	6078	4698	2732
MB6	EAST BR ASC 20	99.08	16808	13141	10129	5860
*	SUB MAIN S EB	8.85	1780	1411	1089	632
*	ASC 10	107.93	18383	14547	11214	6490
*	Points located downstream of study area at Wildy Road					



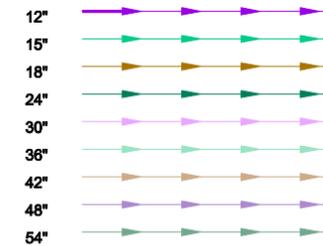
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City of Joliet  
 Kendall County Sub Area Comprehensive Plan  
 Proposed Drainage Plan  
 Northwest Study Quadrant  
 Sections 19-21, and 28-33  
 Na-Au-Say Township

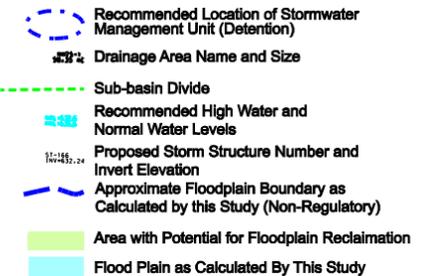


Legend

Storm Sewer Sizing



Stormwater Management



Roadway Improvements



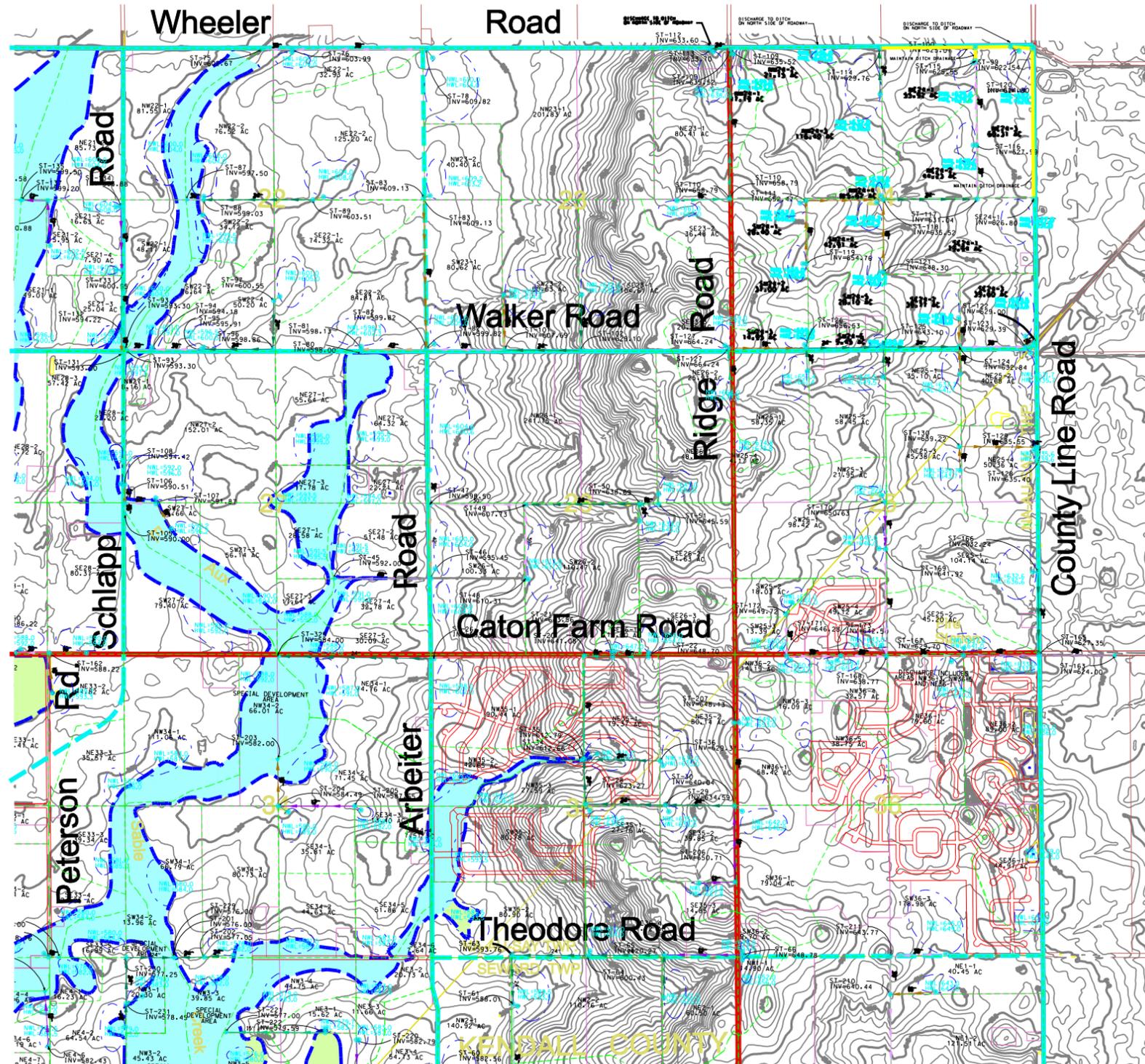
NOTES:

1. PROPOSED STORMWATER STORAGE AREAS, SHAPES, ELEVATIONS, LOCATIONS AND TYPES ARE SCHEMATIC ONLY AND ARE INTENDED TO ILLUSTRATE THE APPLICATION OF THE DESIGN RECOMMENDATIONS TO EACH LARGE PARCEL.
2. "SPECIAL DEVELOPMENT AREA" IS NOTED WHERE LARGE PORTIONS OF INDIVIDUAL PARCELS ARE WITHIN THE FLOODPLAIN AND/OR FLOODWAY.
3. PROPOSED STORMWATER STORAGE VOLUMES DO NOT INCLUDE DEPRESSIONAL STORAGE AREAS. ADDITIONAL DEPRESSIONAL STORAGE VOLUMES TO BE DETERMINED FROM DETAILED SITE SURVEY.

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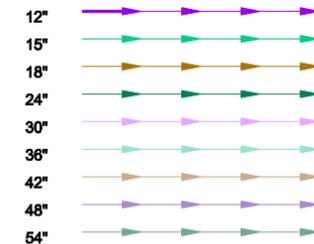
**EXHIBIT 3-2**  
**SHEET 1 OF 4**

Proposed Drainage Plan  
Northeast Study Quadrant  
Sections 22-27, and 34-36  
Na-Au-Say Township

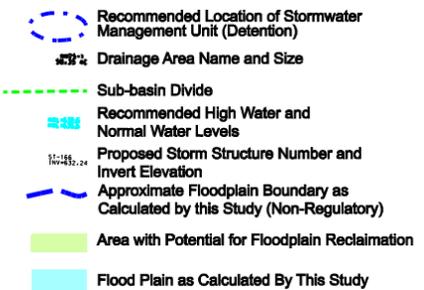


Legend

Storm Sewer Sizing



Stormwater Management



Roadway Improvements



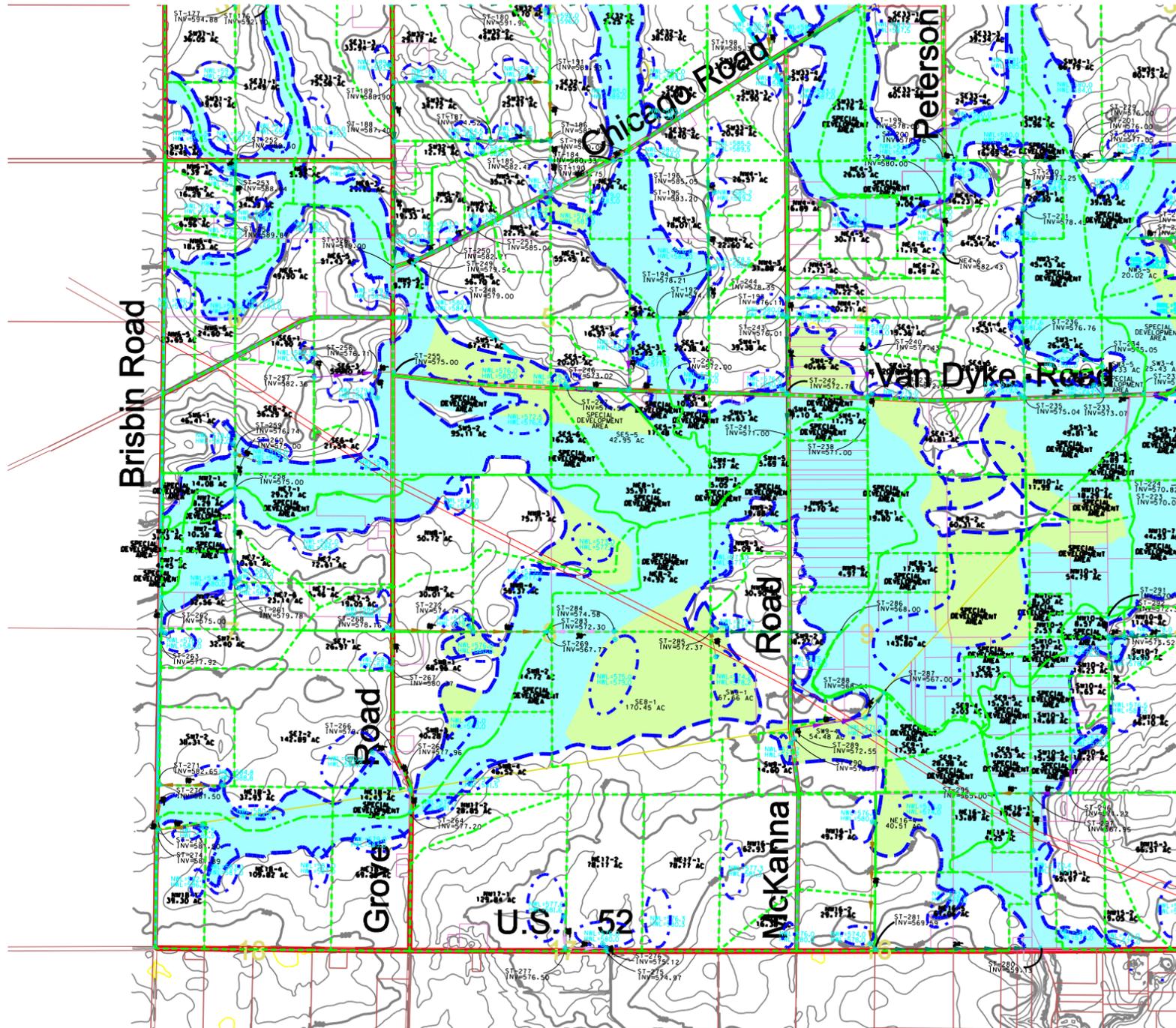
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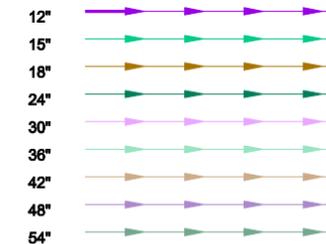
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 Kendall County Sub Area Comprehensive Plan  
 Proposed Drainage Plan  
 Southwest Study Quadrant  
 Sections 4-9, and 16-18  
 Seward Township

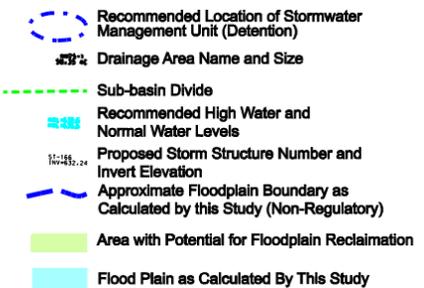


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Storm Sewer Sizing



Stormwater Management



Roadway Improvements



NOTES:

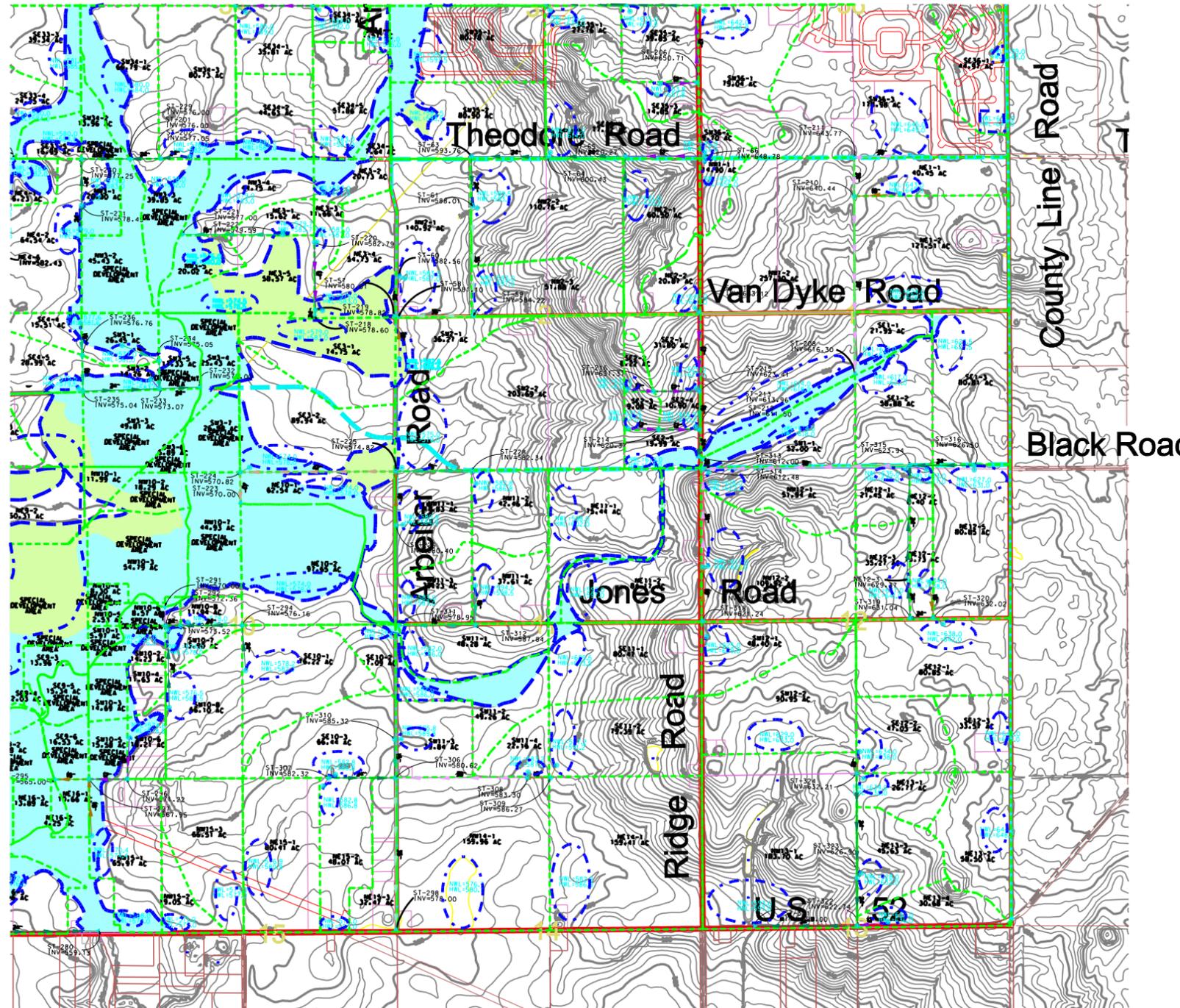
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2. "SPECIAL DEVELOPMENT AREA" IS NOTED WHERE LARGE PORTIONS OF INDIVIDUAL PARCELS ARE WITHIN THE FLOODPLAIN AND/OR FLOODWAY.
3. PROPOSED STORMWATER STORAGE VOLUMES DO NOT INCLUDE DEPRESSIONAL STORAGE AREAS. ADDITIONAL DEPRESSIONAL STORAGE VOLUMES TO BE DETERMINED FROM DETAILED SITE SURVEY.

**REMPE-SHARPE**  
 CONSULTING ENGINEERS  
 834 WEST STATE STREET - GENEVA, ILLINOIS 60134  
 Telephone: (630) 232-0277 - Fax: (630) 232-1420

**NORTH**

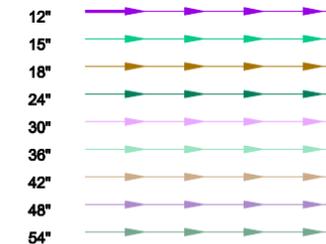
EXHIBIT 3-2  
 SHEET 3 OF 4

City of Joliet  
 Kendall County Sub Area Comprehensive Plan  
 Proposed Drainage Plan  
 Southeast Study Quadrant  
 Sections 1-3, and 10-15  
 Seward Township

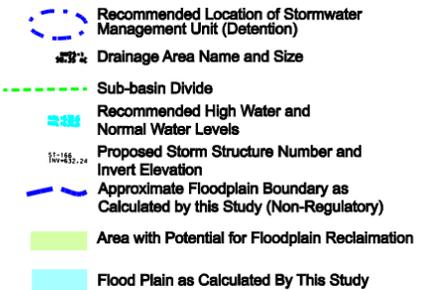


Legend

Storm Sewer Sizing



Stormwater Management



Roadway Improvements

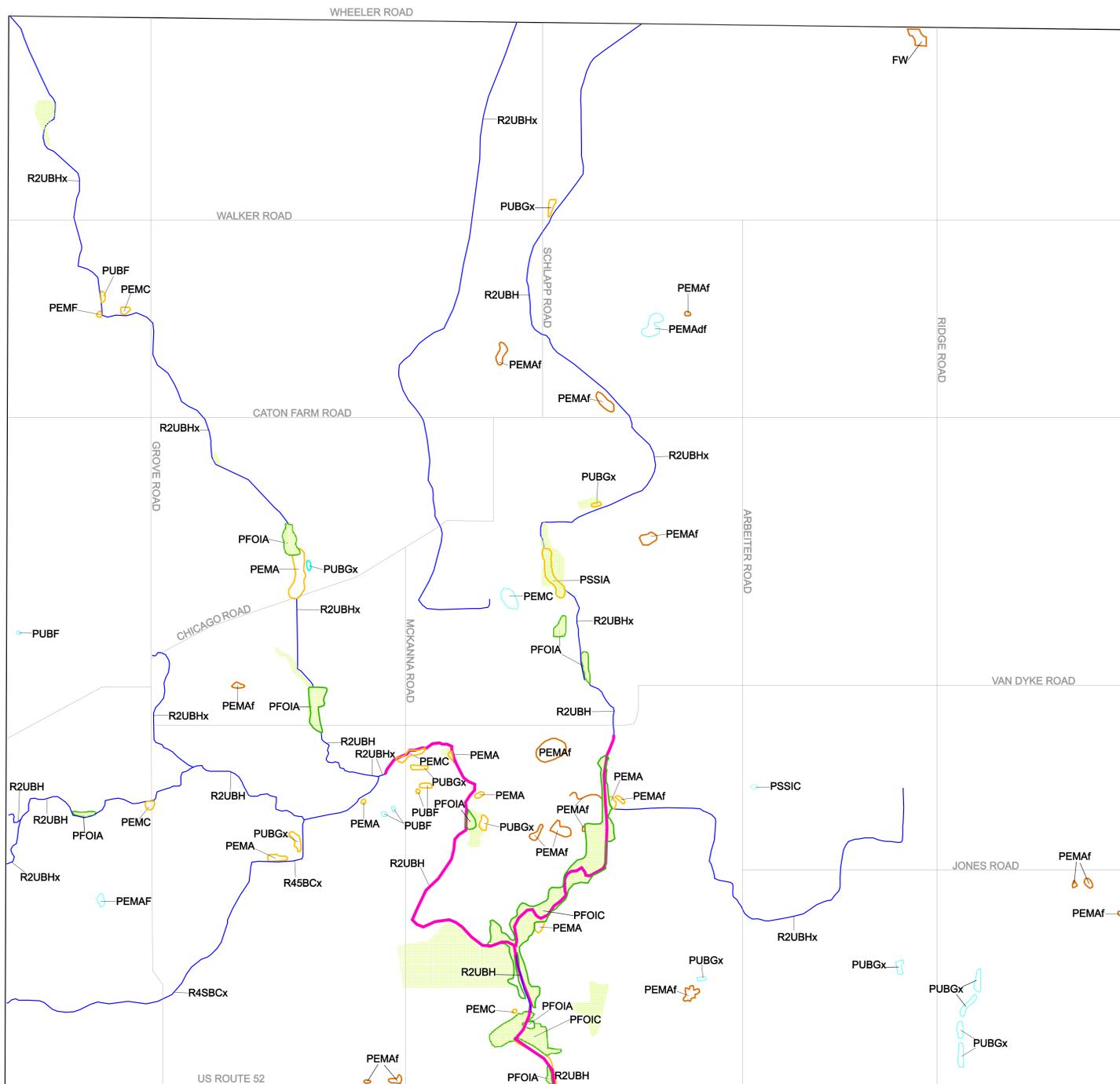


NOTES:

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**REMPE-SHARPE**  
 CONSULTING ENGINEERS  
 224 WEST STATE STREET - GENEA, ILLINOIS 60144  
 Telephone (815) 232-0827 - Fax (815) 232-1820

**EXHIBIT 3-2**  
**SHEET 4 OF 4**



**WETLAND LEGEND:**

SYSTEM	P-PALUSTRINE							
CLASS	RB-ROCK BOTTOM	UB-UNCONSOLIDATED BOTTOM	AB-AQUATIC BED	US-UNCONSOLIDATED SHORE	ML-MOSS/LICHEN	EM-EMERGENT	FO-FORESTED	OW-OPEN WATER/Unknown Bottom
Subclass	1 Bedrock 2 Boulder	1 Cobble/Gravel 2 Sand 3 Mud 4 Organic	1 Algal 2 Aquatic Moss 3 Rooted Vascular 4 Floating Vascular 5 Unknown Submergent 6 Unknown Surface	1 Cobble/Gravel 2 Sand 3 Mud 4 Organic 5 Vegetated	1 Moss 2 Lichen	1 Persistent 2 Nonpersistent	1 Broad-leaved Deciduous 2 Needle-leaved Deciduous 3 Broad-leaved Evergreen 4 Needle-leaved Evergreen 5 Dead 6 Deciduous 7 Evergreen	

SYSTEM	R-RIVERINE							
SUBSYSTEM	1 - Tidal	2 - Lower Perennial	3 - Upper Perennial	4 - Intermittent	5 - Unknown Perennial			
CLASS	RB-ROCK BOTTOM	UB-UNCONSOLIDATED BOTTOM	SB-STREAMBED	AB-AQUATIC BED	RS-ROCKY SHORE	US-UNCONSOLIDATED SHORE	**EMERGENT	OW-OPEN WATER/Unknown Bottom
Subclass	1 Bedrock 2 Boulder	1 Cobble/Gravel 2 Sand 3 Mud 4 Organic	1 Bedrock 2 Rubble 3 Cobble/Gravel 4 Sand 5 Mud 6 Organic 7 Vegetated	1 Algal 2 Aquatic Moss 3 Rooted Vascular 4 Floating Vascular 5 Floating 6 Unknown Submergent 7 Unknown Surface	1 Bedrock 2 Rubble 3 Mud 4 Organic 5 Vegetated	1 Cobble/Gravel 2 Sand 3 Mud 4 Organic 5 Vegetated	2 Nonpersistent	

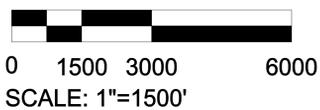
WATER REGIME		MODIFIERS		WATER CHEMISTRY			SOIL
Non-Tidal		Tidal		Coastal Salinity	Inland Salinity	pH Modifiers for all Fresh Water	
A Temporarily Flooded	H Permanently Flooded	K Artificially Flooded	*S Temporary Tidal	1 Hyperhaline	7 Hypersaline	a Acid	g Organic
B Saturated	J Intermittently Flooded	L Subtidal	*R Seasonal Tidal	2 Euhaline	8 Eusaline	t Circumneutral	n Mineral
C Seasonally Flooded	K Artificially Flooded	M Irregularly Exposed	*T Semipermanent Tidal	3 Mixohaline (Brackish)	9 Mixosaline	l Alkaline	
D Seasonally Flooded-Well Drained	W Intermittently Flooded/Temp	N Regularly Flooded	*V Permanent Tidal	4 Polyhaline	0 Fresh		
E Seasonally Flooded-Saturated	Y Saturated/ Semipermanent/ Seasonals	P Irregularly Flooded	U Unknown	5 Mesohaline			
F Semipermanently Flooded	Z Intermittently Exposed/Perm	*These water regimens are only used on tidally influenced freshwater systems		6 Oligohaline			
G Intermittently Exposed	U Unknown			0 Fresh			

**NATURAL RESOURCE AREA MAP**

Source: US Fish and Wildlife Service, Kendall County NRCS, & Illinois Department of Natural Resources  
Yorkville South East Quadrangle

**CITY OF JOIET  
KENDALL COUNTY SUB AREA  
COMPREHENSIVE PLAN**

**EXHIBIT 3-3**

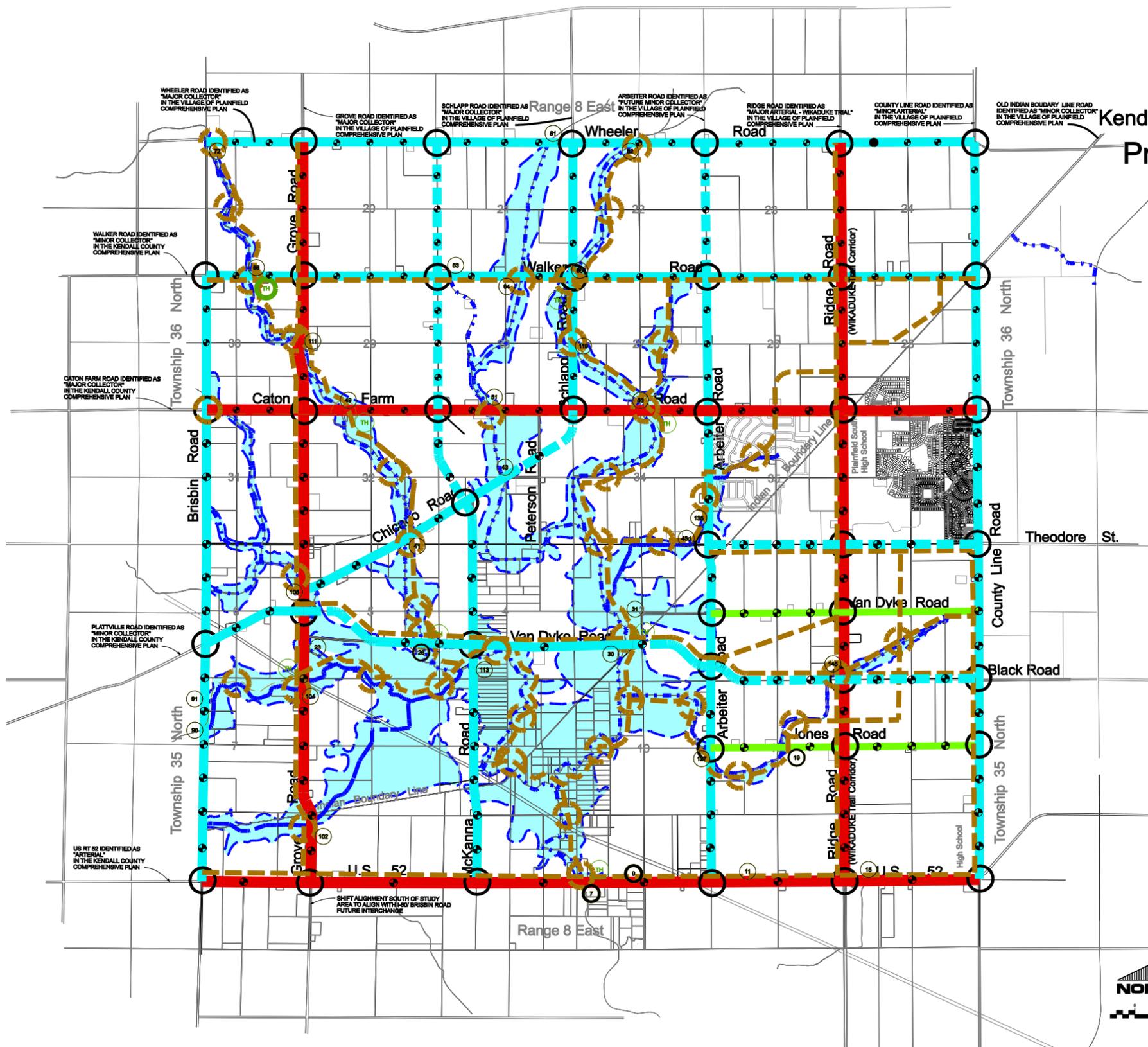


**LEGEND:**

- Project Area
- Wetland Outside Floodplain (40%)
- Wetland Inside Floodplain (60%)
- Aux Sable Creek
- Woodland
- \*INAI Aux Sable Creek
- \*Illinois Natural Area Inventory
- NRCS Farmed Wetland (FW)
- Forested Wetland All Within Floodplain (21%)
- Farmed Wetland (26%)

**ENCAP, Inc.**

# City of Joliet Kendall County Sub Area Comprehensive Plan Proposed Transportation Plan



**Legend**

- Major Arterial Roads
- - - Major Arterial Roads (Future)\*
- Arterial Roads
- - - Arterial Roads (Future)\*
- Collector Roads
- - - Proposed Multi-Use Trail
- MS Major Structure Number
- Approximate Access Location
- Proposed Intersection Improvements
- - - 100 Year Flood Plain Boundary as Determined by This Study (Non-Regulatory)
- Stream Centerline
- Proposed Multi-Use Trail Roadway or Creek Crossing
- TH Proposed Multi-Use Trail Head

\* Roadways Noted As "FUTURE" Are Along Alignments Where No Right - Of - Way Is Currently Provided

- NOTES:**
- 1) ACCESS LOCATIONS TO STATE AND COUNTY HIGHWAYS ARE UNDER THE JURISDICTION OF THE CORRESPONDING HIGHWAY AUTHORITY.
  - 2) ACCESS LOCATIONS SHOWN ARE APPROXIMATE AND ARE INTENDED FOR PLANNING PURPOSES ONLY. ACTUAL LOCATIONS WILL BE DETERMINED BY THE CITY DURING THE LAND DEVELOPMENT AND ANNEXATION PROCESS.
  - 3) THE EXTENT OF PROPOSED INTERSECTION IMPROVEMENTS WILL BE DETERMINED BY DETAILED ENGINEERING ANALYSIS
  - 4) RIDGE ROAD SHALL BE CONSTRUCTED TO THE WIKADUKE TRAIL CROSS SECTION
  - 5) ARBEITER ROAD, MCKANNA ROAD AND BLACK ROAD FROM COUNTY LINE ROAD TO ARBEITER ROAD SHALL BE CONSTRUCTED WITH A 16' LANDSCAPED CENTER MEDIAN
  - 6) SEE TABLES ON SHEET 2 OF 2 FOR STRUCTURE INFORMATION.



**REMPE-SHARPE**  
CONSULTING ENGINEERS  
224 WEST STATE STREET - GENESA, ILLINOIS 60143  
Telephone (815) 252-0527 - Fax (815) 252-1628

City of Joliet  
Kendall County Sub Area Comprehensive Plan  
Proposed Transportation Plan

**SUMMARY OF MAJOR CULVERT STRUCTURES**

Structure No.	Structure Type	Road Name	Proposed Roadway Section	Number of Borealls	Opening Height (ft)	Opening Width (ft)	Wingwalls
9	Concrete Box Culvert	Route 52	Major Arterial	1	3	6	45 Degree
11	Concrete Box Culvert	Route 52	Major Arterial	1	3.5	10.5	45 Degree
15	Concrete Box Culvert	Route 52	Major Arterial	1	6	9.83	45 Degree
19	Concrete Box Culvert	Jones Road	Major Collector	1	6	12	45 Degree
23	Twin Concrete Box Culverts	Van Dyke Road	Major Arterial	2	5	6	45 Degree
31	CMP Arch Pipe	Van Dyke Road	Major Arterial	1	6.5	9	None
63	CMP Multi-Plate	Walker Road	Major Arterial	1	6.25	8.5	None
66	Three Concrete Box Culverts	Walker Road	Major Arterial	3	9	10	45 Degree
102	Concrete Box Culvert	Grove Road	Major Arterial	1	5.5	10	45 Degree
106	Twin Concrete Box Culverts	Grove Road	Major Arterial	2	4	7	45 Degree
127	Twin Concrete Box Culverts	Arbeiter Road	Minor Arterial	2	6	7	45 Degree
135	CMP Multi-Plate	Arbeiter Road	Minor Arterial	1	6	9	None
145	Twin Concrete Box Culverts	Ridge Road	Wik-A-Duke	2	8	6	45 Degree
43d	Concrete Box Culvert with Wingwalls	Findley Road	Minor Collector	1	6.5	9	45 Degree

**SUMMARY OF MAJOR BRIDGE STRUCTURES**

Structure No.	Road Name	Number of Spans	Structure Length (ft)	Deck Type	Existing Design Load	Structure No.	Proposed Roadway Section
7	Route 52	3	145	CIP	MS 18	047-0060	Major Arterial
26	Van Dyke Road	1	44	Pcast/Pstress Conc. Deck Beam	HS 15	047-3094	Major Arterial
30	Van Dyke Road	3	121	Pcast/Pstress Conc. Deck Beam	HS 20	047-3118	Major Arterial
41	Chicago Road	1	49	Pcast/Pstress Conc. Deck Beam	HS 15	047-3093	Minor Arterial
43	Chicago Road	1	41	Pcast/Pstress Conc. Deck Beam	H 15	047-3092	Minor Arterial
49	Caton Farm Road	2	69	CIP Conc Normally Formed	HS 15	047-3013	Major Arterial
51	Caton Farm Road	2	50	CIP Conc Normally Formed	HS 15	047-3014	Major Arterial
56	Caton Farm Road	2	61	CIP Conc Normally Formed	HS 15	047-3015	Major Arterial
58	Walker Road	1	50	Pcast/Pstress Conc. Deck Beam	HS 20	047-3037	Major Arterial
64	Walker Road	1	55	Pcast/Pstress Conc. Deck Beam	HS 20	047-3148	Major Arterial
72	Wheeler Road	3	74	Pcast/Pstress Conc. Deck Beam	H 20	047-3113	Minor Arterial
81	Wheeler Road	1	44	Pcast/Pstress Conc. Deck Beam	HS 20	047-3142	Minor Arterial
82	Wheeler Road	1	49	Pcast/Pstress Conc. Deck Beam	HS 15	047-3083	Minor Arterial
90	Brisbin Road	1	49	Pcast/Pstress Conc. Deck Beam	HS 15	047-3085	Minor Arterial
91	Brisbin Road	1	66	Pcast/Pstress Conc. Deck Beam	H 20	047-3120	Minor Arterial
104	Grove Road	2	52	CIP Conc Normally Formed	H 20	047-3016	Major Arterial
111	Grove Road	1	82	CIP Conc Normally Formed	HS 20	047-3154	Major Arterial
113	McKanna Road	3	125	Pcast/Pstress Conc. Deck Beam	H 20	047-3115	Minor Arterial
119	Schlapp Road	1	54	Pcast/Pstress Conc. Deck Beam	Unknown	047-3069	Minor Arterial

**Legend**

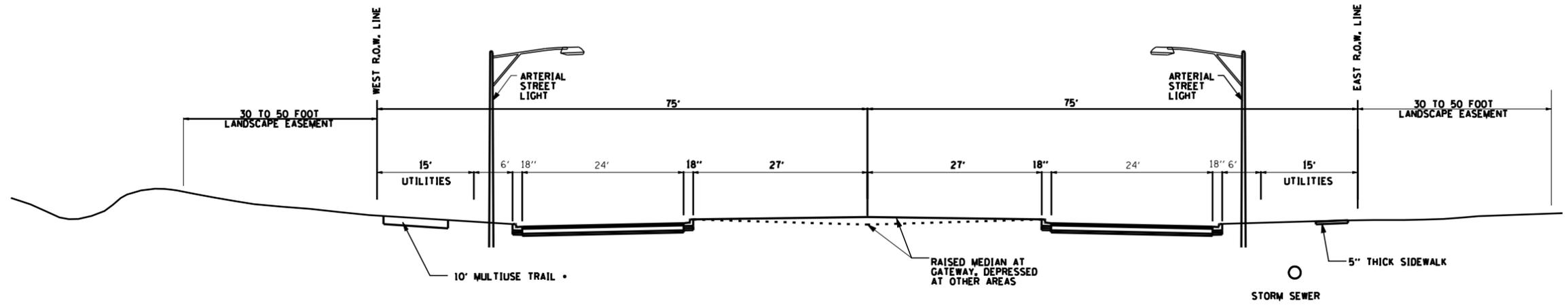
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-  Major Arterial Roads (Future)\*
-  Arterial Roads
-  Arterial Roads (Future)\*
-  Collector Roads
-  Proposed Multi-Use Trail
-  Major Structure Number
-  Approximate Access Location
-  Proposed Intersection Improvements
-  100 Year Flood Plain Boundary as Determined by This Study (Non-Regulatory)
-  Stream Centerline
-  Proposed Multi-Use Trail Roadway or Creek Crossing
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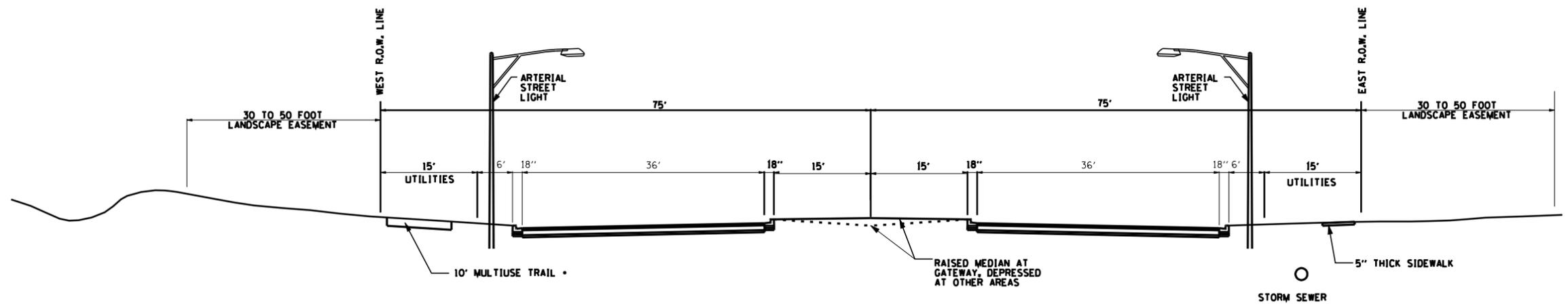
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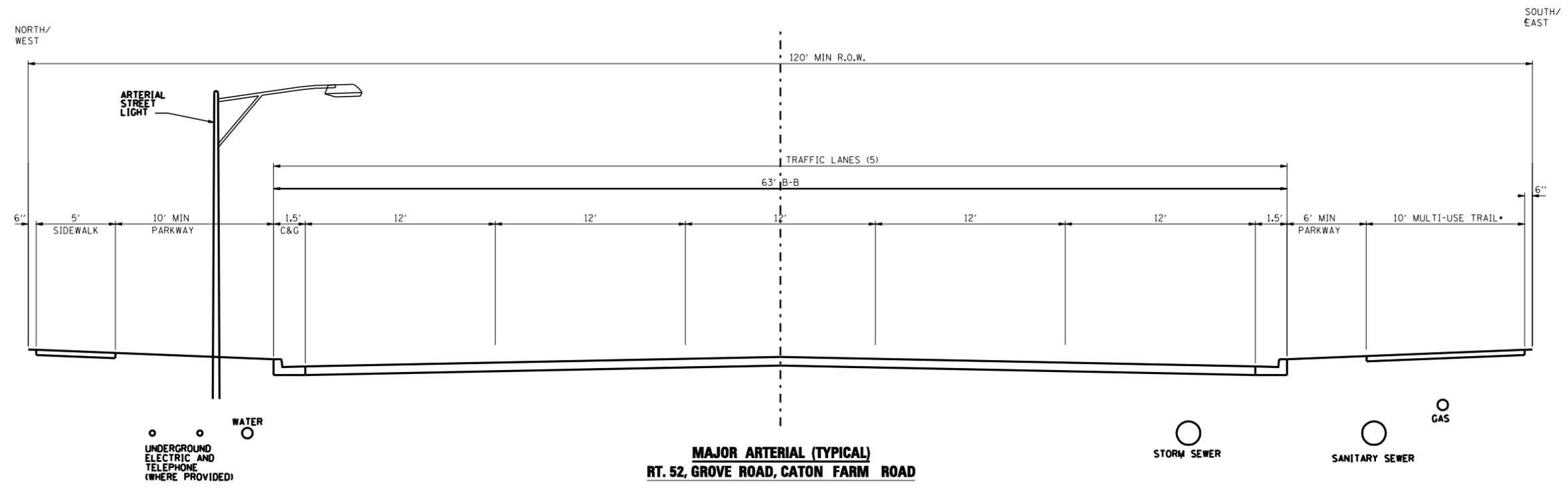


**WIKADUKE TRAIL – INITIAL CONSTRUCTION  
(RIDGE ROAD)**



**WIKADUKE TRAIL – ULTIMATE BUILD-OUT  
(RIDGE ROAD)**

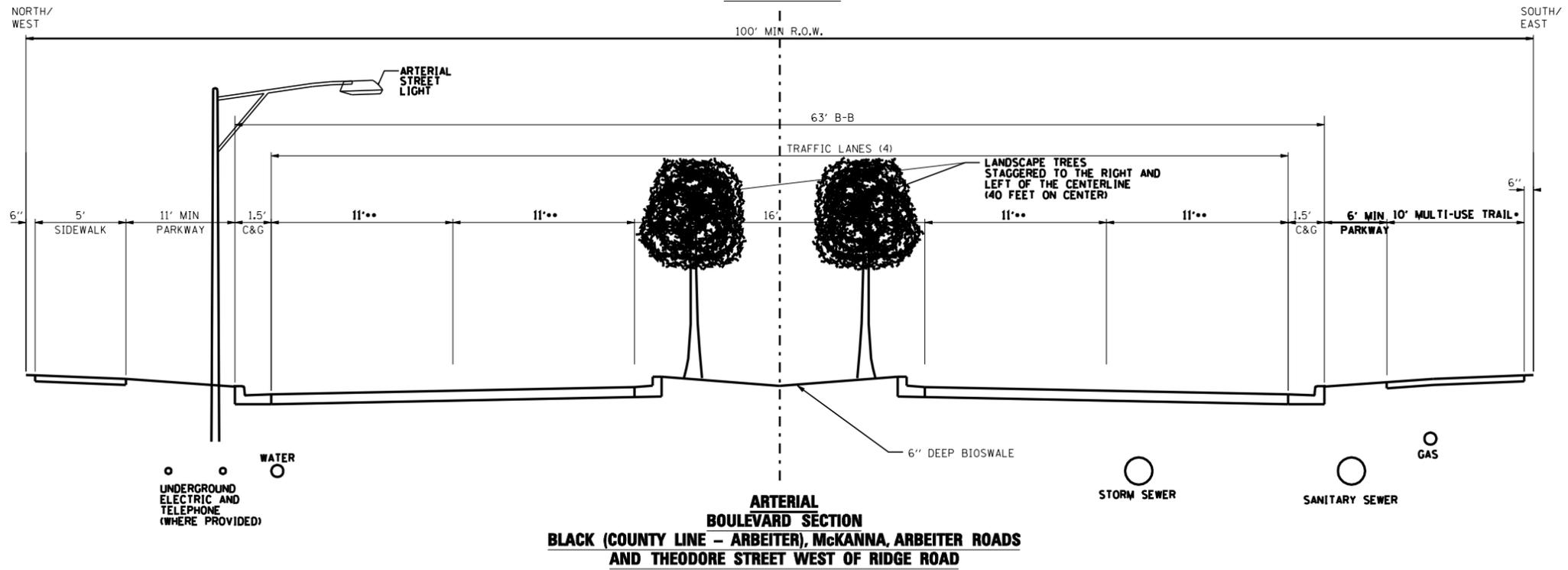
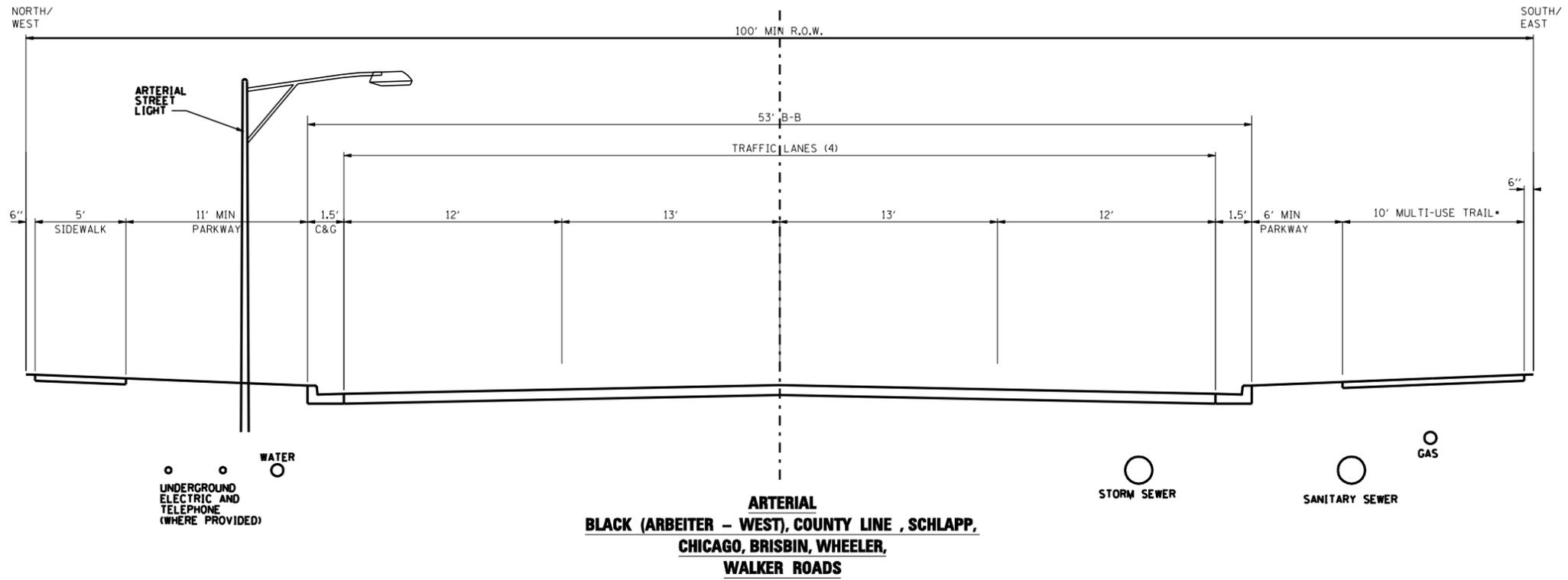
\* PROVIDED MULTI-USE TRAIL AT LOCATIONS  
SHOWN ON THE OPEN SPACE, RECREATION  
AND NATURAL RESOURCES PLAN



**MAJOR ARTERIAL (TYPICAL)**  
**RT. 52, GROVE ROAD, CATON FARM ROAD**

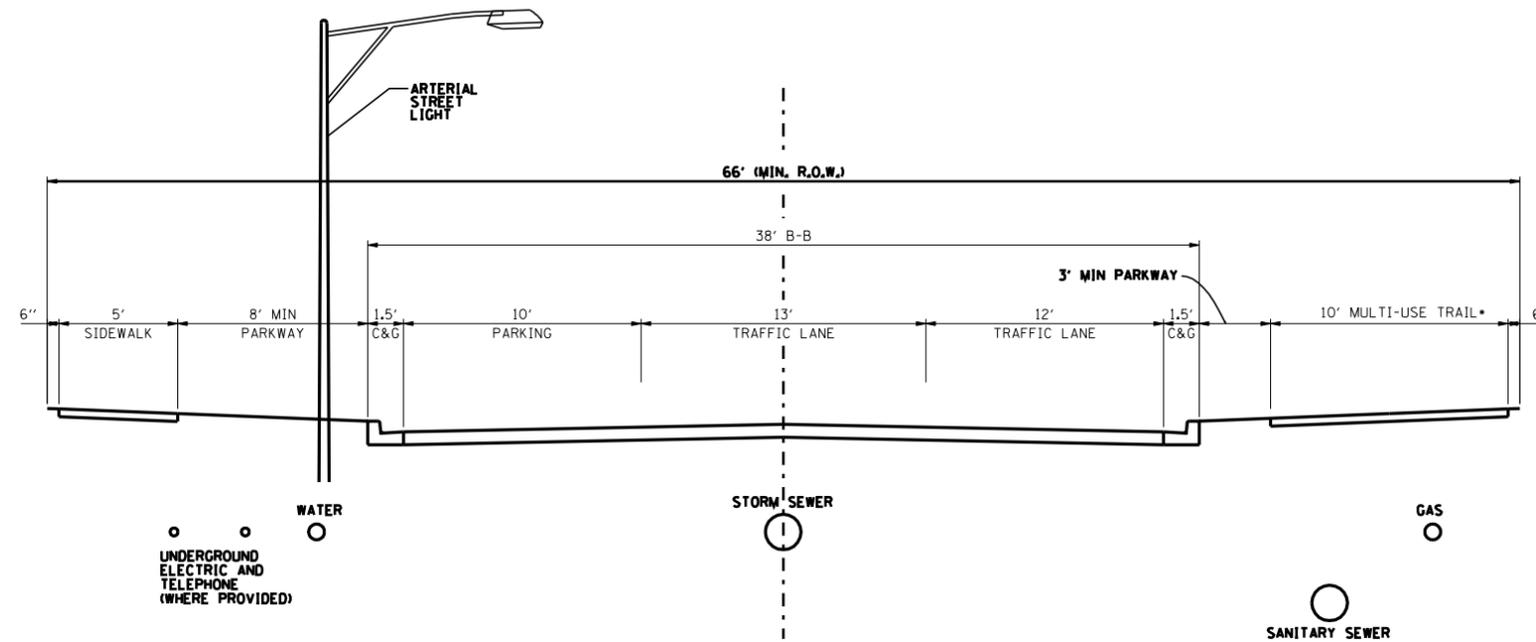
\* PROVIDE MULTI-USE TRAIL AT LOCATIONS SHOWN ON THE OPEN SPACE, RECREATION AND NATURAL RESOURCES PLAN

EXHIBIT 4-2  
 TYPICAL CROSS SECTIONS  
 PROPOSED STREETS  
 SHEET 2 OF 4  
 NOT TO SCALE



- \* PROVIDE MULTI-USE TRAIL AT LOCATIONS SHOWN ON THE OPEN SPACE, RECREATION AND NATURAL RESOURCES PLAN
- \*\* PROVIDE 12' LANES ALONG BLACK ROAD

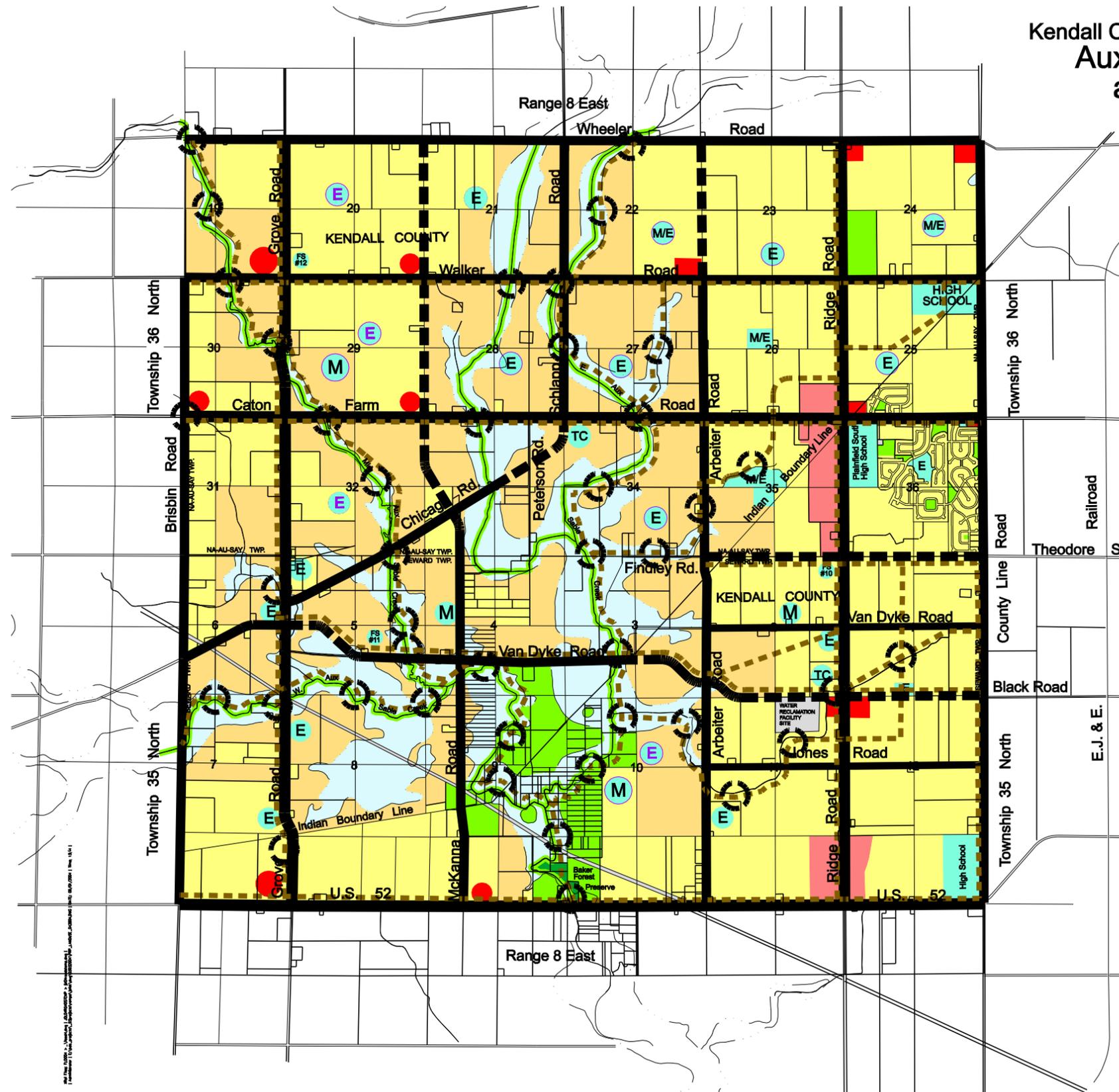
EXHIBIT 4-2  
TYPICAL CROSS SECTIONS  
PROPOSED STREETS  
SHEET 3 OF 4  
NOT TO SCALE



**COLLECTOR  
JONES, VAN DYKE ROADS**

**\* PROVIDE MULTI-USE TRAIL AT LOCATIONS SHOWN ON THE OPEN SPACE, RECREATION AND NATURAL RESOURCES PLAN**

# City of Joliet Kendall County Sub Area Comprehensive Plan Aux Sable Design Corridor and Future Land Use



## Legend

### Residential

- Residential - 2.5 Dwelling Units/Acre if Single Family  
3.0 Dwelling Units/Acre if Mixed Use  
PUD Components are limited to no more than 20% of the total Dwelling Units
- Residential - Aux Sable Design Corridor  
Same Densities as Above, See Section 8 for Design Amenities.

### Commercial

- Local Commercial
- General Location of Commercial Centers
- Community Commercial

### Municipal/Institutional (Schools Fire Stations & Municipal Facilities)

- As Labeled
- TC Town Center
- M/E Elementary / Middle Schools
- # Fire Stations
- Utilities

### Public Open Space

- Kendall County Forest Preserve
- Parks
- Aux Sable Creek Protection Corridor
- Aux Sable Creek
- Flood Plain
- Multi-Use Trail
- Pathway Bridge crossing
- Major Arterial Roads
- Major Arterial Roads (Future)\*
- Arterial Roads
- Arterial Roads (Future)\*
- Collector Roads



Joseph H. Abel & Associates  
200 Forest Avenue  
Elyon, Illinois 60137  
(630) 858-5085  
Fax (630) 790-1116

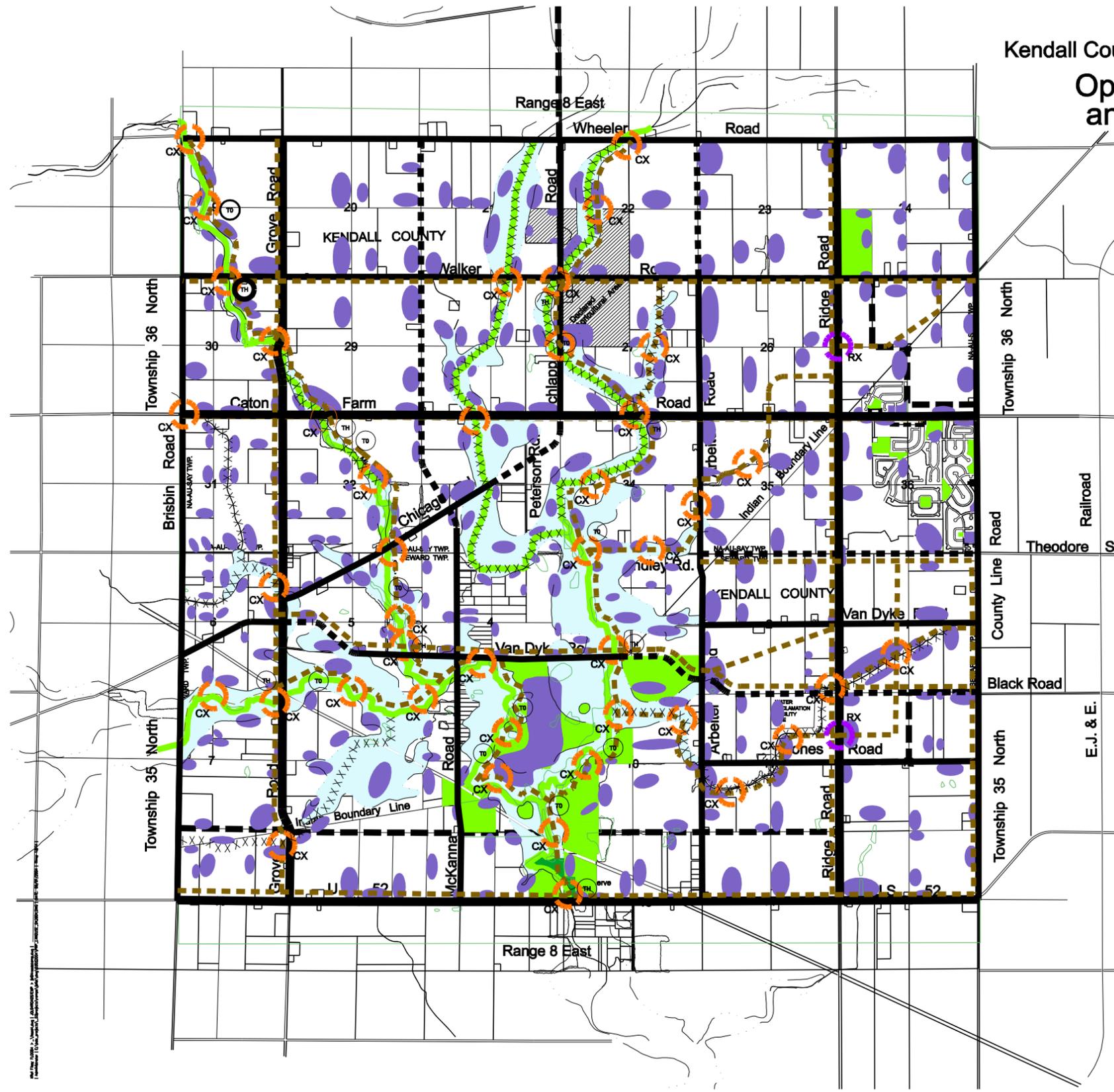
**REMPE-SHARPE**  
CONSULTING ENGINEERS  
234 WEST STATE STREET - GENEVA, ILLINOIS 60134  
Telephone (800) 233-0627 - Fax (800) 232-1629

**ENCAP, Inc.**



LAND PLANNING  
234 WEST STATE STREET  
GENEVA, ILLINOIS 60134  
TELEPHONE (800) 233-0627  
FACSIMILE (800) 232-1629

# City of Joliet Kendall County Sub Area Comprehensive Plan Open Space, Recreation and Natural Resources



## Legend

- Public Open Space**
- Kendall County Forest Preserve
  - Parks
  - Aux Sable Creek Protection Corridor
  - Aux Sable Creek
  - Flood Plain
  - Storm Water Management Unit
  - Multi-Use Trail
  - Pathway Bridge Crossing Over Roadway
  - Pathway Bridge/Dry Weather Crossing Over Creek
  - Pathway Trailhead and Natural Enhancement Area
  - Trail Overlook
  - Streambank Enhancement Area
  - Non-riverine Wetland
  - Major Arterial Roads
  - Major Arterial Roads (Future)\*
  - Arterial Roads
  - Arterial Roads (Future)\*
  - Collector Roads



Joseph H. Abel & Associates  
Land Use Planning • Zoning • Economic Development • Report Testimony  
200 Forest Avenue  
Geneseo, Illinois 60137  
(630) 858-5085  
Fax (630) 790-1116

**REMPE-SHARPE**  
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334 WEST STATE STREET - GENESEO, ILLINOIS 60134  
Telephone (815) 232-0527 - Fax (815) 232-1629

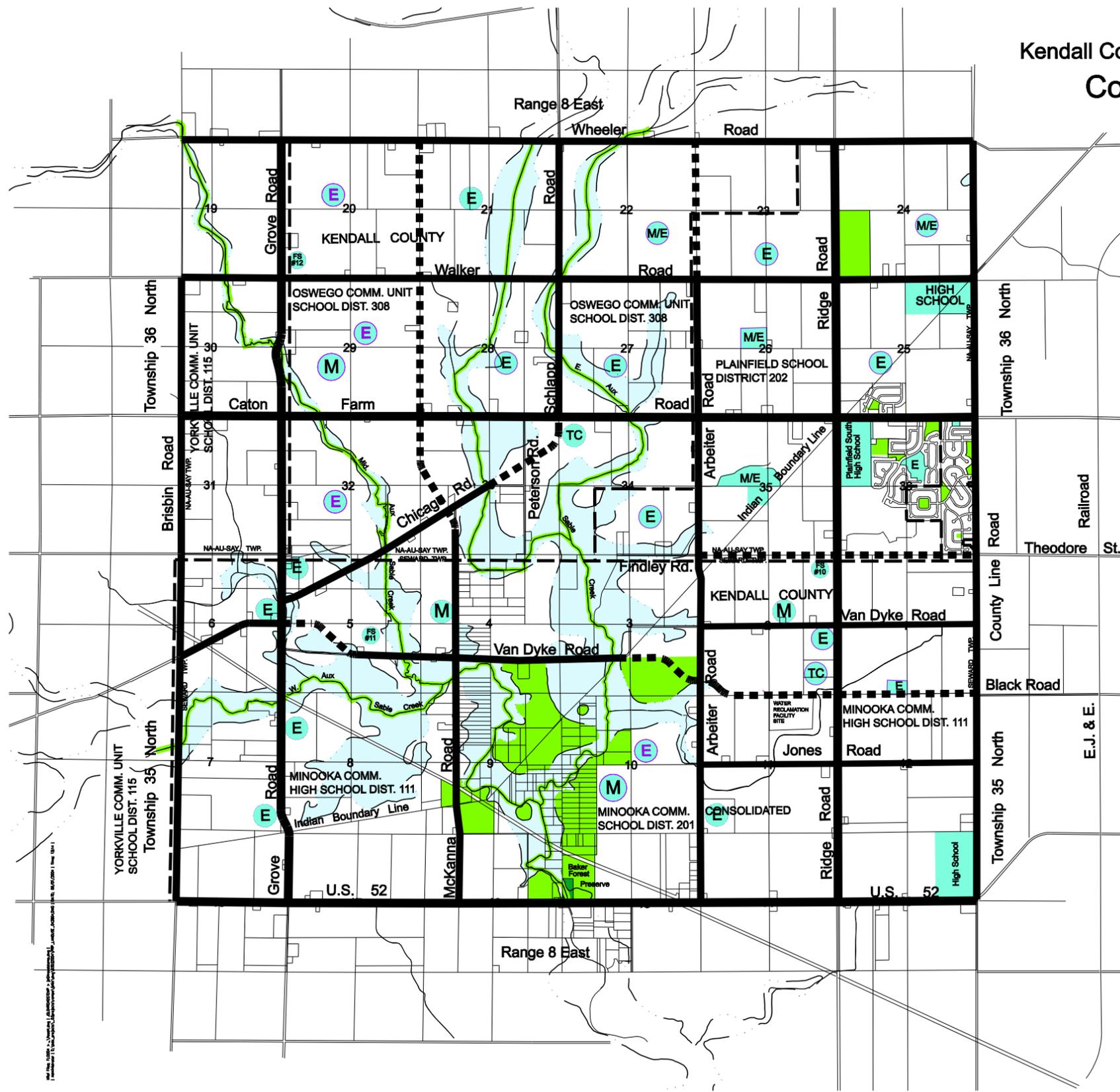


**ENCAP, Inc.**  
200 Forest Avenue  
Geneseo, IL 60137  
(630) 790-1116

**LAND PLANNING**  
3440 LEXINGTON ROAD  
GENESEO, ILLINOIS 60137  
TELEPHONE (815) 232-0527  
FACSIMILE (815) 232-1629

**EXHIBIT 6-1**

# City of Joliet Kendall County Sub Area Comprehensive Plan Community Services and Facilities Plan



## Legend

### Municipal/Institutional (Schools Fire Stations & Municipal Facilities)

- As Labeled
- Town Center
- Elementary / Middle Schools
- Fire Stations
- Utilities
- School District Boundaries

### Public Open Space

- Kendall County Forest Preserve
- Parks
- Aux Sable Creek Protection Corridor
- Aux Sable Creek
- Flood Plain
- Major Arterial Roads
- Major Arterial Roads (Future)\*
- Arterial Roads
- Arterial Roads (Future)\*
- Collector Roads



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CONSULTING ENGINEERS  
534 WEST STATE STREET - GENEVA, ILLINOIS 60134  
Telephone: (815) 232-0827 - Fax: (815) 232-1628



**ENCAP, Inc.**  
200 West State Street  
Geneva, Illinois 60134  
Telephone: (815) 232-0827 - Fax: (815) 232-1628

LAND PLANNING  
380 SOUTH MAIN STREET  
MOUNTAIN VIEW, ILLINOIS  
TELEPHONE: 608-245-1100  
MICHAEL J. SCHNEIDER

EXHIBIT 7-1









CASE NO. \_\_\_\_\_

DATE FILED: \_\_\_\_\_

**CITY PLAN COMMISSION  
JOLIET, ILLINOIS**

**PETITION FOR APPROVAL OF (Check One):**

Preliminary Plat  
 Final Plat  
 Recording Plat

NAME OF SUBDIVISION: Vista Ridge

NAME OF PETITIONER: Vista Ridge Development LLC

CELL #: 708-767-1222 E-MAIL: johnb@mcnaughtondevelopment.com

HOME ADDRESS: 11S220 Jackson Street Suite # 101

CITY, STATE, ZIP: Burr Ridge, Illinois 60527

HOME PHONE: 630-325-3400

BUSINESS ADDRESS: 11S220 Jackson Street Suite # 101

CITY, STATE, ZIP: Burr Ridge, Illinois 60527

BUSINESS PHONE: 630-325-3400

INTEREST OF PETITIONER: Contract Purchaser

NAME OF LOCAL AGENT: John Barry

ADDRESS: 11S220 Jackson Street, Suite # 101 Burr Ridge, IL 60527 PHONE: 630-325-3400

OWNER: S & E Investments

HOME ADDRESS: 2411 DORINA DRIVE PHONE: 847-840-0906

CITY, STATE, ZIP: NORTHFIELD,IL 60093

BUSINESS ADDRESS: 2411 DORINA DRIVE PHONE: \_\_\_\_\_

CITY, STATE, ZIP: NORTHFIELD,IL 60093

CELL #: 847-840-0906 E-MAIL: david.erickson79@comcast.net

ENGINEER: V3 Companies

ADDRESS: 7325 Janes Avenue Woodridge, IL 60517 PHONE: 630-947-9946

LAND SURVEYOR: V3 Companies

ADDRESS: 7325 Janes Avenue Woodridge, IL 60517 PHONE: 630-947-9946

ATTORNEY: Thomas Osterberger - KGG, LLC

ADDRESS: 111 N. Ottawa Street, Joliet Illinois 60423 PHONE: 815-685-1218

LEGAL DESCRIPTION OF PROPERTY: PARCEL 1: THE EAST 60 ACRES OF THE SOUTHWEST 1/4 OF SECTION 26, TOWNSHIP 36 NORTH, RANGE 8, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN THE TOWNSHIP OF NA-AU-SAY, KENDALL COUNTY, ILLINOIS. PARCEL 2: THE WEST 60 ACRES OF THE SOUTHEAST 1/4 OF SECTION 26, TOWNSHIP 36 NORTH, RANGE 8, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN THE TOWNSHIP OF NA-AU-SAY, KENDALL COUNTY, ILLINOIS.

COMMON ADDRESS: 1489 Caton Farm Rd, Plainfield, IL 60586

PERMANENT INDEX NUMBER (Tax No.): 06-26-300-005 & 06-26-400-003

SIZE: 120.0 ACRES

NO. OF LOTS: 321 Single Family Lots & 76 Townhome Lots

PRESENT USE: Farm EXISTING ZONING: R1B & R4

USES OF SURROUNDING PROPERTIES: North: Farm

South: Single Family Residential

East: Single Family Residential & Farm

West: Farm

Name of Park District: Plainfield Park District

Date Contacted Park District: July 24, 2024

Is any open space/park site being offered as part of a preliminary plat? Yes

If yes, what amount? +/- 5.2 Acres

(Acknowledgment by Park District Official) Bob Collins, Director of Planning

Has the Zoning Board of Appeals granted any variance, exception, or special permit concerning this property?

Yes  No  If yes, list the Case number and name: \_\_\_\_\_

Is any variance from the Subdivision Regulations being requested? Yes  No

If yes, describe: Stormwater Pond Fluctuation

Attach ten (10) copies of the plat to this petition.

List all contiguous holdings in the same ownership (as defined in the Subdivision Regulations) by permanent index numbers: N/A

Attached hereto is an affidavit of ownership indicating the dates the respective holdings of land were acquired, together with the book and page of each conveyance to the present owner as recorded in the Will County Recorder of Deeds office. This affidavit shall indicate the legal owner of the property, the contract owner of the property, and the date the contract of sale was executed.

In the event the property is held in trust: A list of all individual beneficial owners of the trust must be attached.

In the event of corporate ownership: A list of all directors, officers, and stockholders of each corporation owning more than five percent (5%) of any shares of stock must be attached.

STATE OF ILLINOIS) ss  
COUNTY OF WILL )

I, John Barry, hereby depose and say that all of the above statements and the statements contained in the papers submitted herewith are true. I agree to be present in person or by representation when this is heard by the Plan Commission.

Date: 9/26/2024 John Barry  
Petitioner's Name

Subscribed and sworn to before me this 26th day of SEPTEMBER, 20 24

Agnieszka Lukaszczyk 11.15.2024  
Notary Public My Commission Expires:



## CITY OF JOLIET OWNERSHIP DISCLOSURE FORM

The City of Joliet requires that applicants for zoning relief, subdivision approval, building permits and business licenses disclose the identity of all persons having an ownership interest in the business and the real property associated with the application. A copy of this form must be completed and submitted with other application materials. Failure to properly complete and submit this form may result in the denial of the application.

### I. INFORMATION ABOUT THE APPLICATION

This form is submitted as part of an application for the following (check all that apply):

- Rezoning, Special Use Permit, Variation, or Other Zoning Relief (Complete Sections II and III)
- Preliminary Plat, Final Plat, or Record Plat of Subdivision (Complete Sections II and III)
- Building Permit (Complete Sections II and III)
- Business License (Complete All Sections)

### II. INFORMATION ABOUT THE PROPERTY

The address and PIN(s) of the real property associated with this application are:

1489 Caton Farm Rd, Plainfield, IL 60586

PIN(s): \_\_\_\_\_

### III. PROPERTY OWNERSHIP

Select the type of owner of the real property associated with this application and fill in the appropriate contact information below:

- Individual:** State the names, addresses, and phone #'s of the individual owner(s)
- Corporation:** State the names, addresses, and phone #'s of all persons holding 3% or more of the stock of the corporation and the percentage of shares held by such stockholders
- Limited Liability Company:** State the names, addresses, and phone #'s of all members of the company along with the percentage of ownership held by each member
- Land Trust:** State the names, addresses, and phone #'s of the trustee(s) and all beneficiaries
- Partnership:** State the names, addresses, and phone #'s of all partners
- Other type of organization:** State the names, addresses, and phone #'s of all persons having a legal or equitable ownership interest in the organization or the right to direct the affairs of the organization

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E-MAIL: johnb@mcnaughtondevelopment.com FAX: \_\_\_\_\_

**IV. BUSINESS OWNERSHIP**

If the owner of the business is different than the owner of the real property associated with the application, then the following information must be provided:

Select the type of business owner associated with this application and fill in the contact information below:

- Individual:** State the names, addresses, and phone #'s of the individual owner(s)
- Corporation:** State the names, addresses, and phone #'s of all persons holding 3% or more of the stock of the corporation and the percentage of shares held by such stockholders
- Limited Liability Company:** State the names, addresses, and phone #'s of all members of the company along with the percentage of ownership held by each member
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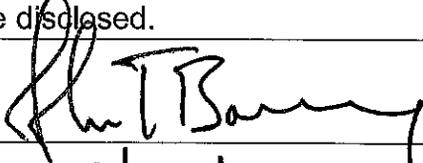
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E-MAIL: david.erickson79@comcast.net FAX: \_\_\_\_\_

**NOTE:**  
If a stockholder, member, beneficiary or partner disclosed in Section III or Section IV is not an individual, then the individuals holding the legal or equitable title to the real property or business associated with the application must also be disclosed. For example, if the real property associated with an application is owned by a land trust, and the beneficiary of the land trust is a limited liability company, then the members of the limited liability company must be disclosed. If one of the members of the limited liability company is a partnership, then the identity of the partners must be disclosed. If one of the partners is a corporation, then all persons owning 3% or more of the issued stock must be disclosed.

**SIGNED:** 

**DATE:** 9/26/2024

**Name, Title, and Telephone Numbers of Person Completing and Submitting This Form:**  
JOHN BARRY, Project Manager  
630-325-3400

CASE NO. \_\_\_\_\_

DATE FILED: \_\_\_\_\_

CITY PLAN COMMISSION  
JOLIET, ILLINOIS

**PETITION FOR RECLASSIFICATION**

PETITIONER'S NAME: Vista Ridge Development LLC

HOME ADDRESS: 11S220 Jackson Street Suite # 101

CITY, STATE, ZIP: Burr Ridge, Illinois 60527

HOME PHONE: 630-325-3400

CELL #: 708-767-1222 E-MAIL: johnb@mcnaughtondevelopment.com

BUSINESS ADDRESS: 11S220 Jackson Street Suite # 101

CITY, STATE, ZIP: Burr Ridge, Illinois 60527

BUSINESS PHONE: 630-325-3400

LEGAL DESCRIPTION OF PROPERTY: PARCEL 1: THE EAST 60 ACRES OF THE SOUTHWEST 1/4 OF SECTION 26, TOWNSHIP 36 NORTH, RANGE 8, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN THE TOWNSHIP OF NA-AU-SAY, KENDALL COUNTY, ILLINOIS. PARCEL 2: THE WEST 60 ACRES OF THE SOUTHEAST 1/4 OF SECTION 26, TOWNSHIP 36 NORTH, RANGE 8, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN THE TOWNSHIP OF NA-AU-SAY, KENDALL COUNTY, ILLINOIS.

COMMON ADDRESS: 1489 Caton Farm Rd, Plainfield, IL 60586

PERMANENT INDEX NUMBER (Tax No. PIN): 06-26-300-005 & 06-26-400-003

LOT SIZE: WIDTH 1,977.97 DEPTH 2,641.39 AREA 120.0 ACRES

PRESENT USE: FARM ZONING: R1B

USES OF SURROUNDING PROPERTIES: NORTH FARM

SOUTH SINGLE FAMILY RESIDENTIAL

EAST: FARM / SINGLE FAMILY RESIDENTIAL

WEST FARM

ZONING CLASSIFICATION REQUESTED: R2

REASON FOR REQUEST: Market Driven Zoning Classification

PROPERTY INTEREST OF PETITIONER: Contract Purchaser

OWNER OF PROPERTY: S & E Investments

HOME ADDRESS: 2411 DORINA DRIVE

CITY, STATE, ZIP: NORTHFIELD, IL 60093

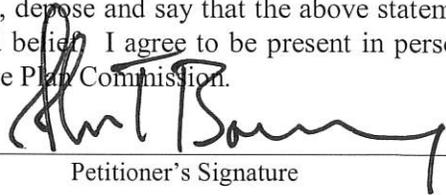
HOME PHONE: 847-840-0906

CELL: 847-840-0906 E-MAIL: \_\_\_\_\_  
BUSINESS ADDRESS: 2411 DORINA DRIVE  
CITY, STATE, ZIP: NORTHFIELD, IL 60093  
BUSINESS PHONE: 847-840-0906

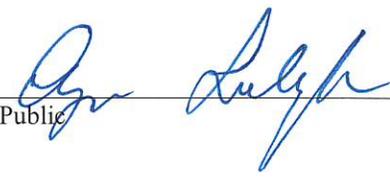
The ownership of all property held in a trust must be submitted on a Certificate of Ownership.

STATE OF ILLINOIS) ss  
COUNTY OF WILL )

I, John T. Barry, depose and say that the above statements are true and correct to the best of my knowledge and belief. I agree to be present in person or by representation when this petition is heard before the Plan Commission.

  
Petitioner's Signature

Subscribed and sworn to before me this 26th day of SEPTEMBER, 2024

  
Notary Public



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PIN(s): 06-26-300-005 & 06-26-400-003

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SCOTT SAMUELSON 50%

DAVID ERICKSON 50%

E-MAIL: johnb@mcnaughtondevelopment.com

FAX: \_\_\_\_\_

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- Other type of organization:** State the names, addresses, and phone #'s of all persons having a legal or equitable ownership interest in the organization

N/A

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E-MAIL: \_\_\_\_\_ FAX: \_\_\_\_\_

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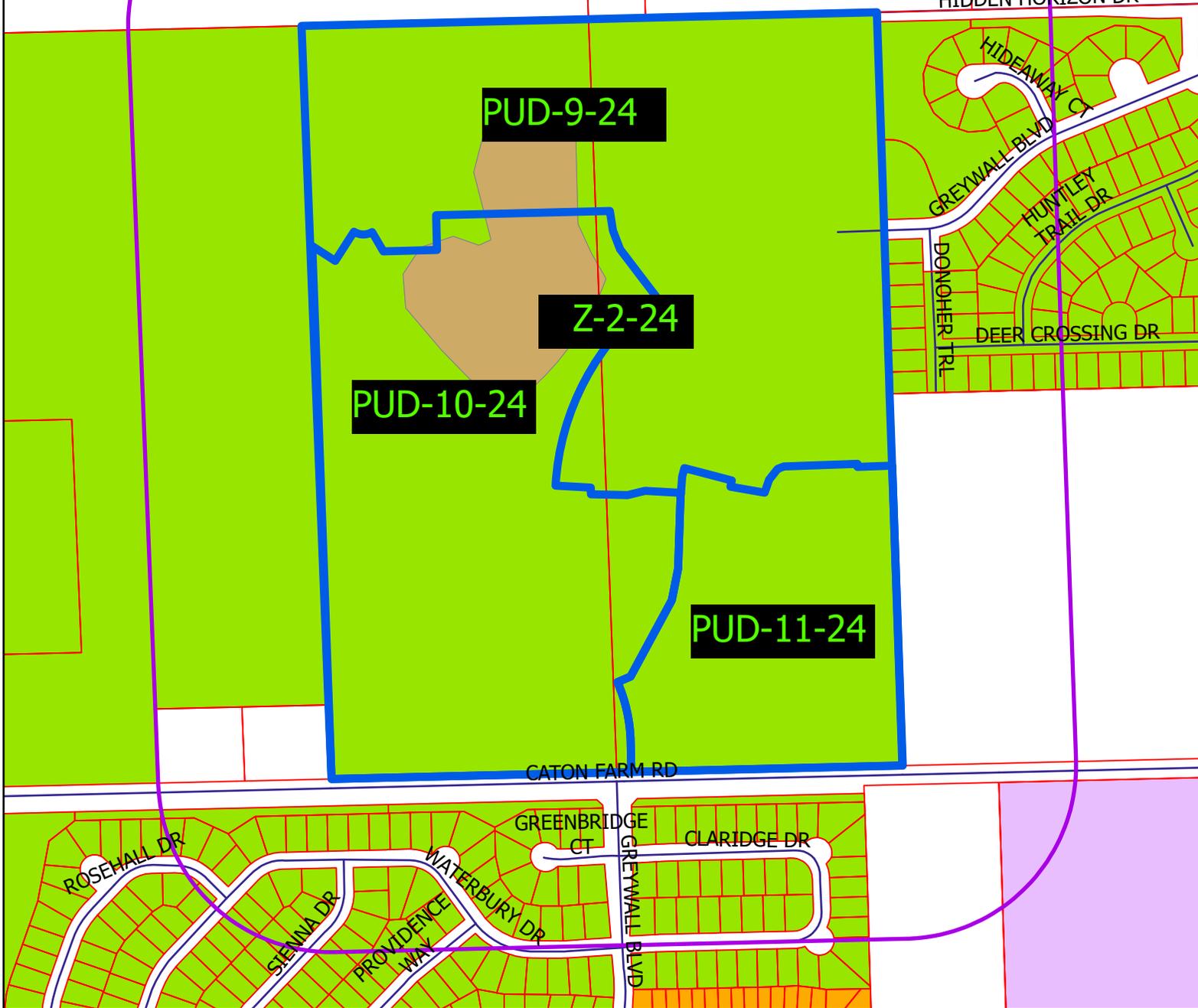
**SIGNED:** John T. Barry

**DATE:** 9/26/2024

**Name, Title, and Telephone Numbers of Person Completing and Submitting This Form:**

John T. Barry, Project Manager

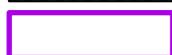
630-325-3400



**PUD-9-24 & PUD-10-24  
& PUD-11-24 & Z-2-24**



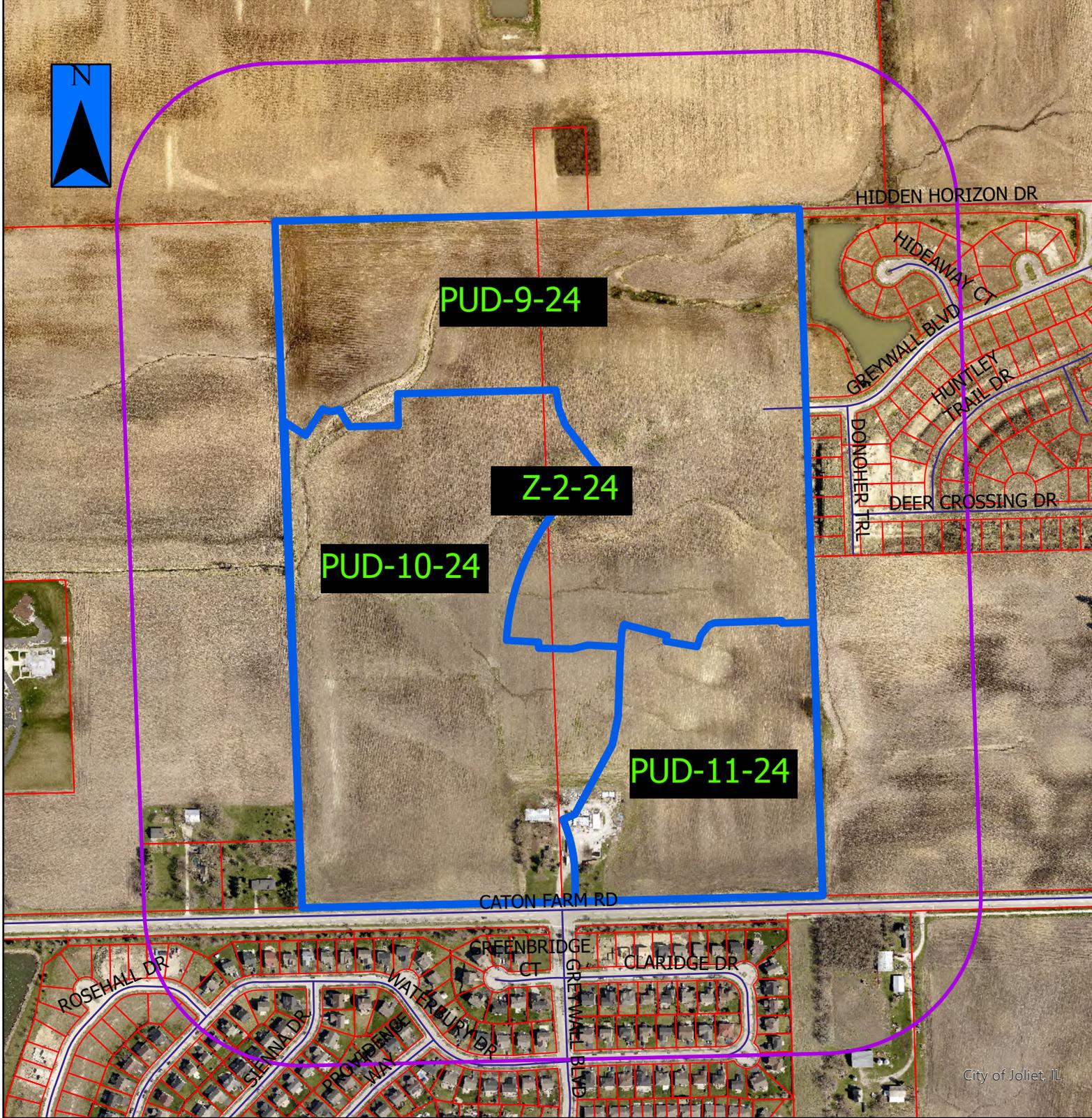
= Property in Question



= 600' Public Notification Boundary

**Legend**

B-1	I-TA	R-2
B-2	I-TB	R-2A
B-3	I-TC	R-3
I-1	R-1	R-4
I-2	R-1A	R-5
I-T	R-1B	R-B



**PUD-9-24a & PUD-10-24a  
& PUD-11-24a & Z-2-24a**



-  = Property in Question / Propiedad en cuestión
-  = 600' Public Notification Boundary / Límite de notificación pública de 600 ft (180 m)