

DATE: May 21, 2026  
TO: Joliet Plan Commission  
FROM: Ray Heitner - Planner  
SUBJECT: PUD-5-26: Amendment to the Final Plat of Vista Ridge Phase 1 Planned Unit Development (Council District #3)  
V-3-26: Approval of a Vacation of a Public Utility and Drainage Easement for Vista Ridge Phase 1 Planned Unit Development (Council District #3)

GENERAL INFORMATION:

APPLICANT: Vista Ridge Development, LLC  
STATUS OF APPLICANT: Owner and Developer  
REQUESTED ACTION: Approval of an amended Final Plat and Vacation of a Public Utility and Drainage Easement  
PURPOSE: To allow continued development of a previously approved multi-family residential subdivision  
EXISTING ZONING: R-4 (Low Density Multi-Family Residential)  
LOCATION: 2700 Vista Lane  
SIZE: Approximately 5.2 Acres  
EXISTING LAND USE: Ongoing townhome development

SURROUNDING LAND USE & ZONING:

NORTH: Farmland; R-2 (Single-Family Residential)  
SOUTH: Ongoing single-family residential development; R-2 (Single-Family Residential)  
EAST: Farmland; R-2 (Single-Family Residential)  
WEST: Stormwater Detention; R-2 (Single-Family Residential)

SITE HISTORY: The subject property was annexed into the City in 2004. On January 7, 2025, the City Council approved rezoning of the property to R-4 (Low Density Multi-Family

Residential) zoning. The surrounding acreage which is also included in the same Planned Unit Development (PUD), was rezoned to R-2 (Single-Family Residential) at this time. The City Council approved the Recording Plat for the entire PUD to allow construction of 321 single-family residential homes and 76 townhouse dwelling units on May 6, 2025.

SPECIAL INFORMATION: The subject petitions concern the 5.2-acre portion of the PUD dedicated to townhome development. The previously approved Final Plat for this area consisted of 17 townhouse block lots that were each 58 feet deep. The applicant is requesting an amendment to the Final PUD Plat to increase the size of these lots to 70 feet deep to allow the full extent of the rear individual unit patios to be located within each townhome lot and not in the common lot areas. There are no changes to the volume or design of these units.

When the Final PUD Plat for the greater subdivision was approved in 2025, a blanket Public Utility and Drainage Easement was created to cover the extent of each common lot area (Lots 343, 344, and 345) outside of the townhouse block lots. Since portions of this easement area are being encroached upon with the requested extension of the townhouse block lots, a vacation of these easement areas is necessary to avoid future conflicts with the proposed back patios. Staff have reviewed this request and have no concerns about the proposed vacation. Staff have not received any correspondence from any private utility companies regarding the requested vacation.

ANALYSIS: Approval of the requested amended Final Plat and Public Utility and Drainage Easement vacation will allow the continued construction of townhouse units within Phase 1 of Vista Ridge PUD with all future rear yard patios on the townhouse block lots. Staff have examined these requests and believe there will be no meaningful impact on stormwater detention or residential open space. The requested vacation would not have any effect on public or private utilities in the area.

RECOMMENDED ACTION: Staff recommend the Plan Commission recommend approval of an amendment to the Final Plat of Vista Ridge Planned Unit Development and a Vacation of a Public Utility and Drainage Easement for Vista Ridge Phase 1 Planned Unit Development to the City Council.

CASE NO. \_\_\_\_\_

DATE FILED: \_\_\_\_\_

**CITY PLAN COMMISSION  
JOLIET, ILLINOIS**

**PETITION FOR APPROVAL OF (Check One):**

Preliminary Plat  
 Final Plat  
 Recording Plat

NAME OF SUBDIVISION: Vista Ridge

NAME OF PETITIONER: Vista Ridge Development LLC

CELL #: [REDACTED] E-MAIL: [REDACTED]

HOME ADDRESS: 11S220 Jackson Street Suite # 101

CITY, STATE, ZIP: Burr Ridge, Illinois 60527

HOME PHONE: [REDACTED]

BUSINESS ADDRESS: 11S220 Jackson Street Suite # 101

CITY, STATE, ZIP: Burr Ridge, Illinois 60527

BUSINESS PHONE: [REDACTED]

INTEREST OF PETITIONER: Owner

NAME OF LOCAL AGENT: John Barry

ADDRESS: 11S220 Jackson Street, Suite # 101 Burr Ridge, IL 60527 PHONE: [REDACTED]

OWNER: Vista Ridge Development LLC

HOME ADDRESS: 11S220 Jackson Street Suite # 101 PHONE: [REDACTED]

CITY, STATE, ZIP: Burr Ridge, Illinois 60527

BUSINESS ADDRESS: 11S220 Jackson Street Suite # 101 PHONE: [REDACTED]

CITY, STATE, ZIP: Burr Ridge, Illinois 60527

CELL #: [REDACTED] E-MAIL: [REDACTED]

ENGINEER: V3 Companies

ADDRESS: 7325 Janes Avenue Woodridge, IL 60517 PHONE: [REDACTED]

LAND SURVEYOR: V3 Companies

ADDRESS: 7325 Janes Avenue Woodridge, IL 60517 PHONE: [REDACTED]

ATTORNEY: Thomas Osterberger - KGG, LLC

ADDRESS: 111 N. Ottawa Street, Joliet Illinois 60423 PHONE: [REDACTED]

LEGAL DESCRIPTION OF PROPERTY: Vista Ridge Phase 1 Resubdivision1, a Planned Unit Development  
PART OF SECTION 26, TOWNSHIP 36 NORTH, RANGE 8, EAST OF THE THIRD PRINCIPAL MERIDIAN,  
IN THE TOWNSHIP OF NA-AU-SAY, KENDALL COUNTY, ILLINOIS.

COMMON ADDRESS: 2700 Vista Lane, Plainfield, IL 60586

PERMANENT INDEX NUMBER (Tax No.): [REDACTED]

SIZE: 6.5560 ACRES

NO. OF LOTS: 17 Townhome Lots & 3 Oulots Lots

PRESENT USE: Townhome Lots EXISTING ZONING: R4

USES OF SURROUNDING PROPERTIES: North: Single Family Residential

South: Single Family Residential

East: Single Family Residential

West: Single Family Residential

Name of Park District: Plainfield Park District

Date Contacted Park District: July 24, 2024

Is any open space/park site being offered as part of a preliminary plat? Yes

If yes, what amount? +/- 5.2 Acres

(Acknowledgment by Park District Official) Bob Collins, Director of Planning

Has the Zoning Board of Appeals granted any variance, exception, or special permit concerning this property?

Yes  No  If yes, list the Case number and name: \_\_\_\_\_

Is any variance from the Subdivision Regulations being requested? Yes  No

If yes, describe: \_\_\_\_\_

Attach ten (10) copies of the plat to this petition.

List all contiguous holdings in the same ownership (as defined in the Subdivision Regulations) by permanent index numbers: N/A

Attached hereto is an affidavit of ownership indicating the dates the respective holdings of land were acquired, together with the book and page of each conveyance to the present owner as recorded in the Will County Recorder of Deeds office. This affidavit shall indicate the legal owner of the property, the contract owner of the property, and the date the contract of sale was executed.

In the event the property is held in trust: A list of all individual beneficial owners of the trust must be attached.

In the event of corporate ownership: A list of all directors, officers, and stockholders of each corporation owning more than five percent (5%) of any shares of stock must be attached.

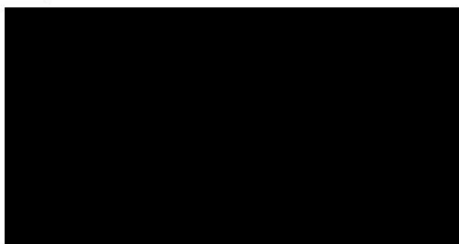
STATE OF ILLINOIS) ss  
COUNTY OF WILL )

I, John Barry, hereby depose and say that all of the above statements and the statements contained in the [redacted] are true. I agree to be present in person or by representation when this is heard.

Date: 2/5/2026  
Pet [redacted]

Subscribed and sworn to before me this 5th day of FEBRUARY, 20 26

[redacted] My Commission Expires: 11.18.2028



## CITY OF JOLIET OWNERSHIP DISCLOSURE FORM

The City of Joliet requires that applicants for zoning relief, subdivision approval, building permits and business licenses disclose the identity of all persons having an ownership interest in the business and the real property associated with the application. A copy of this form must be completed and submitted with other application materials. Failure to properly complete and submit this form may result in the denial of the application.

### I. INFORMATION ABOUT THE APPLICATION

This form is submitted as part of an application for the following (check all that apply):

- Rezoning, Special Use Permit, Variation, or Other Zoning Relief (Complete Sections II and III)
- Preliminary Plat, Final Plat, or Record Plat of Subdivision (Complete Sections II and III)
- Building Permit (Complete Sections II and III)
- Business License (Complete All Sections)

### II. INFORMATION ABOUT THE PROPERTY

The address and PIN(s) of the real property associated with this application are:

2700 Vista Lane, Plainfield, IL 60586

PIN(s): \_\_\_\_\_

### III. PROPERTY OWNERSHIP

Select the type of owner of the real property associated with this application and fill in the appropriate contact information below:

- Individual:** State the names, addresses, and phone #'s of the individual owner(s)
- Corporation:** State the names, addresses, and phone #'s of all persons holding 3% or more of the stock of the corporation and the percentage of shares held by such stockholders
- Limited Liability Company:** State the names, addresses, and phone #'s of all members of the company along with the percentage of ownership held by each member
- Land Trust:** State the names, addresses, and phone #'s of the trustee(s) and all beneficiaries
- Partnership:** State the names, addresses, and phone #'s of all partners
- Other type of organization:** State the names, addresses, and phone #'s of all persons having a legal or equitable ownership interest in the organization or the right to direct the affairs of the organization

Paul McNaughton

Brian Flanagan

\_\_\_\_\_

\_\_\_\_\_

E-MAIL: \_\_\_\_\_ FAX: \_\_\_\_\_

**IV. BUSINESS OWNERSHIP**

If the owner of the business is different than the owner of the real property associated with the application, then the following information must be provided:

Select the type of business owner associated with this application and fill in the contact information below:

- Individual:** State the names, addresses, and phone #'s of the individual owner(s)
- Corporation:** State the names, addresses, and phone #'s of all persons holding 3% or more of the stock of the corporation and the percentage of shares held by such stockholders
- Limited Liability Company:** State the names, addresses, and phone #'s of all members of the company along with the percentage of ownership held by each member
- Partnership:** State the names, addresses, and phone #'s of all partners
- Other type of organization:** State the names, addresses, and phone #'s of all persons having a legal or equitable ownership interest in the organization

Paul McNaughton

Brian Flanagan

E-MAIL: johnb@mcnaughtondevelopment.com FAX: \_\_\_\_\_

**NOTE:**

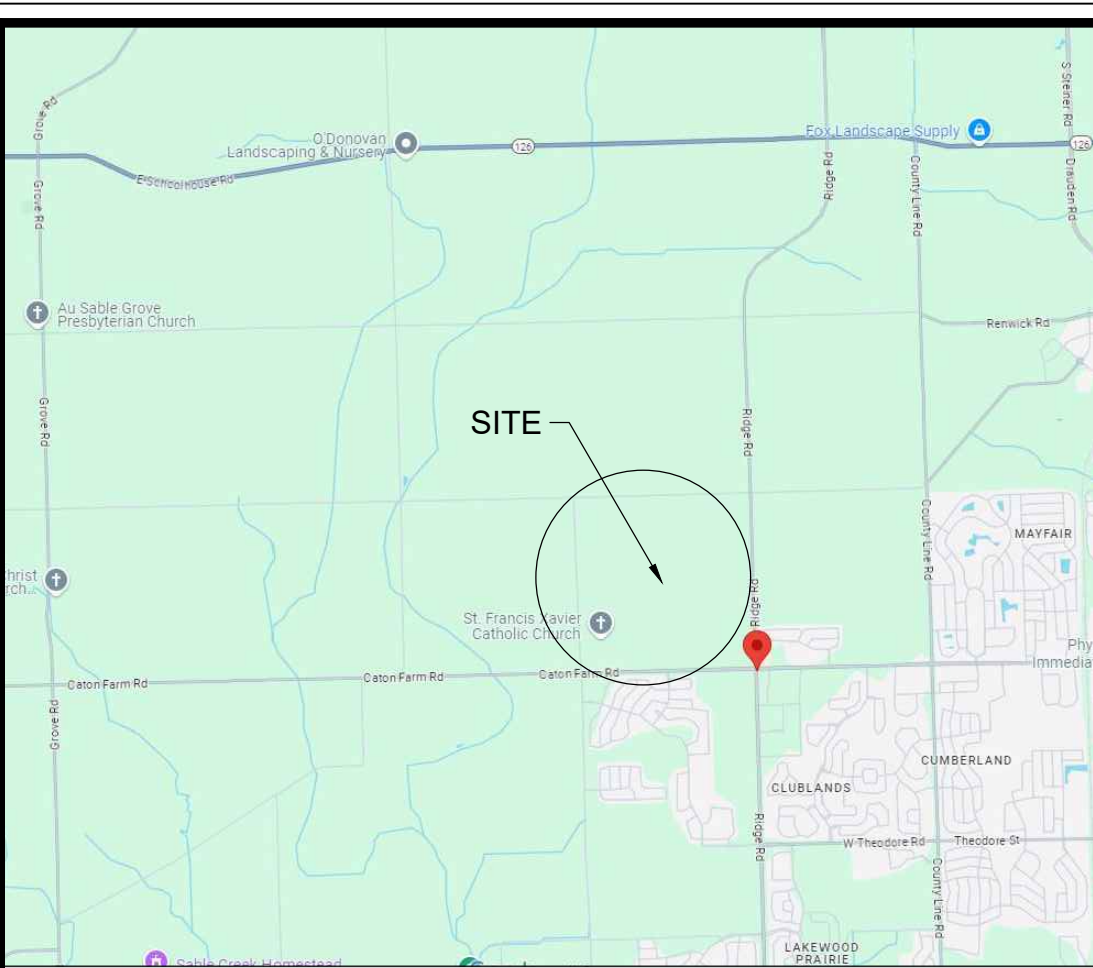
If a stockholder, member, beneficiary or partner disclosed in Section III or Section IV is not an individual, then the individuals holding the legal or equitable title to the real property or business associated with the application must also be disclosed. For example, if the real property associated with an application is owned by a land trust, and the beneficiary of the land trust is a limited liability company, then the members of the limited liability company must be disclosed. If one of the members of the limited liability company is a partnership, then the identity of the partners must be disclosed. If one of the partners is a corporation, then all persons owning 3% or more of the issued stock must be

**SIGNED:** \_\_\_\_\_

**DATE:** 2/5/2026

**Name, Title, and Telephone Numbers of Person Completing and Submitting This Form:**

\_\_\_\_\_  
\_\_\_\_\_



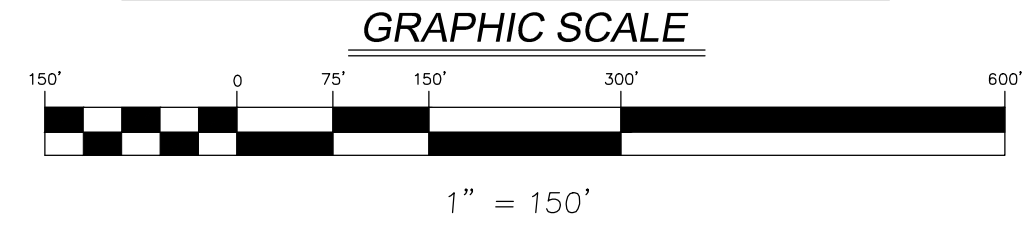
FLOODPLAIN: ACCORDING TO FEMA FIRM MAP 17093C0135H EFF. 1/8/2014 NO FLOODPLAIN EXISTS ON THIS SITE. ALL OF THE SITE IS WITHIN ZONE "X" (AREAS OF MINIMAL FLOOD HAZARD).

**TOPOGRAPHY**  
TOPOGRAPHIC SURVEY PREPARED BY V3 COMPANIES DATED 09/05/2024  
TOPOGRAPHIC SURVEY PREPARED BY V3 COMPANIES DATED 11/21/2024

# FINAL PLAT OF VISTA RIDGE PHASE 1 A PLANNED UNIT DEVELOPMENT

PART OF SECTION 26, TOWNSHIP 36 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN THE TOWNSHIP OF NA-AU-SAY, KENDALL COUNTY, ILLINOIS.

**BASIS OF BEARINGS**  
THE BASIS OF BEARINGS IS THE STATE PLANE COORDINATE SYSTEM (SPCS) NAD 83 (2011) ZONE 1201 (ILLINOIS EAST) WITH PROJECT ORIGIN AT LATITUDE: 41-33-52.32432 N LONGITUDE: 88-17-04.93388 W ELLIPSOIDAL HEIGHT: 549.261 SFT GROUND SCALE FACTOR: 1.0000510085 GEOID 18US ALL MEASUREMENTS ARE ON THE GROUND.



VICINITY MAP NOT TO SCALE

**OWNER / DEVELOPER**  
McNaughton Development  
115220 S. Jackson, St.  
Burr Ridge, IL 60527-6818  
630.325.3400

**ENGINEER/SURVEYOR**  
V3 Companies, Ltd.  
7325 Janes Avenue, Suite 100  
Woodridge, Illinois 60517  
630.724.9200

**THIS PLAT IS NOT FOR RECORD**

**AREA TABLE**

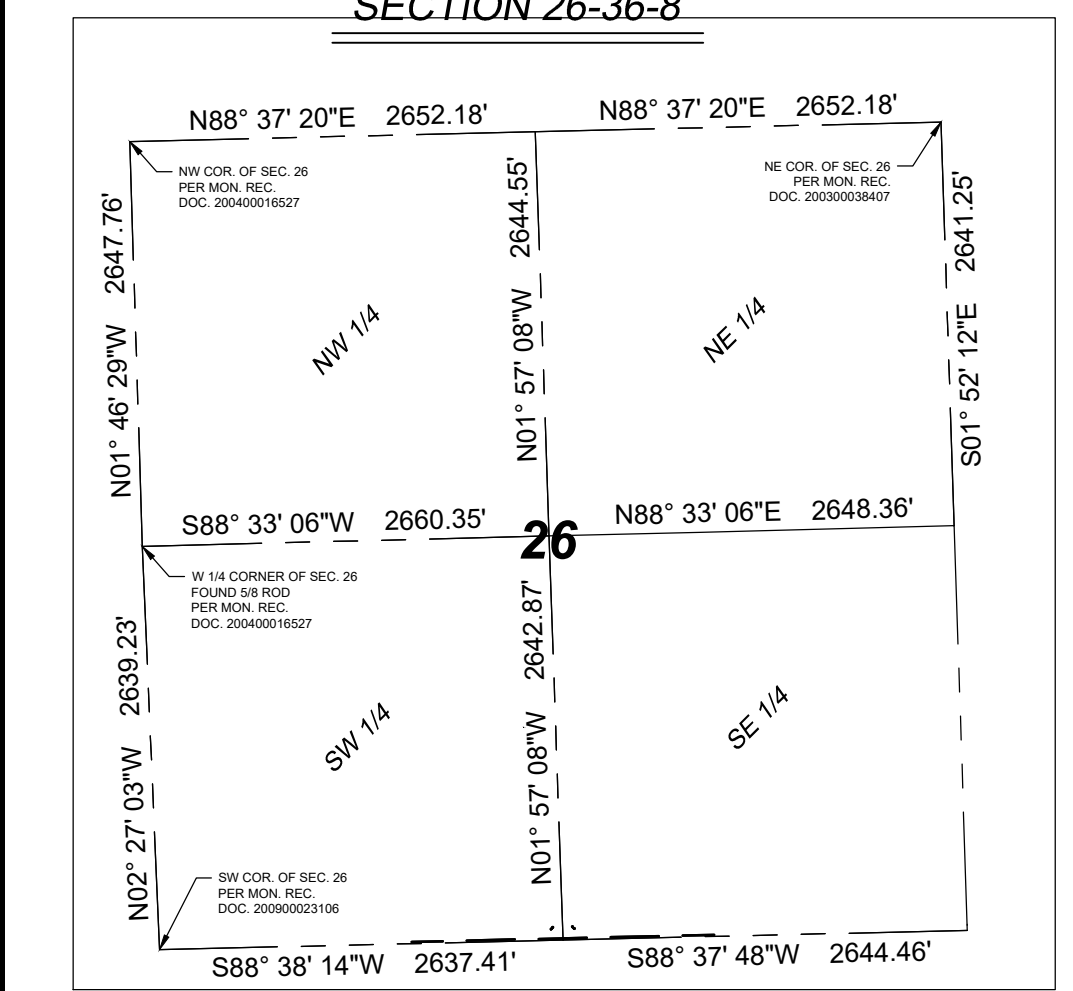
SINGLE FAMILY LOTS	636,336 SQ. FT.	14,608.3 AC.
MULTI-FAMILY LOTS 322-338	98,000 SQ. FT.	2,250.0 AC.
MULTI-FAMILY LOTS 339-341	187,559 SQ. FT.	4,305.7 AC.
OPEN SPACE / PARK AREAS	759,952 SQ. FT.	17,446.2 AC.
RIGHT OF WAY HEREBY DEDICATED	551,955 SQ. FT.	12,671.1 AC.
<b>TOTAL AREA THIS SUBDIVISION</b>	<b>2,233,822 SQ. FT.</b>	<b>51,281.5 AC.</b>

**LEGAL DESCRIPTION**

PARCEL 1:  
THE EAST 60 ACRES OF THE SOUTHWEST 1/4 OF SECTION 26, TOWNSHIP 36 NORTH, RANGE 8, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN THE TOWNSHIP OF NA-AU-SAY, KENDALL COUNTY, ILLINOIS.

PARCEL 2:  
THE WEST 60 ACRES OF THE SOUTHWEST 1/4 OF SECTION 26, TOWNSHIP 36 NORTH, RANGE 8, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN THE TOWNSHIP OF NA-AU-SAY, KENDALL COUNTY, ILLINOIS.

- USE EXCEPTIONS**
- EXCEPTION TO REDUCE THE REQUIRED ROW FROM 66' TO 60'.
  - EXCEPTION TO ALLOW 4.45 DWELLING UNITS PER ACRE IN THE PROPOSED R-2 ZONING AREA INSTEAD OF THE MAXIMUM ALLOWABLE DENSITY OF 2.5 DWELLING UNITS PER ACRE PER THE KENDALL COUNTY LAND USE PLAN.
  - EXCEPTION TO ALLOW 9.42 DWELLING UNITS PER ACRE IN THE PROPOSED R-4 ZONING AREA INSTEAD OF THE MAXIMUM ALLOWABLE DENSITY OF 6 DWELLING UNITS PER ACRE PER THE REGULATIONS OF THE R-4 ZONING DISTRICT.
  - EXCEPTION TO ALLOW ROUNDABOUT AND EYEBROW RADIUS TO BE REDUCED FROM 75' TO 60'.
  - EXCEPTION TO REDUCE THE REQUIRED ROW OF GREYWALL BOULEVARD FROM 75' TO 70'.
  - REQUESTING AN EXCEPTION TO THE USE OF BRICK OR STONE IN EXTERIOR ELEVATIONS, PER SECTION 47-17.30(E) OF THE CITY'S ZONING ORDINANCE, TO ALLOW THE ATTACHED ELEVATIONS.



- NOTES**
- ONCE THE PLAT SHOWN HEREON IS RECORDED AND UPON COMPLETION OF CONSTRUCTION, 5/8" IRON RODS WITH PLASTIC CAPS SHALL BE SET AT ALL LOT CORNERS AND CHANGES IN GEOMETRY, UNLESS SHOWN OTHERWISE.
  - ALL MEASUREMENTS AND DISTANCES ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF. ARC DISTANCES ARE ALONG ALL CURVES.
  - SINGLE FAMILY ZONING R-2; MULTI FAMILY ZONING R-4
  - EXCEPTION TO WAIVE THE REQUIRED 25-FT. REAR YARD SETBACK FOR THE TOWNHOUSE UNITS.



**CITY COUNCIL CERTIFICATE**

STATE OF ILLINOIS ) SS  
COUNTY OF WILL )

APPROVED AND ACCEPTED BY THE MAYOR AND THE CITY COUNCIL OF THE CITY OF JOLIET, ILLINOIS, AT A MEETING HELD THE \_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_

APPROVED BY ORDINANCE NO. \_\_\_\_\_

MAYOR \_\_\_\_\_  
CITY CLERK \_\_\_\_\_

**PLAN COMMISSION CERTIFICATE**

STATE OF ILLINOIS ) SS  
COUNTY OF WILL )

APPROVED BY THE PLAN COMMISSION OF THE CITY OF JOLIET, WILL COUNTY, ILLINOIS THIS \_\_\_ DAY OF \_\_\_\_\_, A.D. 20\_\_

CHAIRMAN OF THE PLAN COMMISSION \_\_\_\_\_  
SECRETARY \_\_\_\_\_

**LEGEND**

EXISTING	PROPOSED	DESCRIPTION
—	—	SANITARY SEWER
—	—	SANITARY FORCE MAIN
—	—	STORM SEWER
—	—	COMBINED SEWER
—	—	WATER MAIN
—	—	OVERHEAD ELECTRIC LINE
—	—	OVERHEAD ELECTRIC POLE
—	—	UTILITY STRUCTURE WITH CLOSED LID
—	—	CURB INLET
—	—	DRAINAGE STRUCTURE WITH OPEN LID
—	—	FIRE HYDRANT
—	—	VALVE IN VALVE BOX
—	—	GATE VALVE IN VALVE VAULT
—	—	FLARED END SECTION (F.E.S.)
—	—	CONTOUR
—	—	STORMWATER OVERFLOW ROUTE
—	—	RIGHT-OF-WAY LINE
—	—	PROPERTY LINE (EXTERIOR)
—	—	LOT LINE (INTERIOR)
—	—	EASEMENT LINE
—	—	CENTERLINE
—	—	B-6.12 CURB & GUTTER

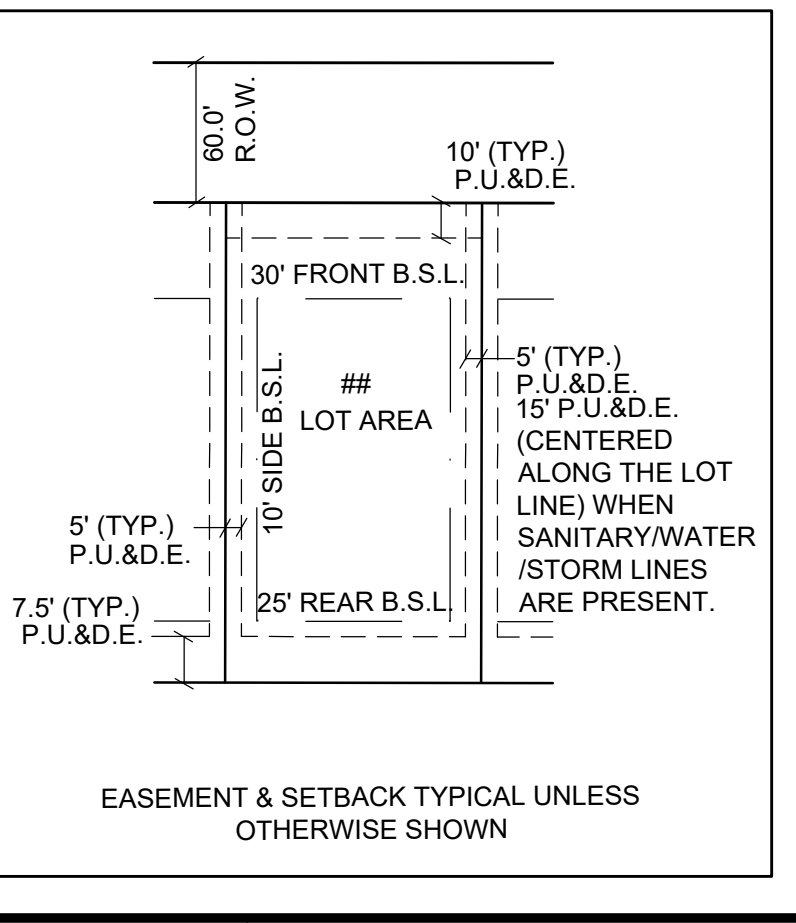
**LEGEND**

3 2 10 11	SECTION CORNER
—	SUBDIVISION BOUNDARY LINE
—	UNDERLYING LOT LINE
—	EXISTING LOT LINE
—	PROPOSED LOT LINE
—	EXISTING EASEMENT LINE
—	PROPOSED EASEMENT LINE
—	BUILDING SETBACK LINE
—	SECTION LINE

N NORTH  
S SOUTH  
E EAST  
W WEST  
CB CHORD BEARING  
A ARC LENGTH  
R RADIUS  
P.U.&D.E PUBLIC UTILITY & DRAINAGE EASEMENT  
D.E. DRAINAGE EASEMENT  
(0.00') RECORD DATUM  
(0.00') CALCULATED DATUM  
■ SET CONCRETE MONUMENT  
■ BUILDING SETBACK LINE  
○ FIP FOUND IRON PIPE W/SIZE

**SITE DATA - FULL SITE**

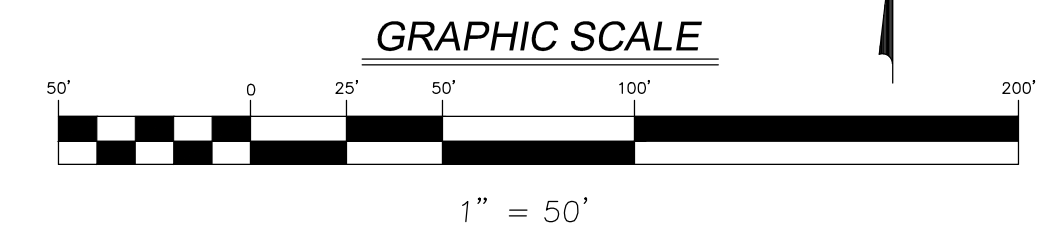
GROSS SITE AREA	= 120.00 AC.
PARK AREAS	= 5.25 AC.
STORMWATER MANAGEMENT AREA	= 11.29 AC.
OPEN SPACE (OUTLOTS)	= 2.75 AC.
ROW DEDICATION	= 26.72 AC.
321 SINGLE FAMILY LOTS + ROW	= 92.36 AC.
GROSS LAND USE (321 LOTS + ROW)	= 77%
NET LAND USE (321 LOTS W/OUT ROW)	= 65.64 AC.
SINGLE FAMILY DENSITY (321/72.12)	= 4.45 DU/AC
MINIMUM LOT SIZE	= 7,500 SF
MAXIMUM LOT SIZE	= 16,216 SF
AVERAGE LOT SIZE	= 8,713 SF
76 TOWNHOMES (20' x 48')	= 8.35 AC
ROW DEDICATION	= 1.80 AC.
LAND USE W/OUT ROW	= 6.55 AC
GROSS LAND USE (TOWNHOMES)	= 6.96%
TOWNHOMES DENSITY (76/8.07 AC)	= 9.42 DU/AC
397 TOTAL UNITS	
GROSS DENSITY	= 4.84 DU/AC.



THIS PLAT IS NOT FOR RECORD

# FINAL PLAT OF VISTA RIDGE PHASE 1 A PLANNED UNIT DEVELOPMENT

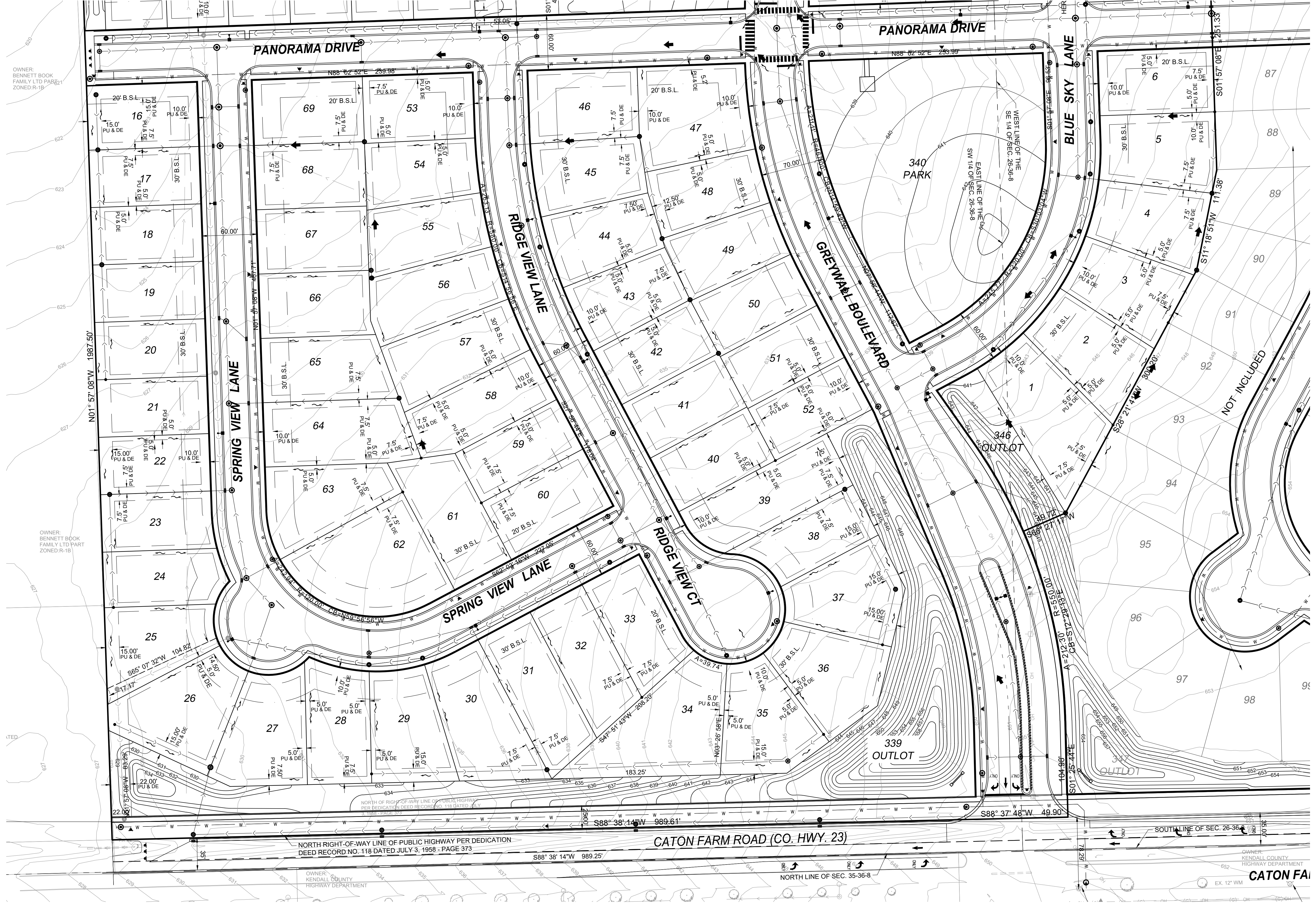
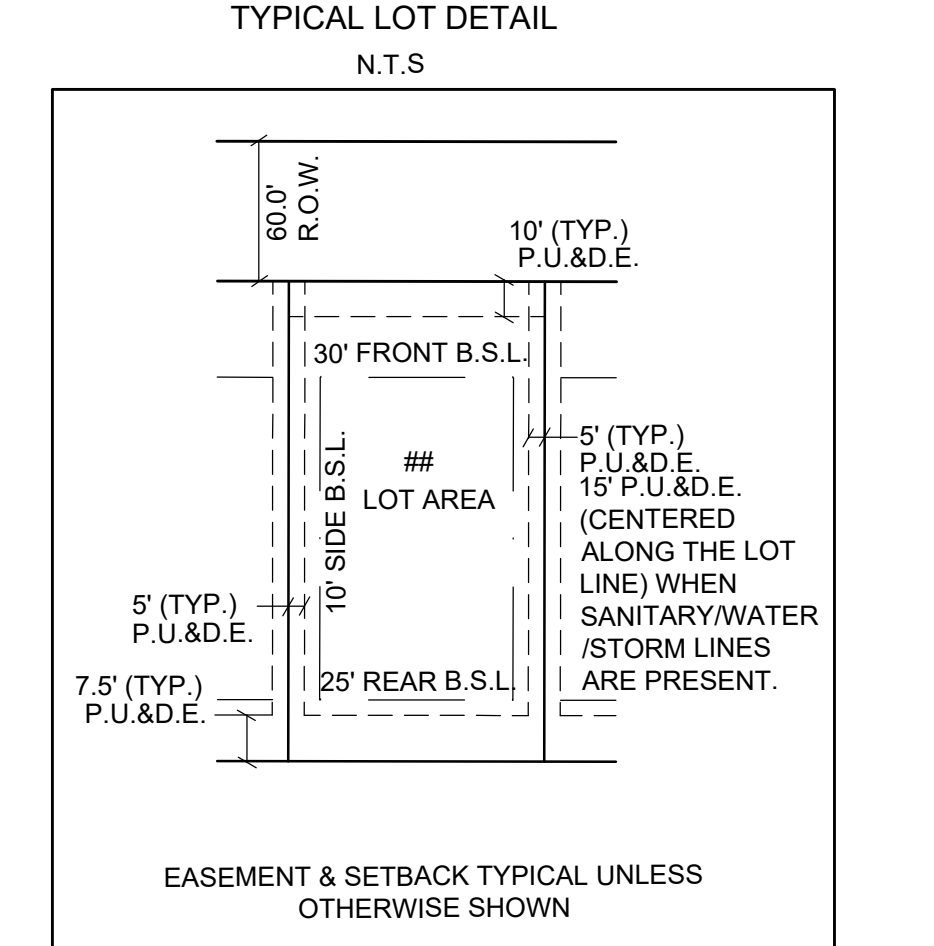
PART OF SECTION 26, TOWNSHIP 36 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN THE TOWNSHIP OF NA-AU-SAY, KENDALL COUNTY, ILLINOIS.



EXISTING	PROPOSED	DESCRIPTION
		SANITARY SEWER
		SANITARY FORCE MAIN
		STORM SEWER
		COMBINED SEWER
		WATER MAIN
		OVERHEAD ELECTRIC LINE
		OVERHEAD ELECTRIC POLE
		UTILITY STRUCTURE WITH CLOSED LID
		CURB INLET
		DRAINAGE STRUCTURE WITH OPEN LID
		FIRE HYDRANT
		VALVE IN VALVE BOX
		GATE VALVE IN VALVE VAULT
		FLARED END SECTION (F.E.S.)
		CONTOUR
		STORMWATER OVERFLOW ROUTE
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		PROPERTY LINE (EXTERIOR)
		LOT LINE (INTERIOR)
		EASEMENT LINE
		CENTERLINE
		B-6.12 CURB & GUTTER

LEGEND		DESCRIPTION
	SECTION CORNER	
	SUBDIVISION BOUNDARY LINE	
	UNDERLYING LOT LINE	
	EXISTING LOT LINE	
	PROPOSED LOT LINE	
	EXISTING EASEMENT LINE	
	PROPOSED EASEMENT LINE	
	BUILDING SETBACK LINE	
	SECTION LINE	

- N NORTH
- S SOUTH
- E EAST
- W WEST
- CB CHORD BEARING
- A ARC LENGTH
- R RADIUS
- PU&DE PUBLIC UTILITY & DRAINAGE EASEMENT
- D.E. DRAINAGE EASEMENT
- (0.00') RECORD DATUM
- 0.00' CALCULATED DATUM
- SET CONCRETE MONUMENT
- B.S.L. BUILDING SETBACK LINE
- FIP FOUND IRON PIPE W/SIZE



OWNER: BENNETT BOOK FAMILY LTD PART ZONED R-1B

OWNER: BENNETT BOOK FAMILY LTD PART ZONED R-1B

OWNER: KENDALL COUNTY HIGHWAY DEPARTMENT

**V** Engineers  
Scientists  
Surveyors

7325 Janes Avenue, Suite 100  
Woodridge, IL 60517  
630.724.9200 voice  
630.724.0384 fax  
v3co.com

PREPARED FOR:  
**McNaughton Development**  
11S220 S. Jackson, St. 101  
Burr Ridge, IL 60527-6818  
630.325.3400

REVISIONS		
NO.	DATE	DESCRIPTION
1	11-13-24	REVISED PER CITY COMMENTS
2	11-19-24	REVISED PER CITY COMMENTS
3	1-20-25	REVISED PER CITY COMMENTS
4	3-19-25	REVISED PER CITY COMMENTS
5	4-16-25	REVISED PER CITY COMMENTS
6	11-13-25	REVISED TOWNHOME LOTS FOR PATIOS

**FINAL PLAT**  
VISTA RIDGE PHASE 1  
A PLANNED UNIT DEVELOPMENT

DRAFTING COMPLETED: 10-07-24  
FIELD WORK COMPLETED: N/A

DRAWN BY: MG  
CHECKED BY: RMW

PROJECT MANAGER: CDB  
SCALE: 1" = 50'

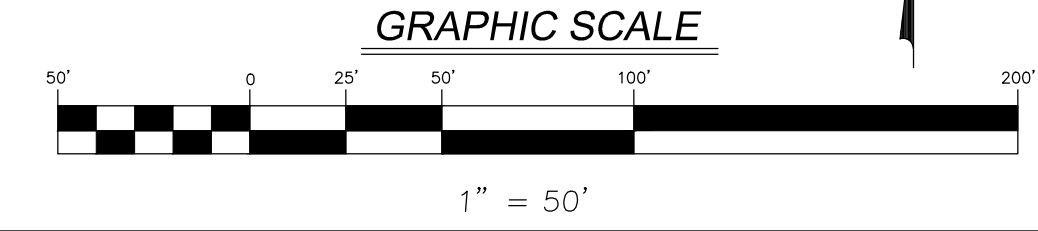
Project No: 241015  
Group No: VP04.7  
SHEET NO. 2 of 6

THIS PLAT IS NOT FOR RECORD

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PART OF SECTION 26, TOWNSHIP 36 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN THE TOWNSHIP OF NA-AU-SAY, KENDALL COUNTY, ILLINOIS.

STATE PLANE MERIDIAN



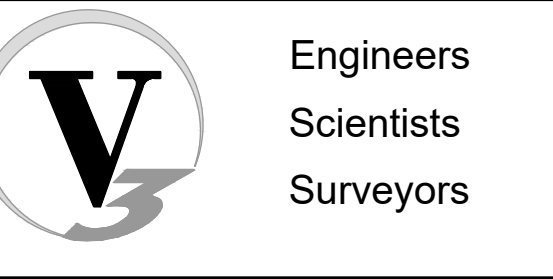
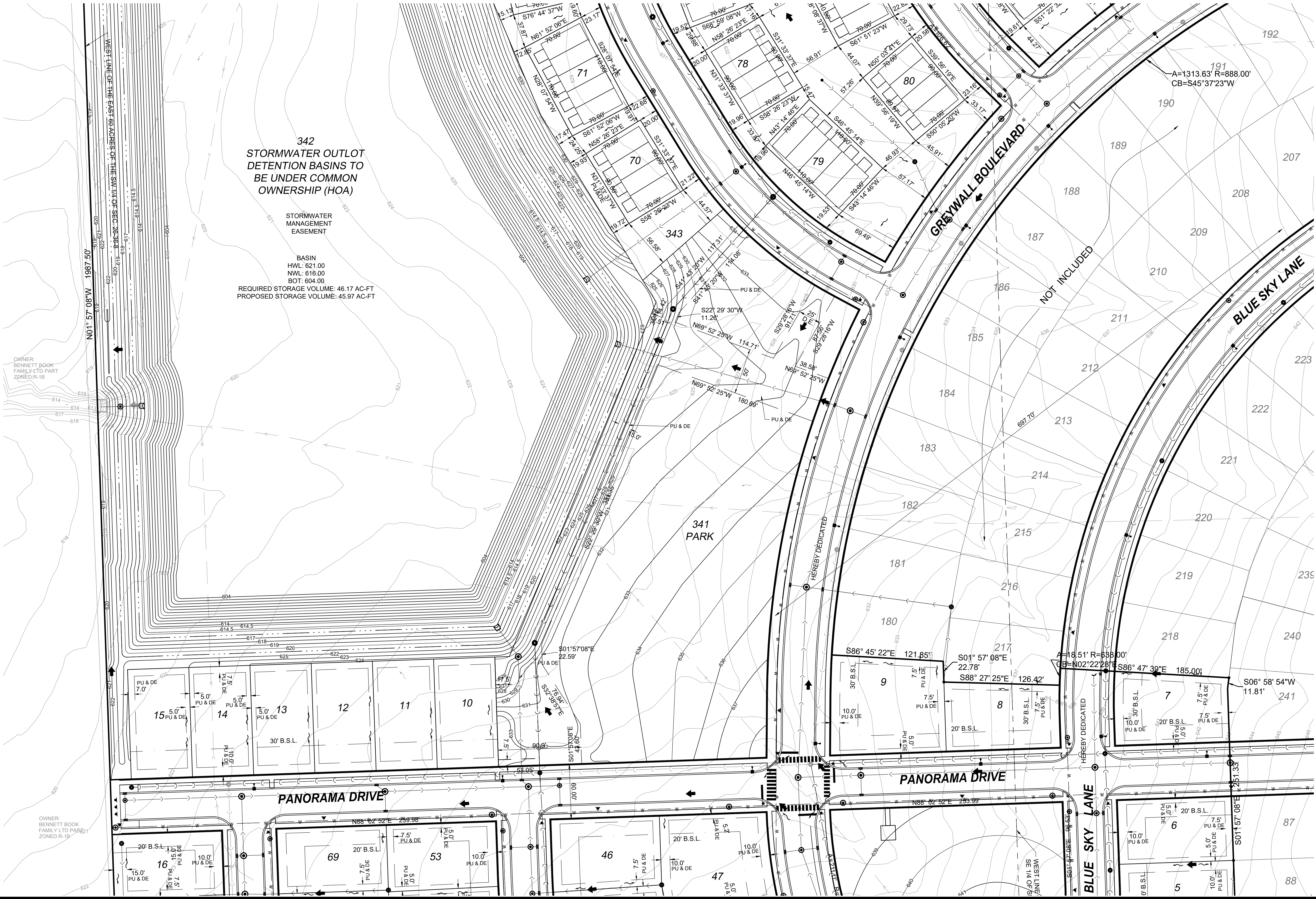
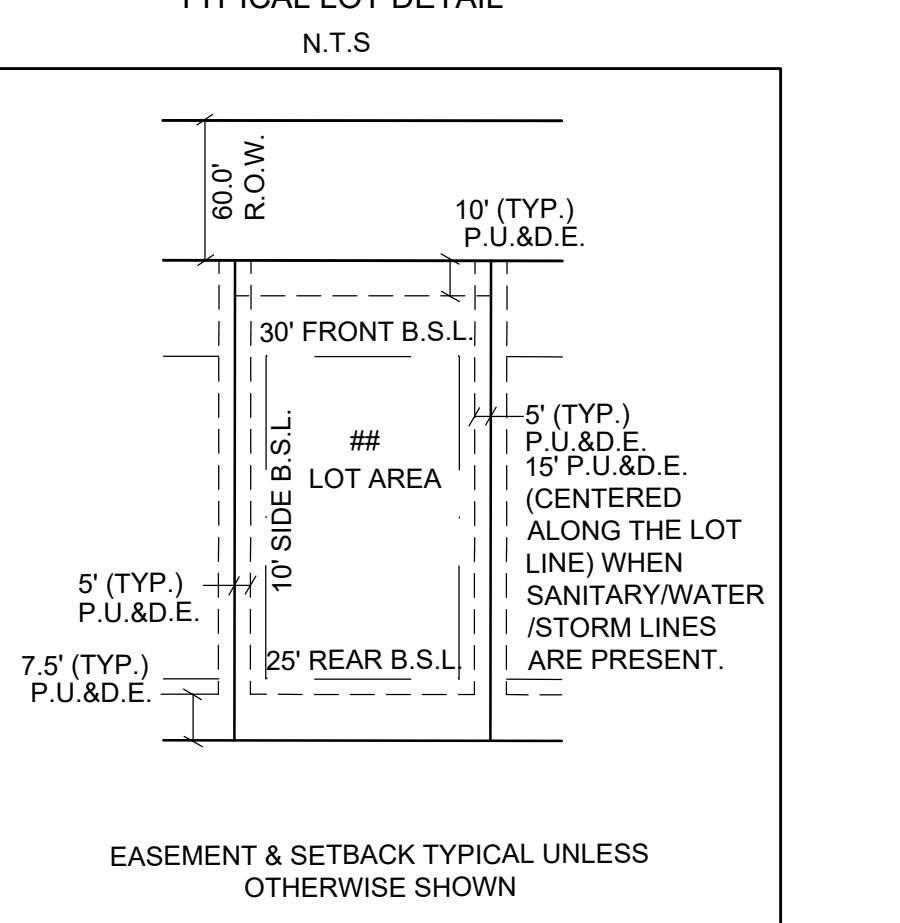
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		FIRE HYDRANT
		VALVE IN VALVE BOX
		GATE VALVE IN VALVE VAULT
		FLARED END SECTION (F.E.S.)
		CONTOUR
		STORMWATER OVERFLOW ROUTE
		RIGHT-OF-WAY LINE
		PROPERTY LINE (EXTERIOR)
		LOT LINE (INTERIOR)
		EASEMENT LINE
		CENTERLINE
		B-6.12 CURB & GUTTER

### LEGEND

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	UNDERLYING LOT LINE
	EXISTING LOT LINE
	PROPOSED LOT LINE
	EXISTING EASEMENT LINE
	PROPOSED EASEMENT LINE
	BUILDING SETBACK LINE
	SECTION LINE

- N NORTH
- S SOUTH
- E EAST
- W WEST
- CB CHORD BEARING
- A ARC LENGTH
- R RADIUS
- PU&DE PUBLIC UTILITY & DRAINAGE EASEMENT
- D.E. DRAINAGE EASEMENT
- (0.00') RECORD DATUM
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- SET CONCRETE MONUMENT
- B.S.L. BUILDING SETBACK LINE
- FIP FOUND IRON PIPE W/SIZE



7325 Janes Avenue, Suite 100  
Woodridge, IL 60517  
630.724.9200 voice  
630.724.0384 fax  
v3co.com

PREPARED FOR:  
**McNaughton Development**  
115220 S. Jackson, St. 101  
Burr Ridge, IL 60527-6818  
630.325.3400

REVISIONS		
NO.	DATE	DESCRIPTION
1	11-13-24	REVISED PER CITY COMMENTS
2	11-19-24	REVISED PER CITY COMMENTS
3	1-20-25	REVISED PER CITY COMMENTS
4	3-19-25	REVISED PER CITY COMMENTS
5	4-16-25	REVISED PER CITY COMMENTS
6	11-13-25	REVISED TOWNHOME LOTS FOR PATIOS

### FINAL PLAT

VISTA RIDGE PHASE 1  
A PLANNED UNIT DEVELOPMENT

DRAFTING COMPLETED: 10-07-24	DRAWN BY: MG	PROJECT MANAGER: CDB	SHEET NO. 3 of 6
FIELD WORK COMPLETED: N/A	CHECKED BY: RMW	SCALE: 1" = 50'	

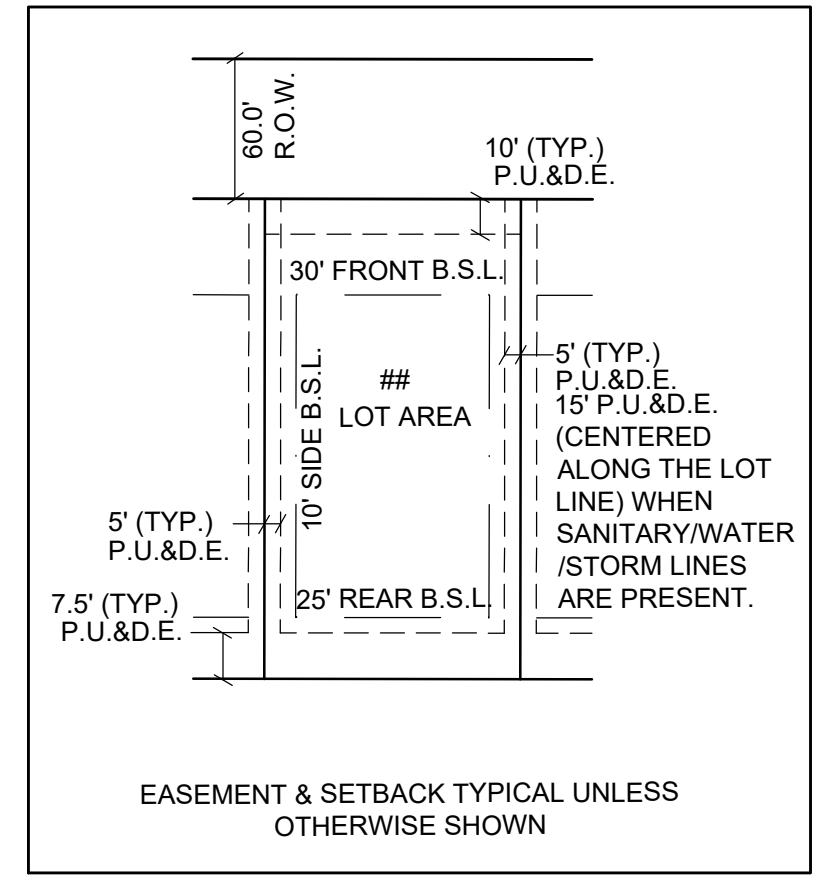
Project No: 241015  
Group No: VP04.7

THIS PLAT IS NOT FOR RECORD

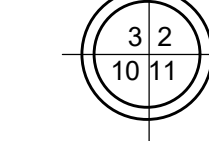
# FINAL PLAT OF VISTA RIDGE PHASE 1 A PLANNED UNIT DEVELOPMENT

PART OF SECTION 26, TOWNSHIP 36 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN THE TOWNSHIP OF NA-AU-SAY, KENDALL COUNTY, ILLINOIS.

TYPICAL LOT DETAIL  
N.T.S.



### LEGEND



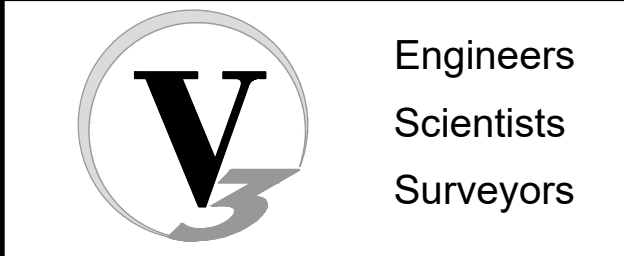
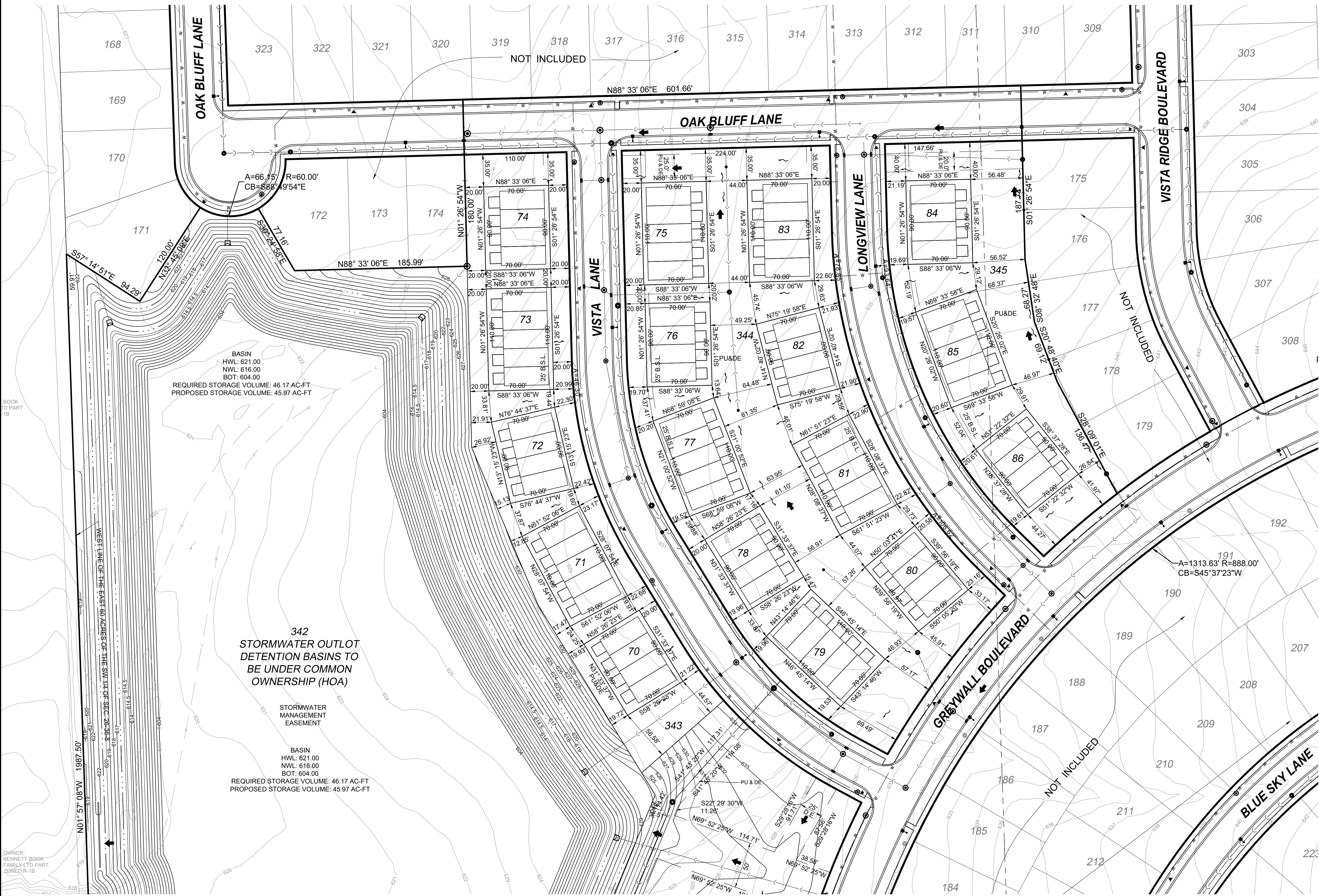
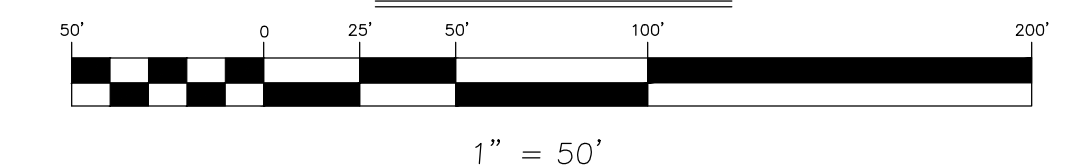
SECTION CORNER

- SUBDIVISION BOUNDARY LINE
  - UNDERLYING LOT LINE
  - EXISTING LOT LINE
  - PROPOSED LOT LINE
  - EXISTING EASEMENT LINE
  - PROPOSED EASEMENT LINE
  - BUILDING SETBACK LINE
  - SECTION LINE
- N NORTH
  - S SOUTH
  - E EAST
  - W WEST
  - CB CHORD BEARING
  - A ARC LENGTH
  - R RADIUS
  - PU&D PUBLIC UTILITY & DRAINAGE EASEMENT
  - D.E. DRAINAGE EASEMENT
  - (0.00') RECORD DATUM
  - 0.00' CALCULATED DATUM
  - SET CONCRETE MONUMENT
  - B.S.L. BUILDING SETBACK LINE
  - FIP FOUND IRON PIPE W/SIZE

### LEGEND

- | EXISTING | PROPOSED | DESCRIPTION                       |
|----------|----------|-----------------------------------|
| —        | —        | SANITARY SEWER                    |
| —        | —        | SANITARY FORCE MAIN               |
| —        | —        | STORM SEWER                       |
| —        | —        | COMBINED SEWER                    |
| —        | —        | WATER MAIN                        |
| —        | —        | OVERHEAD ELECTRIC LINE            |
| —        | —        | OVERHEAD ELECTRIC POLE            |
| —        | —        | UTILITY STRUCTURE WITH CLOSED LID |
| —        | —        | CURB INLET                        |
| —        | —        | DRAINAGE STRUCTURE WITH OPEN LID  |
| —        | —        | FIRE HYDRANT                      |
| —        | —        | VALVE IN VALVE BOX                |
| —        | —        | GATE VALVE IN VALVE VAULT         |
| —        | —        | FLARED END SECTION (F.E.S.)       |
| —        | —        | CONTOUR                           |
| —        | —        | STORMWATER OVERFLOW ROUTE         |
| —        | —        | RIGHT-OF-WAY LINE                 |
| —        | —        | PROPERTY LINE (EXTERIOR)          |
| —        | —        | LOT LINE (INTERIOR)               |
| —        | —        | EASEMENT LINE                     |
| —        | —        | CENTERLINE                        |
| —        | —        | B-6.12 CURB & GUTTER              |

### GRAPHIC SCALE



Engineers  
Scientists  
Surveyors

7325 Janes Avenue, Suite 100  
Woodridge, IL 60517  
630.724.9200 voice  
630.724.0384 fax  
v3co.com

PREPARED FOR:  
**McNaughton Development**  
11S220 S. Jackson, St. 101  
Burr Ridge, IL 60527-6818  
630.325.3400

REVISIONS			REVISIONS		
NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION
1	11-13-24	REVISED PER CITY COMMENTS	7	12-19-25	REVISED PER CITY COMMENTS
2	11-19-24	REVISED PER CITY COMMENTS			
3	1-20-25	REVISED PER CITY COMMENTS			
4	3-19-25	REVISED PER CITY COMMENTS			
5	4-16-25	REVISED PER CITY COMMENTS			
6	11-13-25	REVISED TOWNHOME LOTS FOR PATIOS			

**FINAL PLAT**  
VISTA RIDGE PHASE 1  
A PLANNED UNIT DEVELOPMENT

DRAFTING COMPLETED: 10-07-24  
FIELD WORK COMPLETED: N/A

DRAWN BY: MG  
CHECKED BY: RMW

PROJECT MANAGER: CDB  
SCALE: 1" = 50'

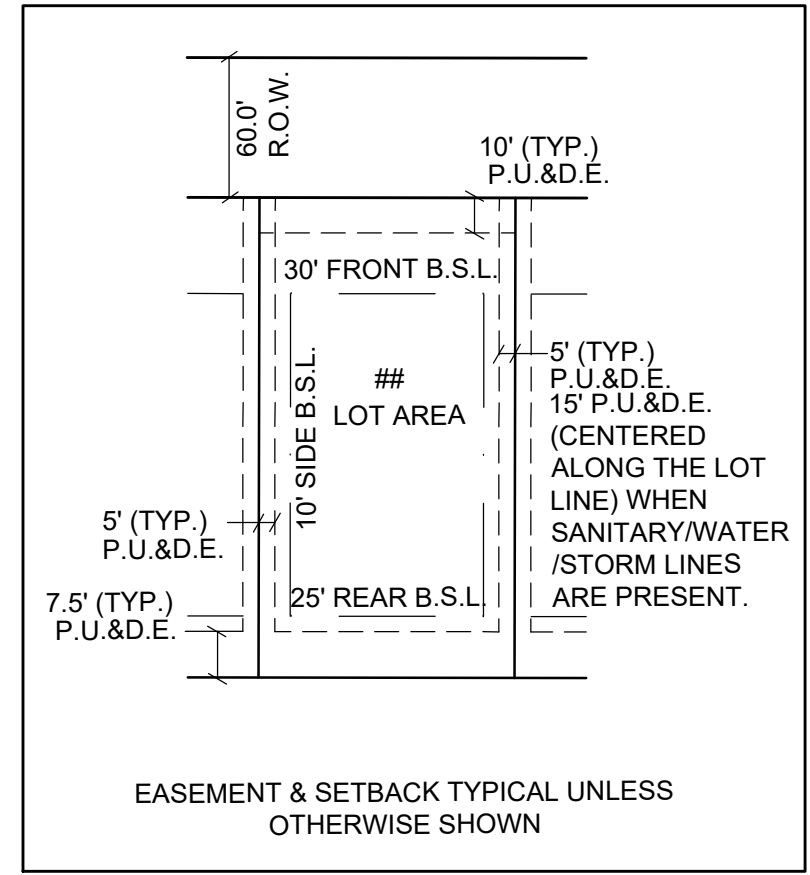
Project No: 241015  
Group No: VP04.7  
SHEET NO. 4 of 6

THIS PLAT IS NOT FOR RECORD

# FINAL PLAT OF VISTA RIDGE PHASE 1 A PLANNED UNIT DEVELOPMENT

PART OF SECTION 26, TOWNSHIP 36 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN THE TOWNSHIP OF NA-AU-SAY, KENDALL COUNTY, ILLINOIS.

TYPICAL LOT DETAIL N.T.S.



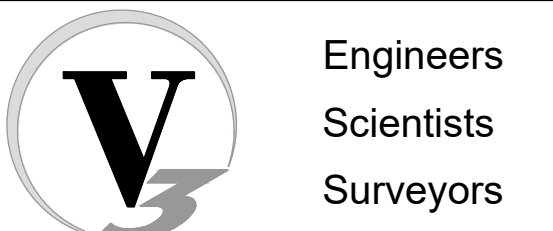
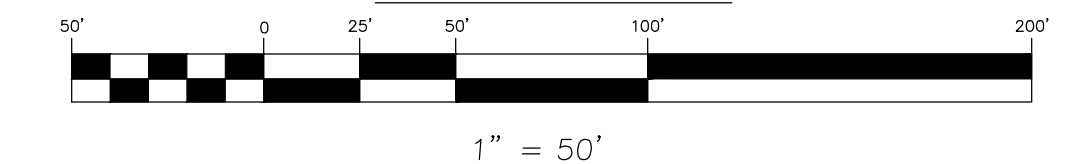
### LEGEND

- SECTION CORNER
- SUBDIVISION BOUNDARY LINE
- UNDERLYING LOT LINE
- EXISTING LOT LINE
- PROPOSED LOT LINE
- EXISTING EASEMENT LINE
- PROPOSED EASEMENT LINE
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- D.E. DRAINAGE EASEMENT
- (0.00') RECORD DATUM
- 0.00' CALCULATED DATUM
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|          |          | STORM SEWER                       |
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|          |          | OVERHEAD ELECTRIC LINE            |
|          |          | OVERHEAD ELECTRIC POLE            |
|          |          | UTILITY STRUCTURE WITH CLOSED LID |
|          |          | CURB INLET                        |
|          |          | DRAINAGE STRUCTURE WITH OPEN LID  |
|          |          | FIRE HYDRANT                      |
|          |          | VALVE IN VALVE BOX                |
|          |          | GATE VALVE IN VALVE VAULT         |
|          |          | FLARED END SECTION (F.E.S.)       |
|          |          | CONTOUR                           |
|          |          | STORMWATER OVERFLOW ROUTE         |
|          |          | RIGHT-OF-WAY LINE                 |
|          |          | PROPERTY LINE (EXTERIOR)          |
|          |          | LOT LINE (INTERIOR)               |
|          |          | EASEMENT LINE                     |
|          |          | CENTERLINE                        |
|          |          | B-6.12 CURB & GUTTER              |

### GRAPHIC SCALE



Engineers  
Scientists  
Surveyors

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PREPARED FOR:  
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REVISIONS		
NO.	DATE	DESCRIPTION
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<b>FINAL PLAT</b>				Project No: 241015
VISTA RIDGE PHASE 1 A PLANNED UNIT DEVELOPMENT				Group No: VP04.7
DRAFTING COMPLETED: 10-07-24	DRAWN BY: MG	PROJECT MANAGER: CDB	SHEET NO. 5 of 6	
FIELD WORK COMPLETED: N/A	CHECKED BY: RMW	SCALE: 1" = 50'		

THIS PLAT IS NOT FOR RECORD

# FINAL PLAT OF VISTA RIDGE PHASE 1 A PLANNED UNIT DEVELOPMENT

PART OF SECTION 26, TOWNSHIP 36 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN THE TOWNSHIP OF NA-AU-SAY, KENDALL COUNTY, ILLINOIS.

## SURVEYORS AUTHORIZATION CERTIFICATE

I, CHRISTOPHER D. BARTOSZ, ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3189, DO HEREBY AUTHORIZE THE CITY OF JOLIET OR THEIR AGENT TO FILE WITH THE KENDALL COUNTY RECORDER'S OFFICE THE RECORD PLAT KNOWN AS VISTA RIDGE PHASE 1, BEING A SUBDIVISION OF PART OF SECTION 26, TOWNSHIP 36 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN THE TOWNSHIP OF NA-AU-SAY, KENDALL COUNTY, ILLINOIS.



CHRISTOPHER D. BARTOSZ  
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3189  
V3 COMPANIES, LTD.

## SURVEYOR'S CERTIFICATE

STATE OF ILLINOIS )  
                                  ) SS  
COUNTY OF DUPAGE )

THIS IS TO CERTIFY THAT I, CHRISTOPHER D. BARTOSZ, ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3189 HAVE SURVEYED AND SUBDIVIDED THE FOLLOWING DESCRIBED PROPERTY:

THAT PART OF THE EAST 60 ACRES OF THE SOUTHWEST 1/4 OF SECTION 26 TOGETHER WITH THAT PART OF THE WEST 60 ACRES OF THE SOUTHWEST 1/4 OF SAID SECTION 26, ALL IN TOWNSHIP 36 NORTH, RANGE 8, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN THE TOWNSHIP OF NA-AU-SAY, KENDALL COUNTY, ILLINOIS, DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF SAID SOUTHWEST 1/4 OF SAID SECTION 26; THENCE SOUTH 01 DEGREES 57 MINUTES 08 SECONDS EAST ALONG THE WEST LINE OF SAID SOUTHWEST 1/4, A DISTANCE OF 463.02 FEET TO THE POINT OF BEGINNING; THENCE NORTH 88 DEGREES 33 MINUTES 06 SECONDS EAST, 45.38 FEET; THENCE SOUTH 01 DEGREES 26 MINUTES 54 SECONDS EAST, 187.74 FEET; THENCE SOUTH 08 DEGREES 32 MINUTES 48 SECONDS EAST, 68.27 FEET; THENCE SOUTH 20 DEGREES 09 MINUTES 40 SECONDS EAST, 89.12 FEET; THENCE SOUTH 28 DEGREES 09 MINUTES 01 SECONDS EAST, 136.47 FEET TO A POINT ON A CURVE; THENCE EASTERLY ALONG THE ARC OF A CURVE CONCAVE SOUTHEASTERLY, HAVING A RADIUS OF 958.00 FEET, A CHORD BEARING OF NORTH 70 DEGREES 19 MINUTES 52 SECONDS EAST 590.93 FEET TO A POINT OF TANGENCY; THENCE NORTH 88 DEGREES 00 MINUTES 07 SECONDS EAST 120.49 FEET; THENCE NORTH 87 DEGREES 21 MINUTES 56 SECONDS EAST 180.01 FEET TO THE EAST LINE OF THE WEST 60 ACRES OF SAID SOUTHWEST QUARTER; THENCE SOUTH 01 DEGREES 57 MINUTES 08 SECONDS EAST ALONG SAID EAST LINE 70.00 FEET; THENCE SOUTH 87 DEGREES 21 MINUTES 56 SECONDS WEST 179.57 FEET; SOUTH 88 DEGREES 00 MINUTES 07 SECONDS WEST 120.88 FEET TO A POINT OF CURVATURE; THENCE WESTERLY, SOUTHWESTERLY, AND SOUTHERLY ALONG THE ARC OF A CURVE CONCAVE SOUTHEASTERLY HAVING A RADIUS OF 888.00 FEET, A CHORD BEARING OF SOUTH 45 DEGREES 37 MINUTES 23 SECONDS WEST, 1313.63 FEET; THENCE SOUTH 86 DEGREES 45 MINUTES 22 SECONDS EAST, 121.85 FEET; THENCE SOUTH 01 DEGREES 57 MINUTES 08 SECONDS EAST, 22.78 FEET; THENCE SOUTH 88 DEGREES 27 MINUTES 25 SECONDS EAST, 126.42 FEET TO A POINT ON A CURVE; THENCE NORTHEASTERLY ALONG THE ARC OF A CURVE CONCAVE EASTERLY, HAVING A RADIUS OF 638.00 FEET, A CHORD BEARING OF NORTH 02 DEGREES 22 MINUTES 28 SECONDS EAST, 18.51 FEET TO A POINT OF NON-TANGENCY; THENCE SOUTH 86 DEGREES 47 MINUTES 39 SECONDS EAST, 185.00 FEET; THENCE SOUTH 06 DEGREES 58 MINUTES 54 SECONDS WEST, 11.81 FEET; THENCE SOUTH 01 DEGREES 57 MINUTES 08 SECONDS EAST, 251.33 FEET; THENCE SOUTH 11 DEGREES 18 MINUTES 51 SECONDS WEST, 111.38 FEET; THENCE SOUTH 28 DEGREES 21 MINUTES 41 SECONDS WEST, 300.20 FEET; THENCE SOUTH 86 DEGREES 27 MINUTES 17 SECONDS WEST, 49.72 FEET TO A POINT ON A CURVE; THENCE SOUTHERLY ALONG THE ARC OF A CURVE CONCAVE WESTERLY, HAVING A RADIUS OF 550.00 FEET, A CHORD BEARING OF SOUTH 12 DEGREES 29 MINUTES 13 SECONDS EAST, 212.30 FEET TO A POINT OF TANGENCY; THENCE SOUTH 01 DEGREES 25 MINUTES 44 SECONDS EAST, 104.98 FEET TO THE NORTH RIGHT OF WAY LINE OF CATON FARM ROAD (COUNTY HIGHWAY 23) PER DEDICATION DEED RECORD NO. 118, DATED JULY 3, 1958 - PAGE 373; THENCE SOUTH 88 DEGREES 37 MINUTES 48 SECONDS WEST ALONG SAID NORTH RIGHT OF WAY LINE, 49.90 FEET; THENCE CONTINUING ALONG SAID NORTH RIGHT OF WAY LINE SOUTH 88 DEGREES 38 MINUTES 14 SECONDS WEST, 989.81 FEET TO THE WEST LINE OF SAID EAST 60 ACRES OF THE SOUTHWEST 1/4 OF SECTION 26; THENCE NORTH 01 DEGREES 57 MINUTES 08 SECONDS WEST ALONG SAID WEST LINE, 1987.50 FEET; THENCE SOUTH 57 DEGREES 14 MINUTES 51 SECONDS EAST, 94.29 FEET; THENCE NORTH 32 DEGREES 45 MINUTES 09 SECONDS EAST, 120.00 FEET TO A POINT ON A CURVE; THENCE EASTERLY ALONG THE ARC OF A CURVE CONCAVE TO THE NORTH, HAVING A RADIUS OF 60.00 FEET, HAVING A CHORD BEARING OF SOUTH 88 DEGREES 49 MINUTES 54 SECONDS EAST, 66.15 FEET TO A POINT OF NON-TANGENCY; THENCE SOUTH 30 DEGREES 24 MINUTES 58 SECONDS EAST, 77.16 FEET; THENCE NORTH 88 DEGREES 33 MINUTES 06 SECONDS EAST, 185.99 FEET; THENCE NORTH 01 DEGREES 26 MINUTES 54 SECONDS WEST, 180.00 FEET; THENCE NORTH 88 DEGREES 33 MINUTES 06 SECONDS EAST, 556.28 FEET TO THE PLACE OF BEGINNING.

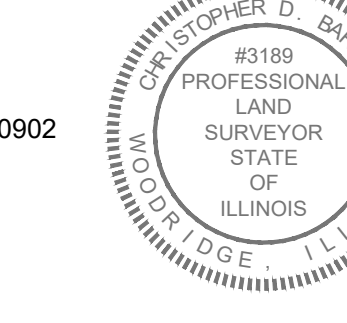
I FURTHER CERTIFY THAT THIS LAND IS WITHIN THE CORPORATE LIMITS OF A MUNICIPALITY WHICH HAS AUTHORIZED A COMPREHENSIVE PLAN AND IS EXERCISING THE SPECIAL POWERS AUTHORIZED BY DIVISION 12 OF ARTICLE 11 OF THE ILLINOIS MUNICIPAL CODE, AS NOW OR HEREAFTER AMENDED.

I FURTHER CERTIFY THAT THE ANNEXED PLAT IS A CORRECT REPRESENTATION OF SAID SURVEY AND SUBDIVISION. ALL DISTANCES ARE SHOWN IN FEET AND DECIMALS THEREOF. PERMANENT MONUMENTS WILL BE SET AT ALL LOT CORNERS AND CHANGES OF DIRECTION, EXCEPT WHERE CONCRETE MONUMENTS ARE INDICATED.

I FURTHER CERTIFY THAT THE ABOVE DESCRIBED PROPERTY IS IN AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN (ZONE X) AS DEFINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP OF KENDALL COUNTY, ILLINOIS & INCORPORATED AREAS (COMMUNITY PANEL NO. 17093C0135H) EFFECTIVE DATE 1/8/2014.

DATED THIS \_\_\_ DAY OF \_\_\_\_\_, A.D., 20\_\_.

CHRISTOPHER D. BARTOSZ  
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 35-3189  
MY LICENSE EXPIRES ON NOVEMBER 30, 2026.  
V3 COMPANIES, LTD. PROFESSIONAL DESIGN FIRM NO. 184000902  
THIS DESIGN FIRM NUMBER EXPIRES APRIL 30, 2025.  
cdartosz@v3co.com



Parcel Table		Parcel Table		Parcel Table		Parcel Table		Parcel Table	
Parcel #	Area	Parcel #	Area	Parcel #	Area	Parcel #	Area	Parcel #	Area
1	12944 SF	21	7500 SF	41	7854 SF	61	10057 SF	81	6380 SF
2	10030 SF	22	7500 SF	42	7854 SF	62	15049 SF	82	5220 SF
3	9377 SF	23	7559 SF	43	8346 SF	63	9862 SF	83	6380 SF
4	9541 SF	24	7808 SF	44	8540 SF	64	11100 SF	84	5220 SF
5	9929 SF	25	9156 SF	45	8533 SF	65	9558 SF	85	6380 SF
6	8750 SF	26	11963 SF	46	9217 SF	66	8438 SF	86	5220 SF
7	9446 SF	27	10659 SF	47	12488 SF	67	8400 SF	339*	62962 SF
8	9023 SF	28	8985 SF	48	8365 SF	68	8400 SF	340*	58695 SF
9	12993 SF	29	9644 SF	49	8217 SF	69	8520 SF	341*	138296 SF
10	8040 SF	30	11795 SF	50	7809 SF	70	5220 SF	342*	491598 SF
11	8040 SF	31	10428 SF	51	7616 SF	71	6380 SF	343*	45648 SF
12	8040 SF	32	9393 SF	52	7616 SF	72	5220 SF	344*	97779 SF
13	8040 SF	33	9117 SF	53	8632 SF	73	6380 SF	345*	44132 SF
14	8040 SF	34	14599 SF	54	8068 SF	74	5220 SF	346*	8401 SF
15	8040 SF	35	10413 SF	55	8707 SF	75	6380 SF		
16	8400 SF	36	10567 SF	56	9804 SF	76	5220 SF		
17	7500 SF	37	10318 SF	57	10164 SF	77	6380 SF		
18	7500 SF	38	7964 SF	58	9733 SF	78	5220 SF		
19	7500 SF	39	11117 SF	59	7625 SF	79	6380 SF		
20	7500 SF	40	7854 SF	60	8750 SF	80	5220 SF		

AVERAGE SINGLE FAMILY LOT AREA = 9222.23 SF  
AVERAGE MULTIFAMILY LOT AREA = 5765.88 SF  
\* EXCLUDES OUTLOTS 339-346

TOTAL SINGLE FAMILY LOTS = 86  
TOTAL OUTLOTS = 8

### VEHICULAR ACCESS EASEMENT PROVISIONS

AN EASEMENT IS HEREBY GRANTED TO THE OWNERS OF ANY PARTS OF LOTS 70 THRU 86, THEIR SUCCESSORS AND ASSIGNS, AN EXCLUSIVE, PERPETUAL EASEMENT OVER AND ACROSS THE PROPERTY NOTED ON THIS PLAT AS "VEHICULAR ACCESS EASEMENT" FOR THE PURPOSE OF PROVIDING VEHICULAR INGRESS TO, EGRESS FROM, AND ACCESS BETWEEN LOTS 70 THRU 86 AND ADJACENT PUBLIC ROADS. THE GRANTEE MAY CONSTRUCT OR IMPROVE SAID DRIVEWAYS FROM TIME TO TIME AT GRANTEE'S SOLE COST AND EXPENSE. THIS EASEMENT SHALL BE BINDING ON THE PARTIES, THEIR SUCCESSORS, AND ASSIGNS, AND SHALL RUN WITH THE LAND.

### STORMWATER MANAGEMENT EASEMENT PROVISIONS

A PERPETUAL EASEMENT IS HEREBY GRANTED FOR THE BENEFIT OF THE CITY OF JOLIET, ITS AGENTS, SUCCESSORS AND ASSIGNS OVER, UPON AND ACROSS LOT 342 - STORMWATER OUTLOT AND ACCESS TO ALL FACILITIES NECESSARY FOR THE MANAGEMENT OF STORMWATER ON THE PLAT OF SUBDIVISION FOR THE PURPOSE OF INSPECTING SUCH AREAS, IN THE EVENT THAT THE ASSOCIATION DOES NOT ADEQUATELY MAINTAIN THE FACILITIES TO THE CITY STANDARDS, THE CITY OF JOLIET SHALL GIVE FOURTEEN (14) DAYS WRITTEN NOTICE OF SUCH FAILURE AND SAID NOTICE SHALL INDICATE WHEN THE CITY WILL EXERCISE ITS RIGHT TO REPAIR THE FAULTY PORTION OF THE FACILITIES. IF THE CITY IS REQUIRED TO MAKE REPAIRS, IT SHALL BE ENTITLED TO REIMBURSEMENTS BY THE RESIDENTIAL ASSOCIATION. WRITTEN NOTICE BY THE CITY OF THE INTENT TO REPAIR SHALL NOT BE REQUIRED IF IN THE OPINION OF THE CITY AN EMERGENCY REQUIRING IMMEDIATE ACTION IS REQUIRED, IN THE EXERCISE OF ITS RIGHTS HEREUNDER, THE CITY OF JOLIET SHALL NOT BE DEEMED GUILTY OF ANY MANNER OF TRESPASS.

### PUBLIC UTILITIES AND DRAINAGE EASEMENT PROVISIONS

EASEMENTS ARE HEREBY RESERVED FOR AND GRANTED TO THE CITY OF JOLIET, ILLINOIS ("CITY") AND TO THOSE PUBLIC UTILITY COMPANIES OPERATING UNDER FRANCHISE OR CONTRACT WITH THE CITY, OR OTHERWISE AUTHORIZED BY THE CITY, INCLUDING BUT NOT LIMITED TO ILLINOIS BELL TELEPHONE COMPANY DBA AT&T ILLINOIS, NICOR GAS COMPANY, COMMONWEALTH EDISON COMPANY, COMCAST, AND THEIR SUCCESSORS AND ASSIGNS, OVER, UPON, UNDER AND THROUGH ALL OF THE AREAS MARKED "PUBLIC UTILITIES AND DRAINAGE EASEMENT" OR "P.U. & D.E." OR "D.U.E." ON THE PLAT FOR THE PERPETUAL, RIGHT, PRIVILEGE AND AUTHORITY TO INSTALL, SURVEY, CONSTRUCT, RECONSTRUCT, REPAIR, REMOVE, INSPECT, MAINTAIN AND OPERATE VARIOUS UTILITY TRANSMISSION AND DISTRIBUTION SYSTEMS, AND INCLUDING OVERLAND DRAINAGE, STORM AND/OR SANITARY SEWERS, TOGETHER WITH ANY AND ALL NECESSARY MANHOLES, CATCHBASINS, CONNECTIONS, APPLIANCES AND OTHER STRUCTURES AND APPURTENANCES AS MAY BE DEEMED NECESSARY BY SAID CITY AND/OR UTILITY COMPANIES, OVER, UPON, ALONG, UNDER AND THROUGH SAID INDICATED EASEMENTS, TOGETHER WITH THE RIGHT OF ACCESS ACROSS THE PROPERTY FOR NECESSARY PERSONNEL AND EQUIPMENT TO DO ANY OF THE ABOVE WORK. THE RIGHT IS ALSO GRANTED TO TRIM OR REMOVE ANY TREES, SHRUBS OR OTHER PLANTS WITHOUT NEED FOR PROVIDING COMPENSATION THEREFORE ON THE EASEMENT THAT INTERFERE WITH THE OPERATION OF THE SEWERS OR OTHER UTILITIES. NO PERMANENT BUILDINGS SHALL BE PLACED ON SAID EASEMENTS, BUT SAME MAY BE USED FOR GARDENS, SHRUBS, LANDSCAPING AND OTHER PURPOSES THAT DO NOT THEN OR LATER INTERFERE WITH THE AFORESAID USES OR RIGHTS. WHERE AN EASEMENT IS USED BOTH FOR CITY (WATER, SANITARY SEWERS, STORM, ETC.) AND OTHER UTILITIES, THE OTHER UTILITY INSTALLATION SHALL BE SUBJECT TO THE ORDINANCES OF THE CITY OF JOLIET.

EASEMENTS ARE HEREBY RESERVED AND GRANTED TO THE CITY OF JOLIET AND OTHER GOVERNMENTAL AUTHORITIES HAVING JURISDICTION OF THE LAND SUBDIVIDED HEREBY, OVER THE ENTIRE EASEMENT AREA FOR INGRESS, EGRESS AND THE PERFORMANCE OF MUNICIPAL AND OTHER GOVERNMENTAL SERVICES, INCLUDING BUT NOT LIMITED TO, WATER, STORM AND SANITARY SEWER SERVICE AND MAINTENANCE. THERE IS HEREBY RESERVED FOR AND GRANTED TO THE CITY AN EASEMENT FOR RIGHT OF ACCESS ON, OVER, ALONG AND ACROSS THE PROPERTY DESCRIBED HEREIN FOR THE LIMITED PURPOSE OF READING, EXAMINING, INSPECTING, INSTALLING, OPERATING, MAINTAINING, EXCHANGING, REMOVING, REPAIRING, TESTING, AND/OR REPLACING CITY OWNED UTILITY EQUIPMENT AND METERS WHICH SERVE SAID PROPERTY, INCLUDING NECESSARY PERSONNEL AND EQUIPMENT TO DO ANY OF THE ABOVE WORK.

### NOTES

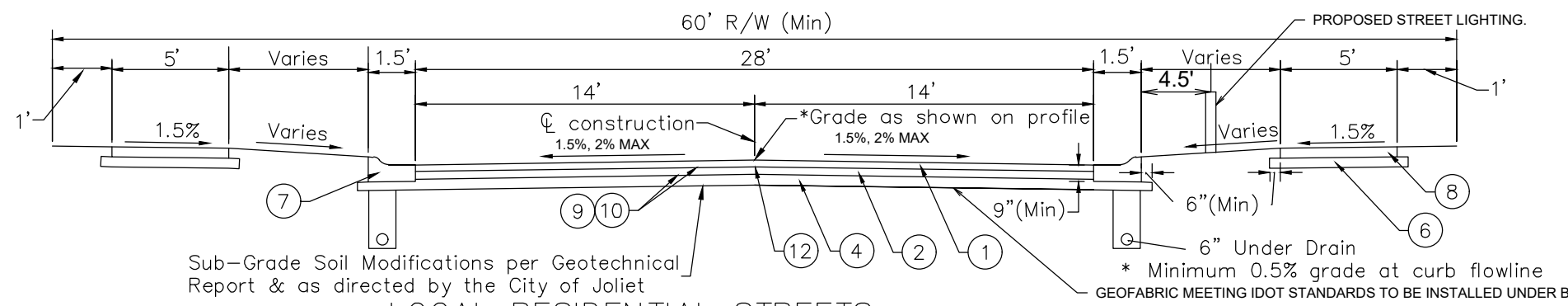
- The right of way widths, pavement widths, and pavement thicknesses indicated on this sheet are minimums required by the City of Joliet. Greater dimensions may be provided and the City of Joliet may require greater dimensions as determined by the City. The developer/contractor shall review the plat and the plans to confirm the various widths indicated on this sheet and shall report any discrepancy to the City prior to proceeding with construction.
- The location of proposed utilities as indicated hereon are based upon the experience of the City of Joliet and are so indicated to ensure the orderly development of the land. Strict adherence to the indicated location is required. Requests to change the location of the proposed utilities shall be submitted in writing to the City of Joliet. Utilities not meeting these requirements shall be removed and replaced as directed by the City of Joliet.
- Arterial street and divided arterial streets are to be coordinated with the City of Joliet.
- Local residential streets require only stop bars and crosswalk markings. Markings shall be thermoplastic in accordance with IDOT Standard Specifications. Refer to such drawings covering pavement markings, street signs and traffic control signs. A plan of proposed pavement markings shall be submitted to the City of Joliet for approval.
- Vertical curves shall be provided with algebraic differences of 1.2% or greater and meet the following: minimum length of 100 feet, minimum K value of 25.
- Minimum curb radius at the intersection of two local streets shall be twenty (20') feet and the minimum curb radius at an intersection not involving local streets shall be twenty-five (25') feet.
- The cross slope on all streets, including intersections, shall be two (2%) percent or less.
- Subbase and subgrade shall be tested in accordance with the Standard Specifications. Compaction testing shall be at the developer/contractor's expense and shall be performed by an independent laboratory. Test results shall be submitted to the City prior to placing any material on the subbase/subgrade. Once in place density test shall be completed for each lift according to the Standard Specifications.
- Adequacy of subgrade shall be determined solely by the City based on a contractor performed proof roll with a fully loaded tri axle dump truck.
- The contractor shall submit a detailed paving plan to the City. The paving plan shall show the location and type of jointing to be used in the construction. The location and type of jointing shall meet the requirements of the IDOT Standard Specifications.
- Hot-Mix Asphalt & Portland Cement Concrete shall be tested in accordance with the Standard Specifications. Testing shall be at the developer/contractor's expense and shall be performed by an independent laboratory. Test results shall be submitted to the City for review. All existing practice and procedures shall meet IDOT QA/QC requirements.
- Mix designs shall be submitted to the City for approval prior to construction of pavement. Chemical modification of soils per IDOT Standard Specifications shall be performed at the direction of the City of Joliet and be completed to a minimum depth of 14 inches. The mix design shall be determined in accordance with IDOT design procedures for soil modification or stabilization. The proposed design and construction procedure shall be submitted to the City. Unsatisfactory soil modifications, as determined by the City, may require an increase in depth of the aggregate base or binder. Geogrid may be used in lieu of, or in conjunction with, the chemical modification of soils, as directed by the City.
- Minor arterials, arterials, and major arterials cross sections shall be determined by the IDOT pavement design manual and be approved by the Director of Public Works.
- All streets constructed, reconstructed, paved, or overlaid (including asphalt, chip seal, slurry seal, or similar process/material) by City forces, under City contract, or under permit shall be accompanied by a warranty bond for a period of three (3) years upon acceptance of the improvements.
- All streets constructed, reconstructed, paved, or overlaid (including asphalt, chip seal, slurry seal, or similar process/material) by City forces, under City contract, or under permit shall not thereafter be cut or opened for a period of ten years for construction/reconstruction and five years for overlays. If a street is to be opened during the moratorium period, the applicant will be subject to additional paving requirements as determined by the Director of Public Works.
- Curb flag shall be 9 inches minimum or match pavement thickness, whichever is greater.

### PAVEMENT LEGEND

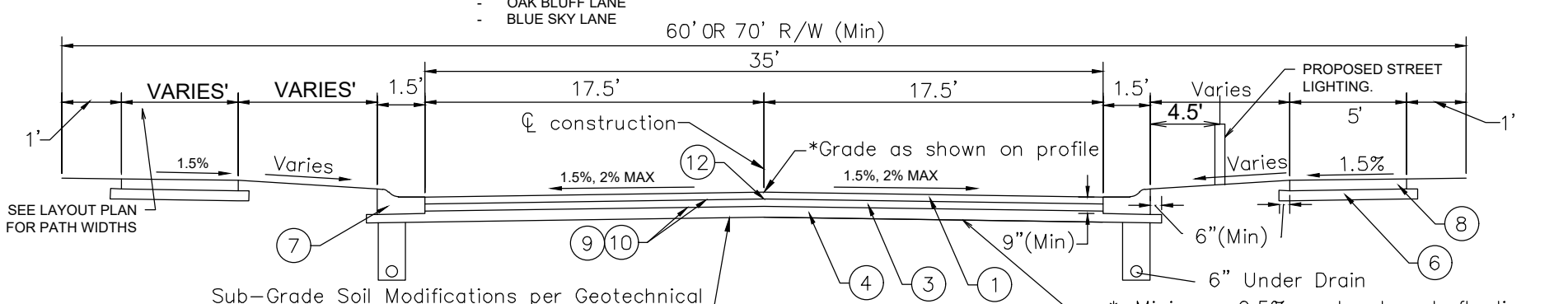
- 1 Hot-Mix Asphalt, Surface Course, IL-9.5, Mix "D", N50, 1.5"
- 2 Hot-Mix Asphalt, Binder Course, IL-19.0, N50, 2.5"
- 3 Hot-Mix Asphalt, Binder Course, IL-19.0, N50, 4"
- 4 Sub-Base Granular Material, Type B, CA-06, 10"
- 5 Sub-Base Granular Material, Type B, CA-06, 6"
- 6 Sub-Base Granular Material, Type B, CA-06, 4"
- 7 Combination Concrete Curb & Gutter, Type B6.12 / M3.12
- 8 Portland Cement Concrete Sidewalk, 5" Thick
- 9 Bituminous Material Prime Coat
- 10 Aggregate Prime Coat
- 11 Strip Reflective Crack Control Treatment (as required)
- 12 Longitudinal Joint Sealant (LJS)

HOT-MIX ASPHALT MIXTURE REQUIREMENTS	
MIXTURE TYPE	AIR VOIDS @ N50s
FLEXIBLE DEPTH PAVEMENT	
HOT-MIX ASPHALT SURFACE COURSE, MIX "D", N50 (IL-9.5mm) 1.5"	4% @ 50 Gyr
HOT-MIX ASPHALT BINDER COURSE, IL-19.0, N50 2.5"	4% @ 50 Gyr
HOT-MIX ASPHALT BINDER COURSE, IL-19.0, N50 4"	4% @ 50 Gyr
DRIVEWAYS	
HOT-MIX ASPHALT SURFACE COURSE, MIX "D", N50 (IL-9.5mm)	4% @ 50 Gyr

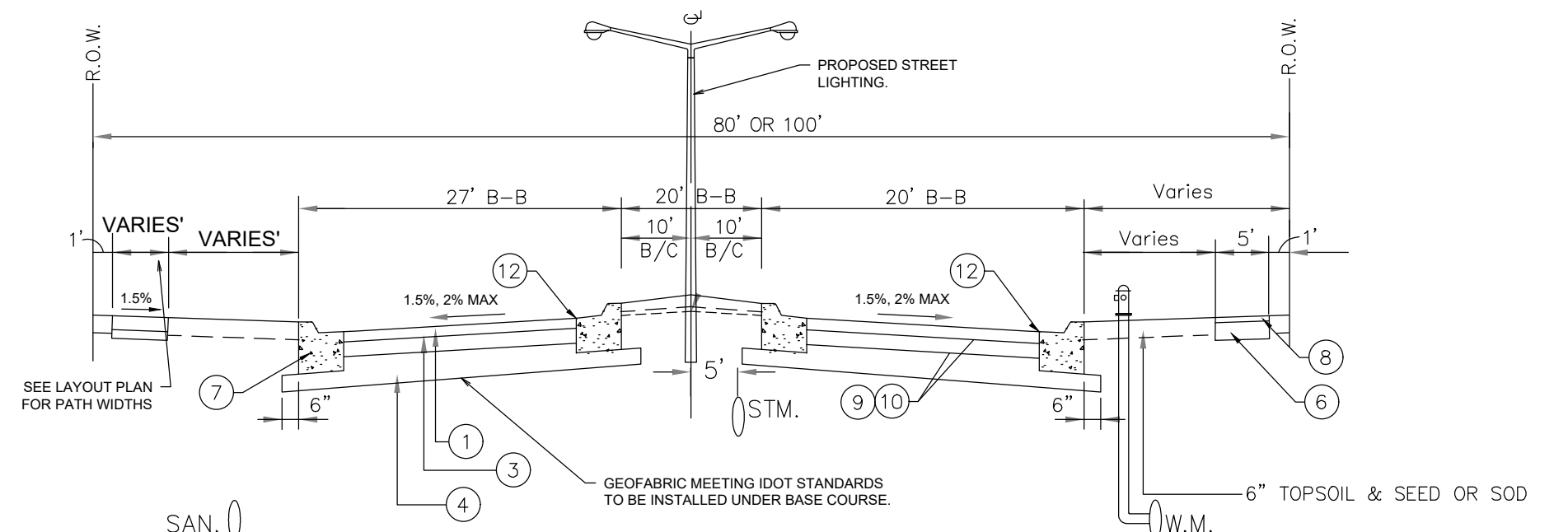
THE WEIGHT USED TO CALCULATE ALL HMA SURFACE MIXTURE QUANTITIES IS 112 LBS/CC YDIN.  
THE "AC" TYPE FOR POLYMERIZED HMA MIXES SHALL BE "BBS-6BR P070-22" AND FOR NON-POLYMERIZED HMA THE "AC" TYPE SHALL BE "P0-64-22" UNLESS MODIFIED BY DISTRICT ONE.  
SPECIAL PROVISIONS FOR "PERCENT OF RAP" SEE IDOT DISTRICT ONE SPECIAL PROVISIONS.



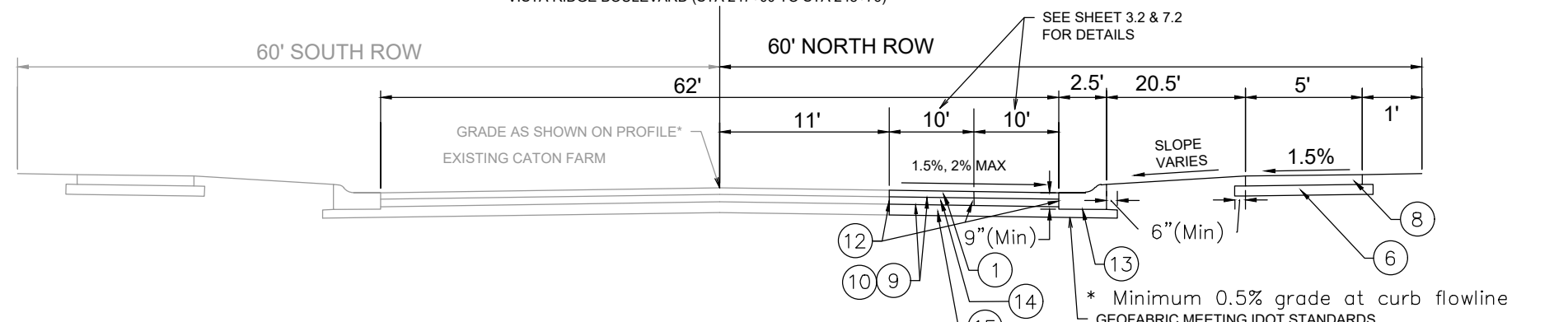
LOCAL RESIDENTIAL STREETS - Not to scale.



COLLECTOR STREETS - Not to scale.



LOCAL COLLECTOR - PARKWAY SECTION N.T.S.



CATON FARM TYPICAL SECTION- NOT TO SCALE

**V** Engineers  
Scientists  
Surveyors  
7325 Janes Avenue, Suite 100  
Woodridge, IL 60517  
630.724.9200 voice  
630.724.0384 fax  
v3co.com

PREPARED FOR:  
**McNaughton Development**  
11S220 S. Jackson, St. 101  
Burr Ridge, IL 60527-6818  
630.325.3400

NO.		DATE		DESCRIPTION		REVISIONS		DESCRIPTION	
1	11-13-24	REVISED PER CITY COMMENTS	7	12-19-25	REVISED PER CITY COMMENTS				
2	11-19-24	REVISED PER CITY COMMENTS							
3	1-20-25	REVISED PER CITY COMMENTS							
4	3-19-25	REVISED PER CITY COMMENTS							
5	4-16-25	REVISED PER CITY COMMENTS							
6	11-13-25	REVISED TOWNHOME LOTS FOR PATIOS							

## FINAL PLAT

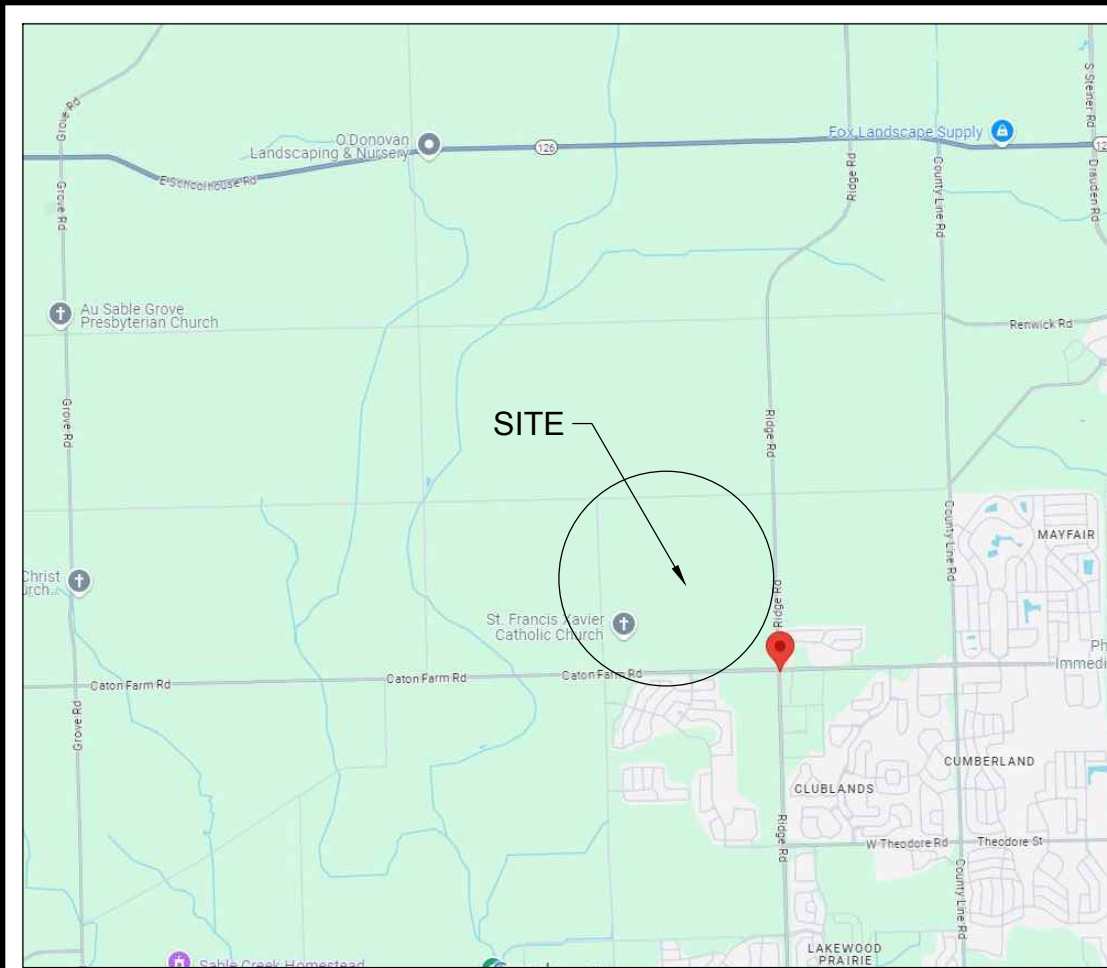
VISTA RIDGE PHASE 1  
A PLANNED UNIT DEVELOPMENT

DRAFTING COMPLETED: 10-07-24  
FIELD WORK COMPLETED: N/A  
DRAWN BY: MG  
CHECKED BY: RMW  
PROJECT MANAGER: CDB  
SCALE: 1" = N/A

Project No: 241015

Group No: VP04.7

SHEET NO. 6 of 6



**BASIS OF BEARINGS**  
 THE BASIS OF BEARINGS IS THE STATE PLANE COORDINATE SYSTEM (SPCS) NAD 83 (2011) ZONE 1201 (ILLINOIS EAST) WITH PROJECT ORIGIN AT LATITUDE: 41-33-52.32432 N LONGITUDE: 88-17-04.93388 W ELLIPSOIDAL HEIGHT: 549.261 SFT GROUND SCALE FACTOR: 1.0000510085 GEOID 18US ALL MEASUREMENTS ARE ON THE GROUND.

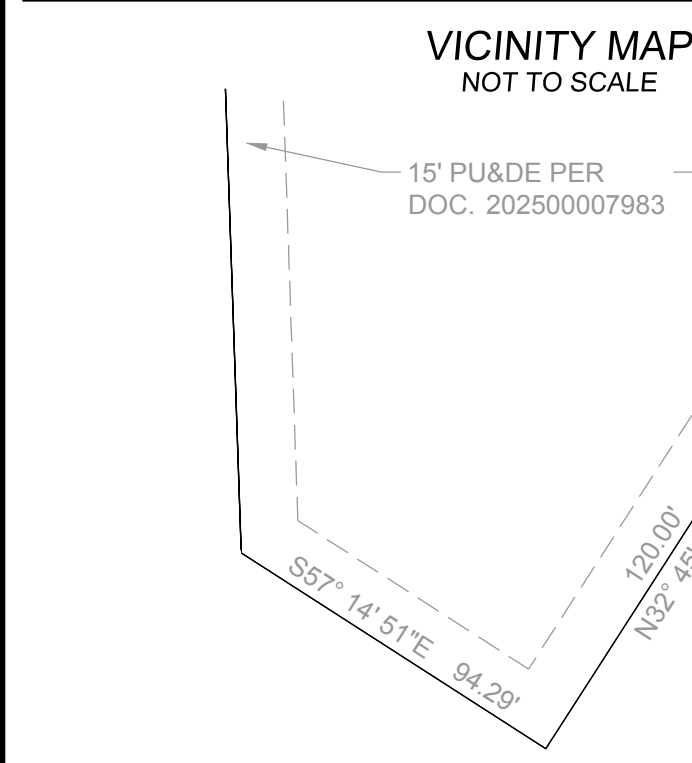
**GRAPHIC SCALE**  
 1" = 50'

# PLAT OF EASEMENT VACATION OF VISTA RIDGE PHASE 1, A PLANNED UNIT DEVELOPMENT

PART OF SECTION 26, TOWNSHIP 36 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN THE TOWNSHIP OF NA-AU-SAY, KENDALL COUNTY, ILLINOIS.

**P.I.N.'S**

06-26-347-003	06-26-348-001	06-26-349-001
06-26-347-004	06-26-348-002	06-26-349-002
06-26-347-005	06-26-348-003	06-26-349-003
06-26-347-006	06-26-348-004	06-26-349-004
06-26-347-007	06-26-348-005	
06-26-347-008	06-26-348-006	
	06-26-348-007	
	06-26-348-008	
	06-26-348-009	
	06-26-348-010	



**OWNER / DEVELOPER**  
 Vista Ridge Investment, LLC  
 11S220 S. Jackson, St.  
 Burr Ridge, IL 60527-6818  
 630.325.3400

**ENGINEER/SURVEYOR**  
 V3 Companies, Ltd.  
 7325 Janes Avenue, Suite 100  
 Woodridge, Illinois 60517  
 630.724.9200

VISTA RIDGE PHASE 1  
 DOC. 202500007980  
 REC. 06/30/25

342  
 STORMWATER  
 MANAGEMENT  
 EASEMENT  
 HERETOFORE GRANTED  
 PER DOC. 202500007980  
 REC. 06/30/25

12' HATCHED PORTION OF PU&DE HERETOFORE GRANTED PER DOC. 202500007980 HEREBY VACATED (TYPICAL)



**PLAN COMMISSION CERTIFICATE**

STATE OF ILLINOIS )  
 ) SS  
 COUNTY OF WILL )  
 APPROVED BY THE PLAN COMMISSION OF THE CITY OF JOLIET, WILL COUNTY, ILLINOIS  
 THIS \_\_\_ DAY OF \_\_\_\_\_, A.D., 20\_\_  
 \_\_\_\_\_  
 CHAIRMAN OF THE PLAN COMMISSION  
 \_\_\_\_\_  
 SECRETARY

**EASEMENT RELEASE- APPROVED AND ACCEPTED**

ILLINOIS BELL  
 BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
 TITLE: \_\_\_\_\_  
 COMMONWEALTH EDISON COMPANY  
 BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
 TITLE: \_\_\_\_\_  
 COMCAST  
 BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
 TITLE: \_\_\_\_\_  
 NICOR GAS  
 BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
 TITLE: \_\_\_\_\_

**CITY COUNCIL CERTIFICATE**

STATE OF ILLINOIS )  
 ) SS  
 COUNTY OF WILL )  
 APPROVED AND ACCEPTED BY THE MAYOR AND THE CITY COUNCIL OF THE CITY OF JOLIET, ILLINOIS, AT A MEETING HELD THE \_\_\_ DAY OF \_\_\_\_\_, A.D., 20\_\_  
 APPROVED BY ORDINANCE NO. \_\_\_\_\_  
 \_\_\_\_\_  
 MAYOR  
 \_\_\_\_\_  
 CITY CLERK

**RECORDER'S CERTIFICATE**

STATE OF ILLINOIS )  
 ) SS  
 COUNTY OF KENDALL )  
 THIS INSTRUMENT NO. \_\_\_\_\_ WAS FILED FOR RECORD IN THE RECORDER'S OFFICE OF KENDALL COUNTY, ILLINOIS, ON THIS \_\_\_ DAY OF \_\_\_\_\_, 20\_\_ AT \_\_\_ O'CLOCK \_\_\_ M.  
 \_\_\_\_\_  
 KENDALL COUNTY RECORDER

**OWNER'S CERTIFICATE**

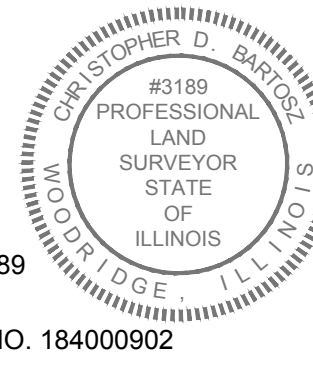
STATE OF ILLINOIS )  
 ) SS  
 COUNTY OF \_\_\_\_\_ )  
 THIS IS TO CERTIFY THAT THE UNDERSIGNED IS THE OWNER OF THE LAND DESCRIBED IN THE ATTACHED PLAT AND THEY HAVE CAUSED THE SAME TO BE PLATTED AS SHOWN BY THE PLAT FOR USES AND PURPOSES AS INDICATED THEREIN, AND DOES HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE STYLE AND TITLE THEREON INDICATED.  
 DATED THIS \_\_\_ DAY OF \_\_\_\_\_, A.D., 20\_\_  
 \_\_\_\_\_  
 OWNER NAME (PRINT)                      OWNER NAME (SIGNATURE)

**OWNER'S NOTARY CERTIFICATE**

STATE OF ILLINOIS )  
 ) SS  
 COUNTY OF \_\_\_\_\_ )  
 I, \_\_\_\_\_, A NOTARY PUBLIC IN AND FOR SAID COUNTY IN THE STATE AFORESAID, DO HEREBY CERTIFY THAT \_\_\_\_\_ PERSONALLY KNOWN TO ME TO BE THE SAME PERSON(S) WHOSE NAME(S) IS/ARE SUBSCRIBED TO THIS SUBDIVISION PLAT AS SUCH OWNER(S), APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT HE/SHE/THEY SIGNED THIS SUBDIVISION PLAT AS THEIR OWN FREE AND VOLUNTARY ACT FOR THE USES AND PURPOSES THEREIN SET FORTH.  
 GIVEN UNDER MY HAND AND SEAL THIS \_\_\_ DAY OF \_\_\_\_\_, 20\_\_  
 \_\_\_\_\_  
 NOTARY PUBLIC  
 MY COMMISSION EXPIRES: \_\_\_\_\_

**SURVEYOR'S CERTIFICATE**

STATE OF ILLINOIS )  
 ) SS  
 COUNTY OF DUPAGE )  
 I, CHRISTOPHER D. BARTOSZ, ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3189 DO HEREBY CERTIFY THAT THE PLAT HEREON DRAWN WAS PREPARED AT AND UNDER MY DIRECTION.  
 DATED THIS 6TH DAY OF MARCH, A.D., 2026.  
 \_\_\_\_\_  
 CHRISTOPHER D. BARTOSZ  
 ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 35-3189  
 MY LICENSE EXPIRES ON NOVEMBER 30, 2026.  
 V3 COMPANIES, LTD. PROFESSIONAL DESIGN FIRM NO. 184000902  
 THIS DESIGN FIRM NUMBER EXPIRES APRIL 30, 2027.  
 cdbartosz@v3co.com



**LEGEND**

- |  |                                    |  |                    |
|--|------------------------------------|--|--------------------|
|  | SECTION CORNER                     |  | SANITARY SEWER     |
|  | SUBDIVISION BOUNDARY LINE          |  | STORM SEWER        |
|  | LOT LINE PER DOC. 202500007980     |  | HEADWALL           |
|  | EXISTING LOT LINE                  |  | CURB INLET         |
|  | PROPOSED LOT LINE                  |  | STORM INLET        |
|  | EXISTING EASEMENT LINE             |  | STORM MANHOLE      |
|  | PROPOSED EASEMENT LINE             |  | FLARED END SECTION |
|  | BUILDING SETBACK LINE              |  | SANITARY MANHOLE   |
|  | SECTION LINE                       |  | HYDRANT            |
|  | PUBLIC UTILITY & DRAINAGE EASEMENT |  | WATER VALVE        |
|  | FOUND IRON PIPE W/SIZE             |  | WATER VALVE VAULT  |

- N NORTH  
 S SOUTH  
 E EAST  
 W WEST  
 CB CHORD BEARING  
 A ARC LENGTH  
 R RADIUS

**NOTES**

- ALL MEASUREMENTS AND DISTANCES ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF. ARC DISTANCES ARE ALONG ALL CURVES.
- THE GEOMETRY SHOWN HEREON WAS TAKEN FROM THE RECORD PLAT OF VISTA RIDGE PHASE 1 RESUBDIVISION.



Engineers  
 Scientists  
 Surveyors

7325 Janes Avenue, Suite 100  
 Woodridge, IL 60517  
 630.724.9200 voice  
 630.724.0384 fax  
 v3co.com

PREPARED FOR:  
 Ryan Homes  
 850 East Diehl Road, Suite 120  
 Naperville, IL 60563  
 630.325.3400

NO.		DATE		DESCRIPTION	
1	03-20-26	REVISED PER CITY COMMENTS			

**PLAT OF EASEMENT VACATION**  
 VISTA RIDGE PHASE 1, A PLANNED UNIT DEVELOPMENT

DRAFTING COMPLETED: 03-06-26    DRAWN BY: CDB    PROJECT MANAGER: CDB  
 FIELD WORK COMPLETED: N/A    CHECKED BY: CDB    SCALE: 1" = 50'

Project No: 241015.RYAN  
 Group No: VP10.1  
 SHEET NO. 1 of 1

2/20/24 10:54:10 AM R:\AN\Drawings\ACAD\GIS\VP10.1\241015.RYAN.L1.dwg, 3/31/2026 2:16:09 PM, cdbartosz

**NOTICE OF PUBLIC MEETING**  
**CITY OF JOLIET, IL.**

DATE/TIME: Thursday, May 21, 2026 at 4:00 p.m.

LOCATION: City Hall Council Chambers  
150 W. Jefferson St., Joliet

DESCRIPTION OF REQUEST: PUD-5-26:  
AMENDMENT TO THE FINAL PLAT OF VISTA RIDGE  
PHASE 1 PLANNED UNIT DEVELOPMENT.  
V-3-26: APPROVAL OF A VACATION OF A PUBLIC  
UTILITY AND DRAINAGE EASEMENT FOR VISTA  
RIDGE PHASE 1 PLANNED UNIT DEVELOPMENT.

FOR MORE INFORMATION CALL: 815-724-4040 or  
815-724-4050

COMMUNITY DEVELOPMENT DEPARTMENT  
CITY OF JOLIET

**AVISO DE AUDIENCIA PÚBLICA**  
**CIUDAD DE JOLIET, IL.**

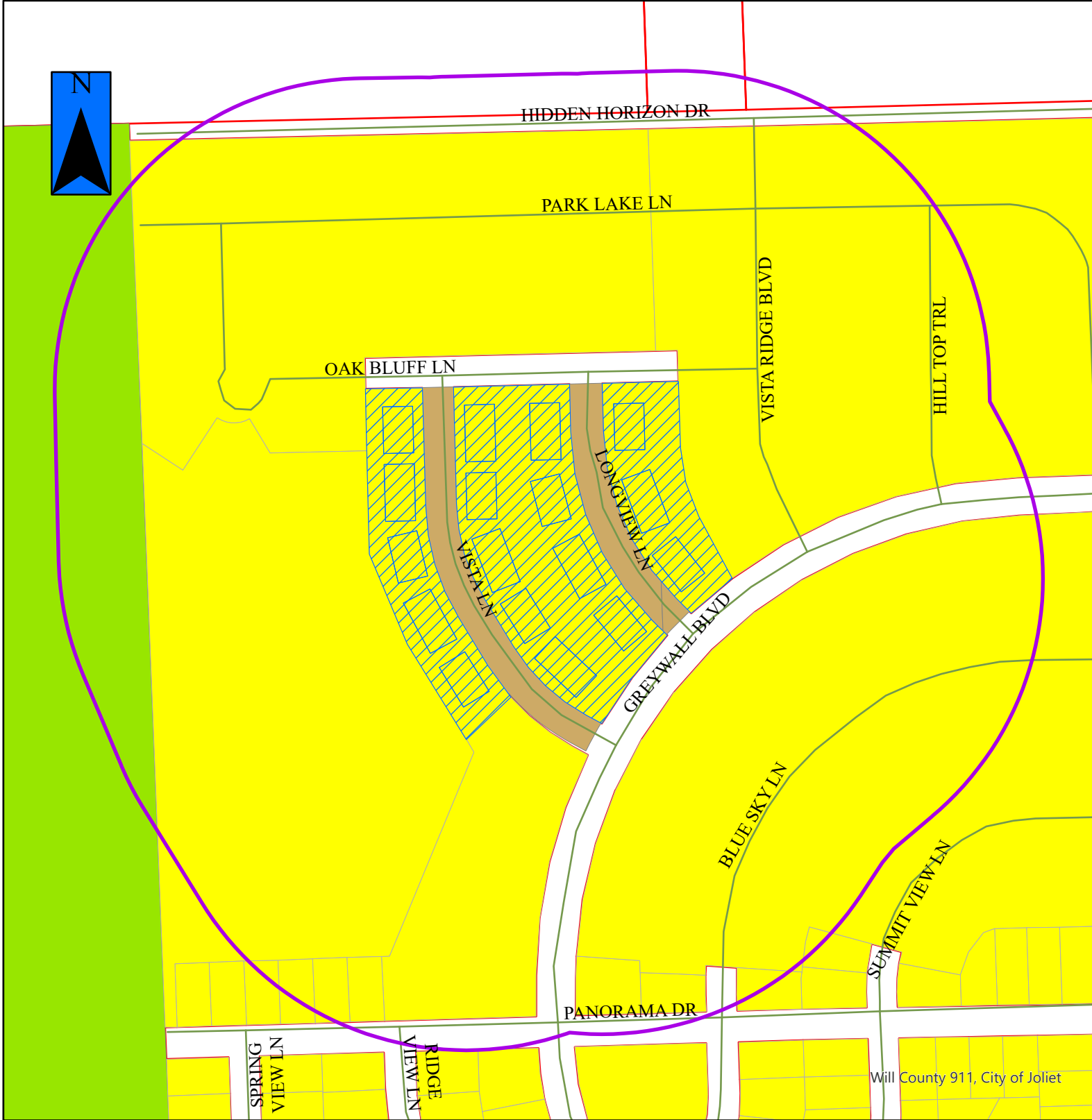
FECHA/HORA: Jueves, 21 de mayo de 2026, a las 4:00 p.m.

UBICACIÓN: Cámaras del Consejo Municipal  
150 W. Jefferson St., Joliet

DESCRIPCIÓN DE LA SOLICITUD: PUD-5-26; ENMIENDA  
AL PLANO FINAL DEL DESARROLLO DE UNIDADES  
PLANIFICADAS VISTA RIDGE, FASE 1.  
V-3-26: APROBACIÓN DE LA CANCELACIÓN DE UNA  
SERVIDUMBRE DE SERVICIOS PÚBLICOS Y DRENAJE PARA  
EL DESARROLLO DE UNIDADES PLANIFICADAS VISTA RIDGE  
FASE 1.

PARA MÁS INFORMACIÓN, LLAME AL: 815-724-4040 or al  
815-724-4050

DEPARTAMENTO DE DESARROLLO COMUNITARIO  
CIUDAD DE JOLIET



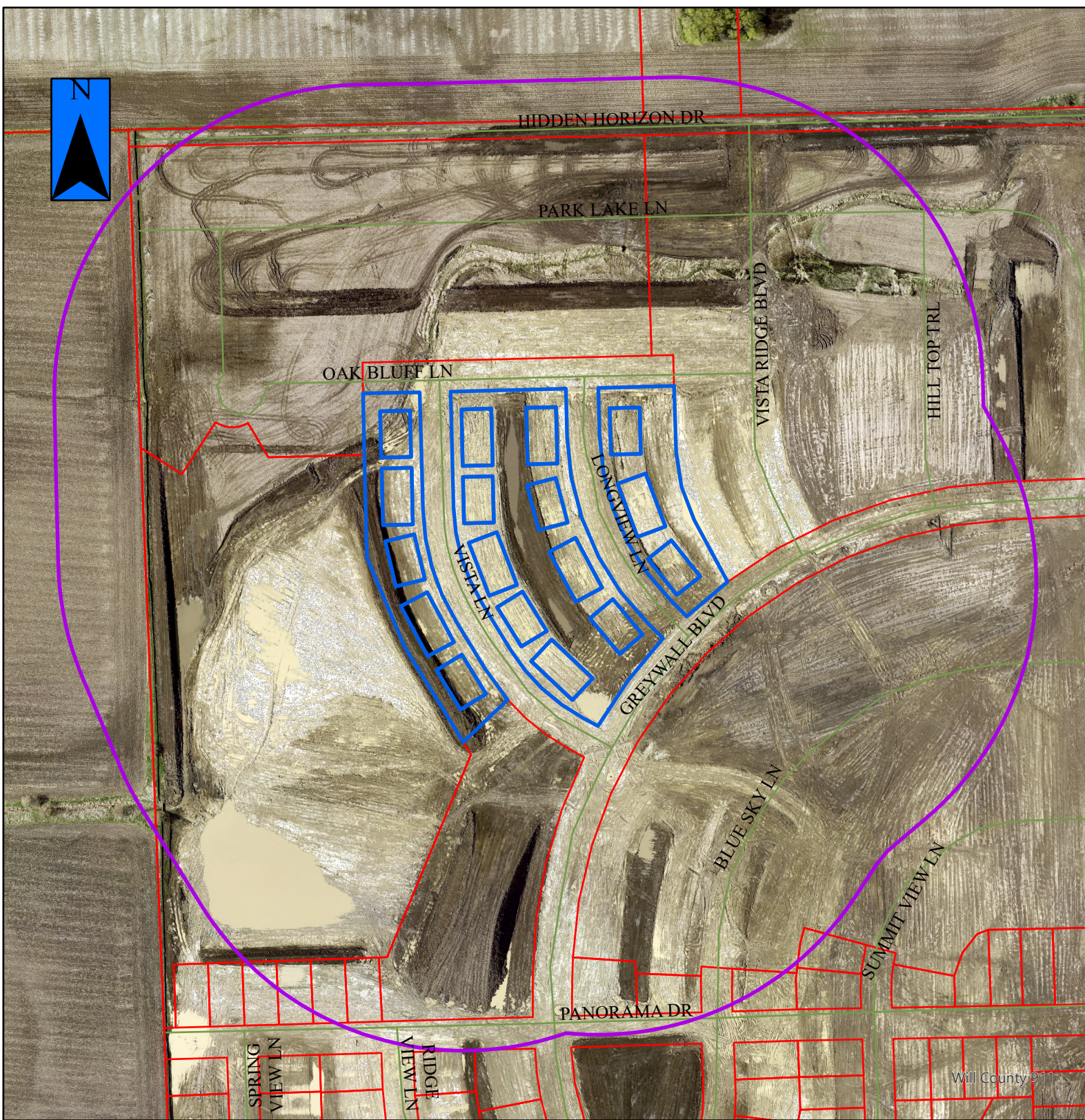
Will County 911, City of Joliet

## PUD-5-26 / V-3-26



- = Property in Question
- = 600' Public Notification Boundary

Legend					
	B-1		I-TA		R-2
	B-2		I-TB		R-2A
	B-3		I-TC		R-3
	I-1		R-1		R-4
	I-2		R-1A		R-5
	I-T		R-1B		R-B



## PUD-5-26a / V-3-26a



- = Property in Question / Propiedad en cuestión
- = 600' Public Notification Boundary /  
Límite de notificación pública de 600 ft (180 m)