



## Clublands Subdivision Neighborhood 1 Unit 2

(Doc. 200100006017)

### Legend

storm sewer structure	⊙	survey boundary	_____
flared end section	⌒	other boundary	_____
sanitary sewer manhole	●	center line	- - - - -
water valve	⊕	storm sewer pipe	—> —> —>
hydrant	⊕	sanitary sewer pipe	-> -> ->
		water main	— v —

P.L.N. 06-36-100-012  
Owner: ROUSONELOS FAM PARTSHP ET AL  
zoning: R-B  
(restricted business district)  
current use: unimproved agricultural

LOT AREAS:  
R.O.W. DEDICATION (CATON FARM & AUTUMN FIELDS BLVD) 23,110 SF  
LOT 1- CHILDREN OF AMERICA CHILD CARE 54,806 SF  
LOT 2- RETAIL 55,545 SF  
LOT 3- RESTAURANT 29,083 SF  
LOT 4- STORMWATER MANAGEMENT 32,271 SF

#### VARIANCE REQUESTS:

- 30' required landscape buffer along Caton Farm Road  
Variance from Zoning Ordinance Section 47-15E to reduce required landscaping adjacent to public right-of-way from 30 feet to 10 feet.
- Landscape buffer along the new ROW
  - We're requesting the required landscape buffer be reduced to 4' on the west and 0' on the east.
- Parking count
  - We're requesting the number of parking stalls be counted as a total development and not lot-by-lot
- New 66' wide ROW
  - We're requesting the 66' wide ROW be reduced to 60' wide.
- Distance from Residential Zoning for day care facility
  - Variation from Section 47-5.2(A)(3) of the Zoning Ordinance to allow a day care facility within 40' of a residential zoning district.

ZONING:  
EXISTING: A-1 AGRICULTURE DISTRICT  
PROPOSED: PUD B-1 NEIGHBORHOOD BUSINESS DISTRICT

OWNER/ DEVELOPER:  
JILL FRATTO  
PROJECT DEVELOPMENT GROUP  
1808 S ARAPAHO TRAIL  
HOMER GLEN, IL 60491  
(717) 606-6811  
JILLFRATTO@GMAIL.COM

## Preliminary Planned Unit Development of 580 Caton Farm

Permanent index number(s): 06-36-100-012, 06-36-100-013.

Description:  
THAT PART OF THE NORTHWEST QUARTER OF SECTION 36, TOWNSHIP 36 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, KENDALL COUNTY, ILLINOIS, DESCRIBED AS FOLLOWS: COMMENCING AT A POINT ON THE NORTH LINE OF SAID NORTHWEST QUARTER, 16.50 FEET WEST OF THE NORTHEAST CORNER OF THE NORTHWEST QUARTER, THENCE SOUTHERLY, PARALLEL WITH THE EAST LINE OF SAID NORTHWEST QUARTER, 330.0 FEET, THENCE WEST, PARALLEL WITH SAID NORTH LINE, 220.0 FEET OR A POINT OF BEGINNING, THENCE CONTINUING WEST, PARALLEL WITH SAID NORTH LINE, 440.0 FEET, THENCE NORTHERLY, PARALLEL WITH SAID EAST LINE, 330.0 FEET TO SAID NORTH LINE, THENCE EAST ALONG SAID NORTH LINE, 440.0 FEET TO A LINE DRAWN NORTHERLY FROM THE POINT OF BEGINNING WHICH IS PARALLEL WITH SAID EAST LINE, THENCE SOUTHERLY, PARALLEL WITH SAID EAST LINE, 330.0 FEET TO THE POINT OF BEGINNING IN NA-AU-SAY TOWNSHIP, KENDALL COUNTY, ILLINOIS AND CONTAINING 3.333 ACRES.

THAT PART OF THE NORTHWEST QUARTER OF SECTION 36, TOWNSHIP 36 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS: BEGINNING AT A POINT ON THE NORTH LINE OF SAID NORTHWEST QUARTER, 16.50 FEET WEST OF THE NORTHEAST CORNER OF SAID NORTHWEST QUARTER; THENCE SOUTHERLY, PARALLEL WITH THE EAST LINE OF SAID NORTHWEST QUARTER, 330.0 FEET; THENCE WEST, PARALLEL WITH SAID NORTH LINE, 220.0 FEET; THENCE NORTHERLY PARALLEL WITH SAID EAST LINE, 330.0 FEET TO SAID NORTH LINE; THENCE EAST, ALONG SAID NORTH LINE, 220.00 FEET TO THE POINT OF BEGINNING, IN NA-AU-SAY TOWNSHIP, KENDALL COUNTY, ILLINOIS AND CONTAINING 1.667 ACRES.

#### Notes:

Common address: 580 Caton Farm Road, Plainfield Illinois

3/4" iron pipes at all corners except as noted.

Basis of bearings: measured relative to NAD83. All dimensions are shown as measured in feet and decimal parts thereof.

Onsite horizontal control was established through GPS observations with a relative positional accuracy of 0.07 feet plus 50 parts per million at the 95 percent confidence level based on a NOAA Online Position User Service (OPUS) solution.

The platted lands do not fall in a designated Flood Hazard Area as defined by the Federal Emergency Management Agency. This is based upon reference to Flood Insurance Rate Map 17093C0135H Dated 1/8/2014.

Total R,O,W. to be dedicated: 23,110 sq. ft.

This plat is not for recording.

School, Park & Library Donations shall be provided.

#### Public Pathway Easement Declaration

A permanent, non-exclusive easement is hereby reserved for and granted to the City of Joliet, Illinois, a body politic and corporate in the Counties of Will and Kendall and the State of Illinois, its successors, licensees, and assigns (the "City") over, upon, along, through and across all areas shown herein and labeled "Public Pathway Easement " (the "Easement Premises"), together with right of ingress and egress across the land for pedestrian and non-motorized vehicular traffic only, to construct, install, reconstruct, repair, replace, inspect, maintain and operate a paved or unpaved public sidewalk or bicycle trail ("Maintenance and Operations") for the use and enjoyment of the general public and for the necessary personnel and equipment to perform any of the above work. Grantor/owner shall have no Maintenance and Operations obligations regarding the Easement Premises. The City shall have all Maintenance and Operations obligations for the Easement Premises.

Other than maintenance and security vehicles specifically authorized by the City, no motorized vehicles of any type shall be allowed to utilize the Easement Premises. Also granted is the right to cut, trim or remove trees of other plantings within the Easement Premises which interfere with any of the other rights herein granted. No temporary or permanent buildings, structures or other obstructions other than signage shall be placed on or over the Easement Premises which would interfere with any of the rights herein granted.

The City, for itself, its employees, agents, independent contractors and invitees, hereby agrees to indemnify, defend (at Owner's election) and hold harmless Owner, it's members, officers, employees, successors and tenants (individually an "Indemnitee" and collectively the "Indemnitees") from any and all claims, judgments, liabilities, costs and expenses, including, without limitation, reasonable attorney's fees, court costs and expert witness fees, for personal injury, death or damage to property incurred by or brought against all or any of the Indemnitees arising directly or indirectly as a result of the City's or its agents' or assigns' acts, omissions, or negligence in maintaining the Easement Premises.

Owner/Developer: Project Development Group, LLC

## Unsubdivided Lands

P.L.N.: 06-36-200-025  
Owner: ASHBY MARGARET L TRUSTEE  
zoning: AG  
(agricultural)  
Current use: unimproved agricultural

State of Illinois }  
County of Will } S.S.  
County of Kendall }

Accepted and approved by the City Council of the City of Joliet in the Counties and State aforesaid by ordinance, enacted this \_\_\_ day of \_\_\_, A.D. 20\_\_.

by: \_\_\_\_\_  
(Mayor)

attest: \_\_\_\_\_  
(City Clerk)

County of DuPage } S.S.  
State of Illinois }

This is to certify that I, John Cole Helfrich, an Illinois Professional Land Surveyor, have prepared this plat for the uses and purposes therein set forth.

Given under my Hand and Seal at Wheaton, Illinois this 12th day of December, A.D. 2025.

Illinois Professional Land Surveyor 2967  
exp. 11-30-26  
Cole@Korugroup.com



## Preliminary Plat of Planned Unit Development

Prepared for:  
Project Development  
Group, LLC

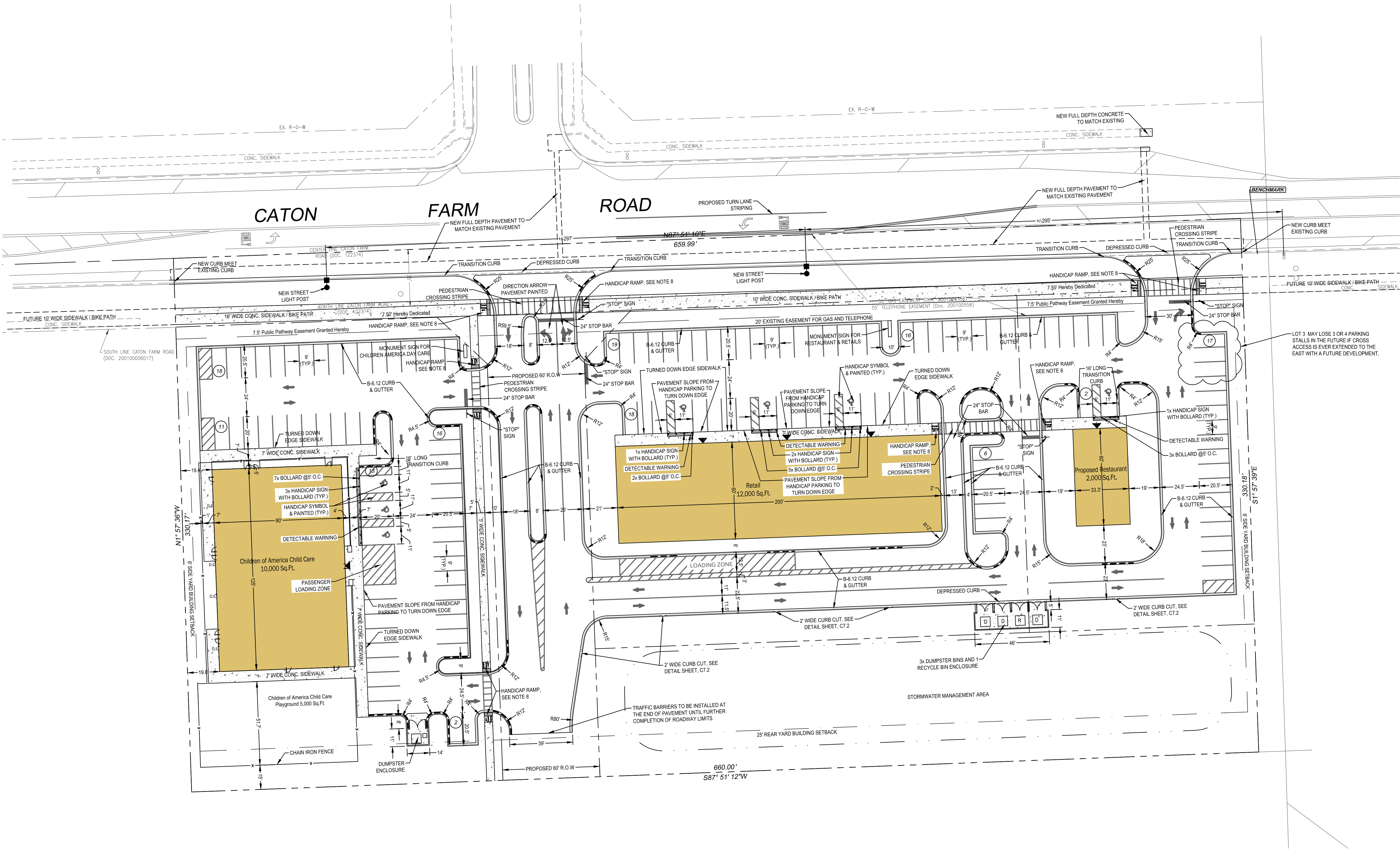
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Koru Group, PLLC  
2056 Westings Ave.  
Suite 1700, IL 60563  
IL Design Firm  
8901-0012  
331-444-KORU



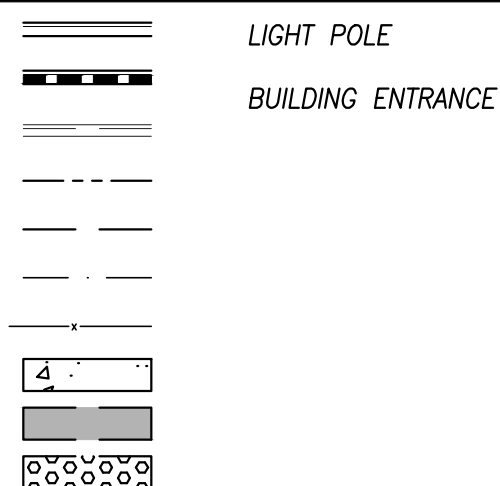
Sheet  
1 of 2  
Date: 9-2-2025  
File: 26077RP1-2  
Job: 26077





## LEGEND

PROPOSED CURB & GUTTER  
REVERSE PITCH CURB  
EXISTING CURB & GUTTER  
PROPERTY LINE  
EASEMENT LINE  
SETBACK LINE  
CHAIN-LINK FENCE  
CONCRETE PAD  
FULL DEPTH ASPHALT PAVEMENT  
TRUNCATED DOMES



## SITE ANALYSIS

580 CATON FARM ROAD  
JOLIET, IL 60586

PARCEL AREA  
R.O.W. DEDICATION  
LOT 1- CHILDREN OF AMERICA CHILD CARE  
LOT 2- RETAIL  
LOT 3- RESTAURANT  
LOT 4- STORMWATER MANAGEMENT

217,332 sf  
18,160 sf  
54,806 sf  
55,545 sf  
29,083 sf  
32,271 sf

## PARKING

CHILDREN OF AMERICA CHILD CARE:  
QUANTITY REQ'D. 56 = 10,000/180 (1 SPACE / 180 SQ. FT.)  
PROVIDED 60 SPACES = 57 STANDARD + 3 ADA

PROPOSED RESTAURANT:  
QUANTITY REQ'D. 12 = 2,000/180 (1 SPACE / 180 SQ. FT.)  
PROVIDED 12 SPACES = 12 STANDARD + 1 ADA

RETAIL:  
QUANTITY REQ'D. 66 = 12,000/180 (1 SPACE / 180 SQ. FT.)  
PROVIDED 68 SPACES = 65 STANDARD + 3 ADA

STALL SPACE REQUIRED 9' X 20' (STANDARD)  
PROVIDED 9' X 20' (STANDARD), 13' X 20' (ADA)

## SITE IMPERVIOUS

EXISTING IMPERVIOUS AREA: 10,659 SF (0.24 AC)  
PROPOSED IMPERVIOUS AREA: 13,349 SF (3.08 AC)  
NET NEW IMPERVIOUS AREA: 123,690 SF (2.84 AC)

## SITE NOTES

- All dimensions are back of curb unless otherwise noted.
- All curb radii are back of curb unless otherwise noted.
- Contractor to verify dimensions prior to starting work and notify engineer if any discrepancies are found.
- Sidewalk around perimeter of building shall be walk/pavement unless otherwise specified on plans.
- Contractor will be responsible for repairing all existing pavement damaged during construction.
- See details for bituminous and concrete pavement sections.
- Contractor to provide temporary traffic control measures during construction of entrance of R.O.W. in accordance w/ Illinois D.O.T. requirements.
- ADA handicap ramps shall be installed at all locations delineated on plans as well as at all locations where sidewalk abuts drives or roadways. Installing a Detectable Warning and 3' transition curb both side.
- Contractor shall compare architectural and engineering plans for interface compatibility.
- All curb and gutter shall be B6:12 unless otherwise noted on plans
- Pavement striping to be white two coats unless otherwise specified on plans.

New Construction:

580 CATON FARM

580 Caton Farm Road  
Joliet, Illinois 60586

## REVISIONS:

#	DESCRIPTION	DATE
1	FOR PUD	10/13/2025
2	FOR FINAL ENGINEERING	10/20/2025
3	FOR PRELIM PUD REV. 1	12/08/2025

PROJECT NUMBER: 25077

DRAWN BY: NS/SAH REVIEWED BY: ME

SHEET TITLE:

SITE PLAN

SHEET NO.

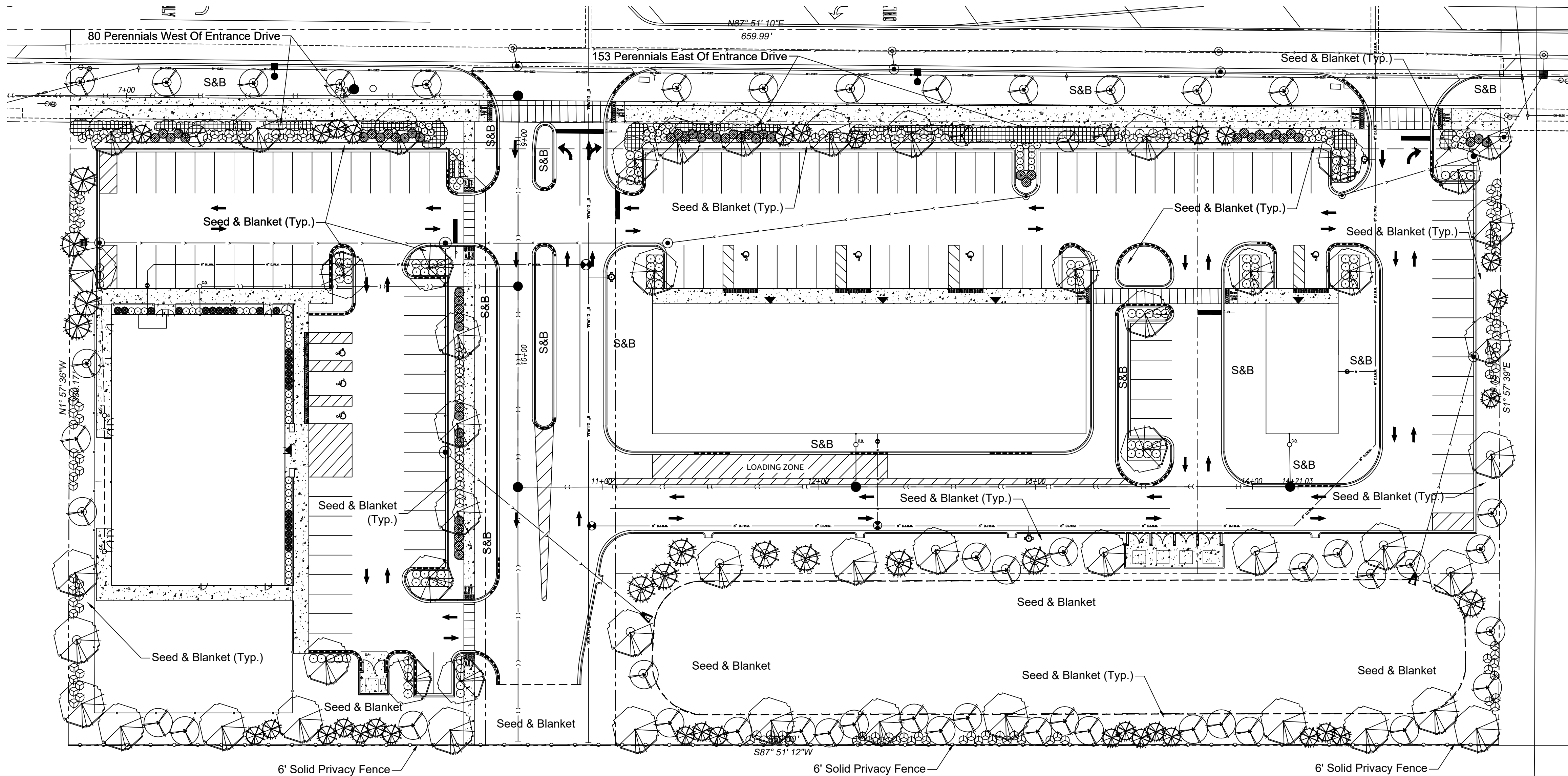
C1.1

NOT FOR CONSTRUCTION

IF PRINTED TO SCALE, BOTH THESE BARS WILL MEASURE 1"

1 2 3 4 5 6 7 8





NOTE: This plan is preliminary in nature. Plant locations my vary pending final site geometry, utilities locations, grading, etc.

#### LANDSCAPE CALCULATIONS:

Caton Farm Road Perimeter- West Side (10' Wide): 197 LF (minus Drives)

Requirement: 10' Wide Buffer, 2- Evergreen or Ornamental Trees, 1- Shade Trees, 20- Shrubs & 40- Perennials/100 LF

Calculation: 4- Evergreen or Ornamental Trees, 2- Shade Trees, 40- Shrubs & 80 Perennials

Provided: 5- Evergreen or Ornamental Trees, 3- Shade Trees, 40- Shrubs & 80- Perennials

Caton Farm Road Perimeter- East Side (10' Wide): 382 LF (minus Drives)

Requirement: 10' Wide Buffer, 2- Evergreen or Ornamental Trees, 1- Shade Trees, 20 Shrubs & 40 Perennials/100 LF

Calculation: 8- Evergreen or Ornamental Trees, 4- Shade Trees, 77- Shrubs & 153 Perennials

Provided: 8- Evergreen or Ornamental Trees, 6- Shade Trees, 82- Shrubs & 153 Perennials

West Property Line Perimeter: 330 LF

Requirement: 2- Evergreen or Ornamental Trees + 1- Shade Trees + 10 Shrubs /100 LF

Calculation: 7- Evergreen or Ornamental Trees, 3- Shade Trees & 33 Shrubs

Provided: 7- Evergreen or Ornamental Trees, 3- Shade Trees & 33 Shrubs

East Property Line Perimeter: 330 LF

Requirement: 5' Wide Buffer, 2 Evergreen or Ornamental Trees + 1 Shade Trees & 10 Shrubs/100 LF

Calculation: 7- Evergreen or Ornamental Trees, 3- Shade Trees & 33 Shrubs

Provided: 7- Evergreen or Ornamental Trees, 3- Shade Trees & 33 Shrubs

South Property Line Perimeter: 660 LF - 60 LF ROW = 600LF

Requirement: 15' Wide Buffer, 3 Evergreen Trees + 3 Ornamental Trees + 2 Shade Trees & 5 Shrubs/100 LF

Calculation: 18- Evergreen Trees + 18- Ornamental Trees + 12- Shade Trees & 30 Shrubs

Provided: 18- Evergreen Trees + 18- Ornamental Trees + 12- Shade Trees & 30 Shrubs

Detention Basin Landscaping: 833 LF H.W.L.

Requirement: 1 Shade Tree + 1 Evergreen Tree + 1- Ornamental Tree/100LF H.W.L.

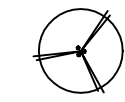
Calculation: 8- Shade Trees, 8- Evergreen Trees & 8- Ornamental Trees

Provided: 8- Shade Trees, 8 Evergreen Trees & 8- Ornamental Trees

#### LEGEND



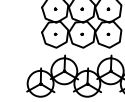
DECIDUOUS SHADE TREE - 2.0"



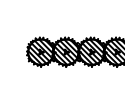
ORNAMENTAL TREE - 6'BB/clump/2"BB



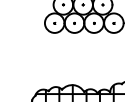
EVERGREEN TREE - 6'BB



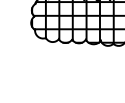
LARGE DECIDUOUS SHRUB- 5 Gal/24" Min.



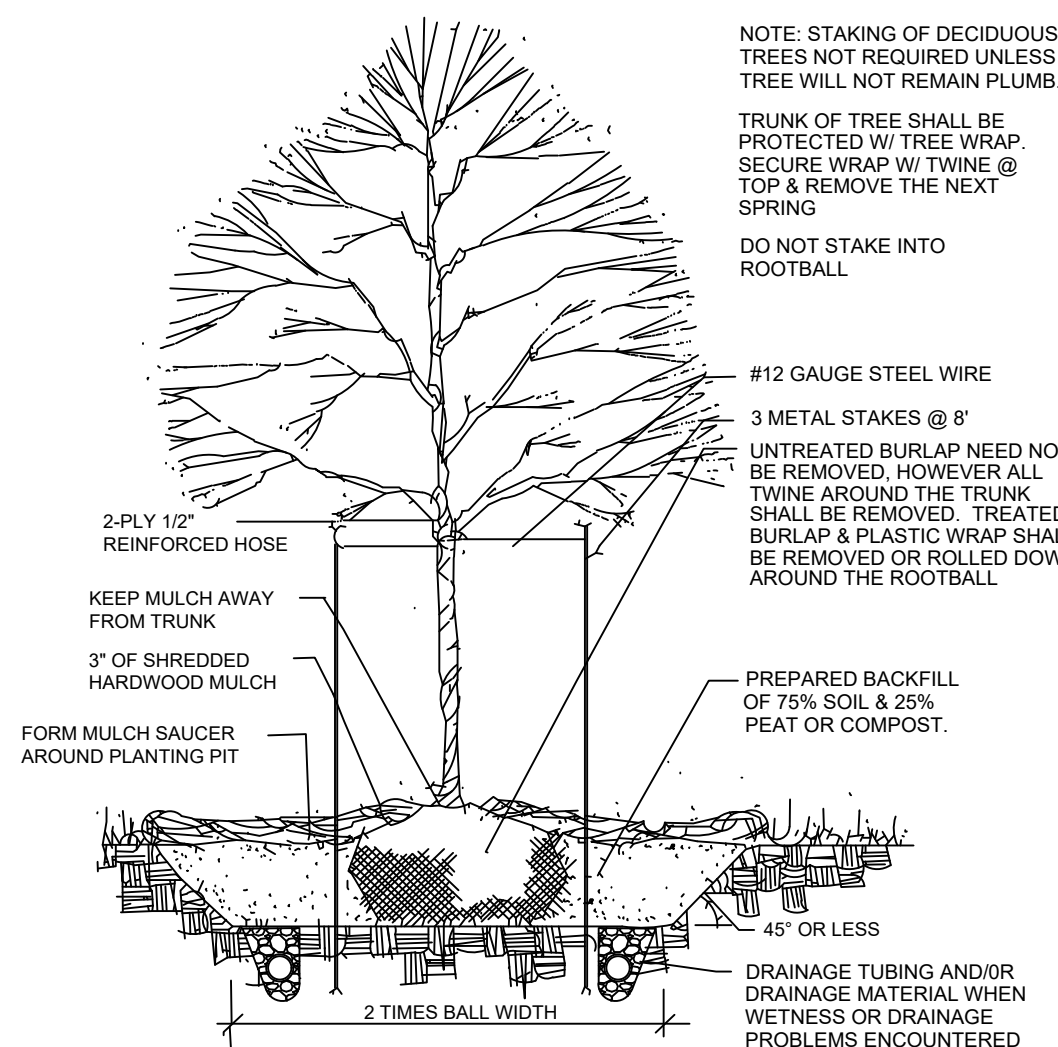
EVERGREEN SHRUBS - 5 Gal.



DWARF DECIDUOUS SHRUB- 3 Gal/24" Min.

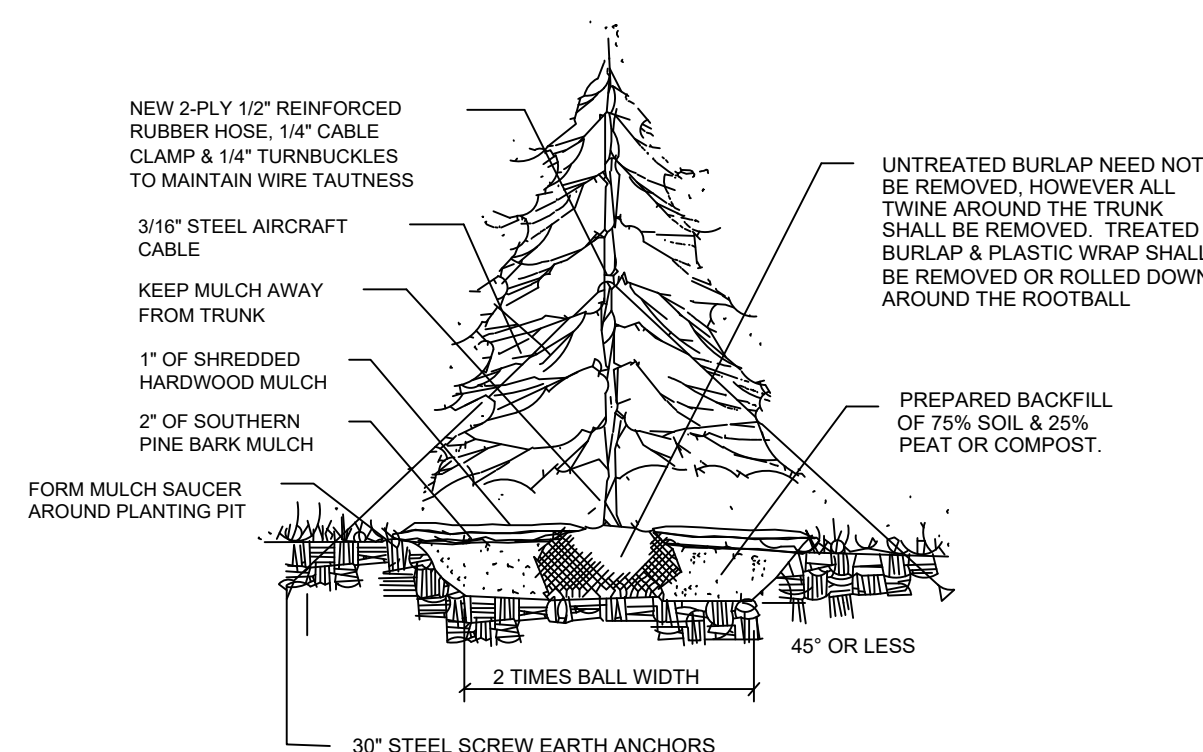


PERENNIALS & ORNAMENTAL GRASSES- 1 Gal./1 Qt.



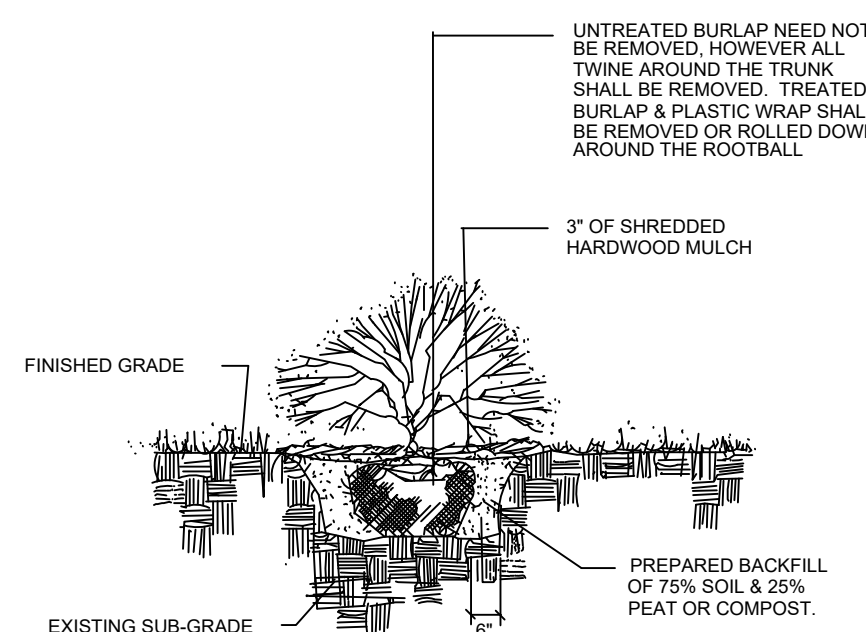
DECIDUOUS TREE

NTS



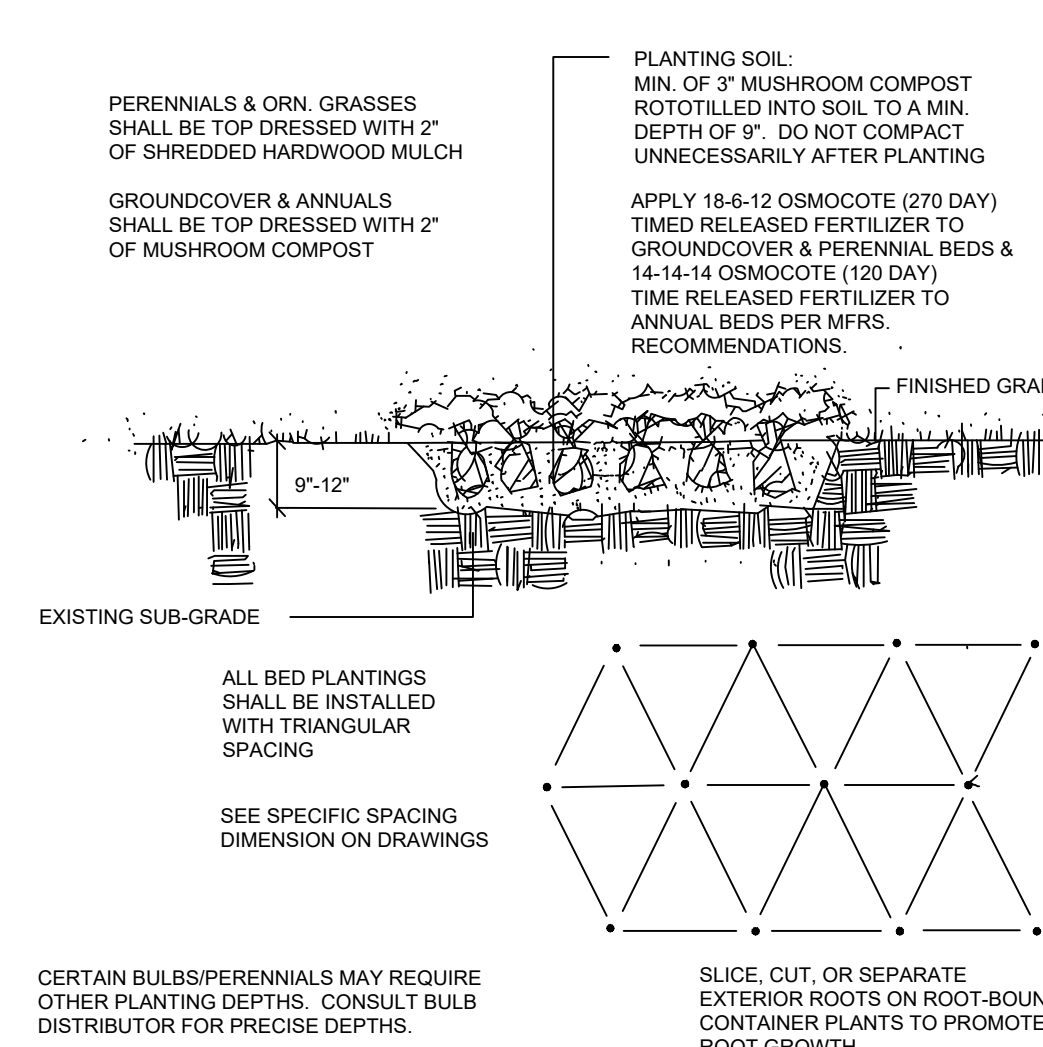
EVERGREEN TREE

NTS



SHRUBS

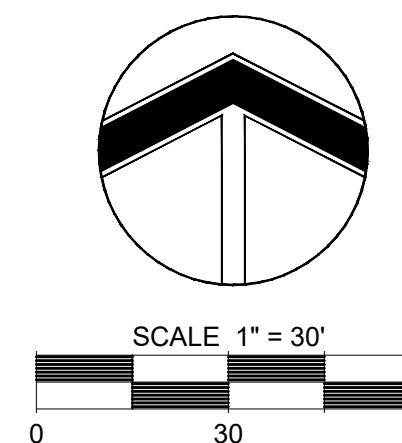
NTS



BED PLANTING DETAIL

NTS

(PERENNIALS, ORNAMENTAL GRASSES VINES, GROUNDCOVER & ANNUALS)



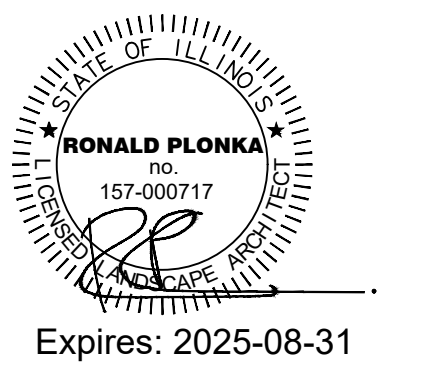
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The drawings, specifications, design ideas, and other information contained within as prepared by the Landscape Architect and/or Land Planner for this project are instruments of the Landscape Architect's and/or Land Planner's service, for use solely with respects to this project and, unless otherwise provided, the Landscape Architect and/or Land Planner shall be deemed the author of these documents and shall retain all common law, statutory, and other rights, including copyright. This drawing is not to be reproduced without the expressed written consent of Heritage Oak Studios, LLC.

#### REVISIONS

4 - Per City Of Joliet Review	2025-12-09
3 - Per City Of Joliet Review	2025-11-11
2 - Per Revised Site Plan	2025-10-14
1 - Revised Per 30' Buffer	2025-09-05

#### MULTI-TENANT DEVELOPMENT

580 Caton Farm Road  
Joliet, Illinois



#### HERITAGE OAK STUDIOS, LLC

Landscape Architects

24301 White Oak Drive  
Plainfield, IL 60585  
PHONE: 815-531-4415

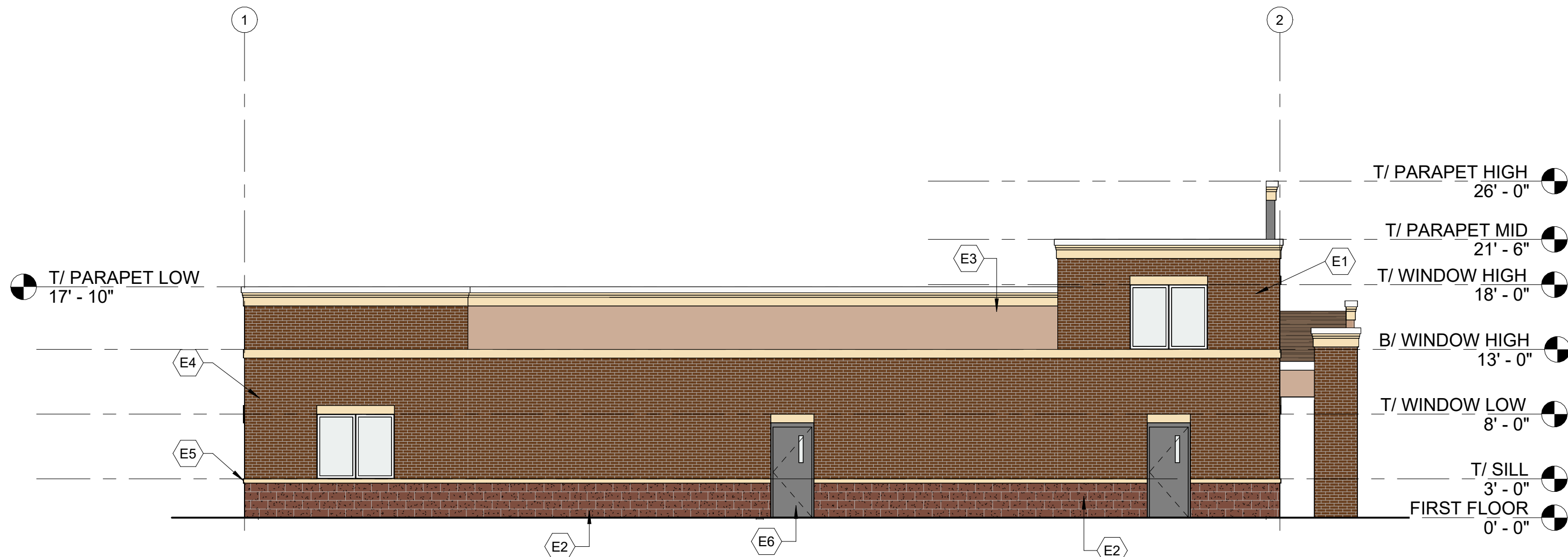
#### PRELIMINARY LANDSCAPE PLAN

DATE: 2025-08-22  
SCALE: 1"=20'  
PLANNER: RP  
DRAWN BY: RP  
CHECKED: \_\_\_\_\_

#### SHEET L-1

PROJECT NO.: 2325 - 2463





EX	EXTERIOR ELEVATION KEYNOTES
E1	BRICK PILASTER BUILD OUT
E2	SPLIT FACE CMU VENEER
E3	E.I.F.S. SYSTEM W/REVEALS
E4	PRECAST LINTEL
E5	4" PRECAST SILL ROUNDED 2", TAPERED INTO EACH DOOR FRAME
E6	GALVANIZED H.M DOOR AND FRAME

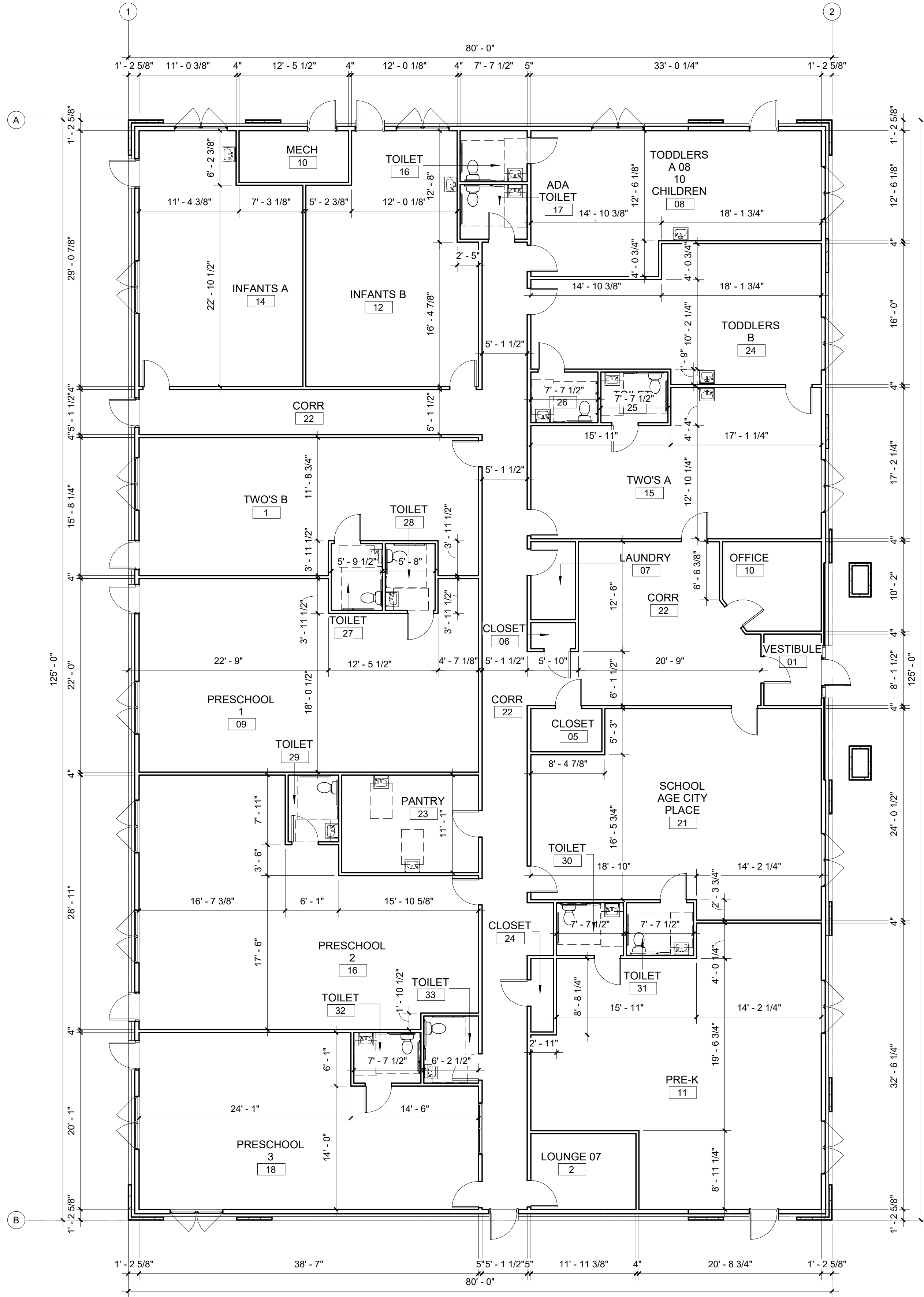
GENERAL NOTES
1. SEE A9.2 FOR EXTERIOR FINISH SCHEDULE
2. ALL EXHAUST FAN VENTING TO BE THRU ROOF (NO VENTING ALLOWED OUT SIDES OF BUILDING THROUGH THE FRONT REAR AND SIDE WALLS OF BUILDING)

CONSULTING ENGINEERS:

CLIENT:

Building Type  
**580 Caton Farm**  
580 Caton Farm

REVISIONS		
#	DESCRIPTION	DATE



1 PROPOSED FIRST FLOOR LOT 1  
1/8" = 1'-0"

GENERAL NOTES

1. THE TOILET IN ROOM 11.1 THE RESTROOM IN THE TODDLERS ROOM, SHALL BE A CHILD SIZED TOILED AND HAVE A HEIGHT OF 10". THE TOILETS IN ROOMS 13 & 20 , THE ADA RESTROOMS , SHALL HAVE AN ADA COMPLIANT TOILET WITH A HEIGHT OF 17". ALL OTHER TOILETS IN THE BUILDING SHALL BE OF STANDARD HEIGHT 14".
2. ALL DOOR JAMBS TO BE 4" FROM HINGED SIDE TO EDGE OF WALL , UNLESS OTHERWISE NOTED. BOTTOM OF JAMB NOT TO EXCEED 1/4" A.F.F.
3. SEE SHEET A9.1 FOR WINDOW TYPES.
4. ALL WALL TYPES SHOWN ON PLAN ARE NOMINAL THICKNESS. SEE WALL TYPES SCHEDULE FOR ACTUAL WALL THINKNESS.
5. INSTALL 20 AMP DUPLEX OUTLET AT CORRIDORS PER ELECT PLAN.
6. ALL THERMO/ SENSOR TO BE INSTALLED AT 54" A F F WITH TAMPER PROOF COVERS. THERMO/SENSORS TO BE LOCATED IN EACH CLASSROOM AND TO BE INDEPENDENT OF EACH OTHER (SEE M-1).
7. ALL CASEWORK / CABINETS/MILLWORK/COUNTERTOPS SHOWN ON DRAWINGS TO BE PROVIDED BY COSTA CABINETS.
8. ALL COUNTERTOPS TO HAVE RADIUS CORNERS.
9. SEE SHEET A8.2 FOR APPLIANCE LEGEND.
10. FIRE EXTINGUISHER: CONFIRM W/ BUILDING DEPT. REQUIREMENTS FOR FIRE EXTINGUISHER CABINET QUANTITIES & LOCATIONS. REFER TO SPECIFICATIONS FOR CABINET DESCRIPTION & INSTALLATION REQUIREMENTS ( INCLUDING RECESSED CABINETS). FIRE EXTINGUISHERS TO BE RECESSED INTO THE WALL.  
  
THE MINIMUM C.O.A REQUIREMENT (OR MORE IF CODE REQUIRED) SHALL BE:  
1. IN THE LOUNGE  
2. IN THE PANTRY  
3. AT THE FRONT DESK  
4. AT EACH AND OF THE LONG CORRIDOR.  
5. IN THE MECHANICAL, ELECTRICAL / SPRINKLER ROOM.
11. PROVIDE 20'-0" HIGH STANDARD FLAG POLE WITH AN INTERNAL ROPE. AMERICAN FLAG & FLAG POLE CO. 800-426-6235 (SKU S20050125) VERIFY LOCATION WITH C.O.A.
12. PROVIDE FIRE SPRINKLERS THROUGH-OUT. FIRE SPRINKLER CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR SYSTEM TO MEET LOCAL CODES.
- 13.CCTV CAMERAS AND ALL VIDEO TO BE SUPPLIED BY ALWAYS CLOSE BY. QUANTITY AND LOCATION OF CAMERAS TO BE PROVIDED BY "ALWAYS CLOSE BY"

KORU

ARCHITECTS | ENGINEERS | PLANNERS

**Koru Group, PLLC**  
2135 CityGate Lane, STE 330  
Naperville, IL 60563

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CONSULTING ENGINEERS:

CLIENT:

Building Type  
**580 Caton Farm**  
580 Caton Farm

REVISIONS:

#	DESCRIPTION	DATE
	ISSUED FOR PERMIT	DATE
1		
2		

FILE NAME: 25077 580 Caton Farm  
DRAWN BY: Author REVIEWED BY: Checker

SHEET TITLE:

FIRST FLOOR PLAN

SHEET NO.

**A101**

## **580 CATON FARM**

### **Planned Unit Development**

#### **Scope of Development:**

The development consists of approximately 5 acres which will be divided into 3 lots for commercial development. Per the attached site plans it is anticipated that a 10,000 square foot day care facility, a 12,000 square foot mixed used strip center, and a 2,000 square foot retail or restaurant space. It is anticipated that the strip center and/or the retail space will be seeking a drive-thru permit when an end user has been identified.

#### **The Phasing Plan:**

The development shall occur in two main phases. Phase 1 will be the construction of a proposed day care facility. The second phase will be the development of the two remaining lots for a mixed use strip center and a smaller retail establishment or restaurant. It is anticipated that Phase 1 would be completed by July of 2026 and the remaining property would hopefully be developed by the middle of 2027.

#### **The Financial Plan:**

The Developer will secure financing from institutional debt, limited partners and high net worth individuals to satisfy the equity needed to finish the project.

#### **The Marketing Plan:**

An LOI has been agreed to with Children of America for the development of the day care facility and assuming the project can make the target delivery date of July 2026. Bill Caton from Caton Commercial as a primary broker has been retained to handle the sale or leasing of the remaining lots. Local advertising and social media in various other publications and magazines will be utilized to advertise the development.