

ORDINANCE NO. 18739

AN ORDINANCE APPROVING THE FINAL PLANNED UNIT DEVELOPMENT
(Prairie Landing Subdivision)

**BE IT ORDAINED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF JOLIET, ILLINOIS,
AS FOLLOWS:**

SECTION 1: The attached final planned unit development is hereby approved, subject to the conditions set forth on the plat or in Exhibit "A" if any.

SECTION 2: This Ordinance shall be considered severable, and the invalidity of any section, clause, paragraph, sentence, or provision of the Ordinance shall not affect the validity of any other portion of this Ordinance.

SECTION 3: This Ordinance shall be in effect upon its passage.

PASSED this 15th day of April, 2025



MAYOR PRO TEM



CITY CLERK

VOTING YES: Councilmen Cardenas, Clement, Guerrero, Hug, Councilwoman Ibarra,
Councilman Mudron, Councilwomen Quillman, and Reardon.

VOTING NO: None.

NOT VOTING: Mayor D'Arcy (Recused).

SUBDIVISION: Prairie Landing Subdivision

PIN: 06-03-36-100-033-0000

PLAN COMMISSION APPROVED: Yes

CONDITIONS IMPOSED: Yes

CED DOC. NO.: PUD-13-24

EXHIBIT A

ARCHITECTURAL STANDARDS:

The architectural elevations and floor plans are approved by the City and attached hereto. Developer shall construct the buildings on the subject property in conformance with the approved architectural elevations and floor plans.

DEVELOPER:
DR HORTON
1750 E GOLF ROAD, SUITE 925
SCHAUMBURG, IL 60173

THE FEDERAL EMERGENCY MANAGEMENT AGENCY FIRM COMMUNITY PANEL NUMBER 171970004C WITH AN EFFECTIVE DATE 02/15/2010 INDICATES THAT THE ABOVE DESCRIBED PROPERTY LIES WITHIN AREAS DESIGNATED AS ZONE X. ZONE X IS DEFINED AS AREA OF MINIMAL FLOOD HAZARD WITH THE FLOOD INSURANCE RATE HARE.

[illegible]

0-0-0

[illegible]

#/A	FLOW LINE
FR	FORCE MAIN
	GROUND
MUT/RE	GRADE AT FOUNDATION
CH	JOY WIRE
0/1	REASONABLE
	SAMPLED
SD	SDN WATER LEVEL
HYD	HYDRAULIC
HL	INLET
PH	PHOSPHORUS
SP	SDN PIPE
	LOFT
LT	LABORER
MS	MANHOLE
N/E	NEED EXISTING
NS	NON-SATURATED
NSL	UPSTREAM
NSL	NORMAL WATER LEVEL
P/E	PERSONAL ENTRANCE
PC	POINT OF CURVATURE
PC	POINT OF COMPOUND CURVE
PCL	PROFILE GRADE LINE
PCL	POINT OF INTERSECTION
PR	PROPERTY LINE
PR	POWER POLE
PROP.	PROPOSED
PT	POINT OF TANGENCY
PT	POTHOLE, CULVERT PIPE
PTC	POINT OF TANGENT CURVE
PL	POINT OF VERTICAL CURVE
PL	POINT OF VERTICAL TANGENT
PL	PAVEMENT
PL/CL	PUBLIC UTILITY & MECHANICAL

S	RADIOS
S.O.W.	RIGHT-OF-WAY
SDP	REINFORCED CONCRETE
SE	SEWER
ACV	REVERSE
RR	RAILROAD
RT	RIGHT
SAN	SANITARY
SF	SQUARE FOOT
SHLD.	SHOULDER
SL	STREET LIGHT
SMH	STANDARD MANHOLE
SF	STONE
STA.	STATION
ST	STEAKED
SW	SEWER
SY	SQUARE YARDS
TER	TO BE REMOVED
	VEHICLE
T-A	TYPE A
T/C	TOP OF CURB
T/F	TOP OF FOUNDATION
T/P	TOP OF PIPE
T/W	TOP OF WALL
T/WALL	TOP OF WALL
TEMP	TEMPORARY
TRANS	TRANSFORMER
TR	TRUCK
VCP	VERTICAL CLAY PIPE
V.V.	VALVE VAULT
W	WATER
W.W.	WATER LEVEL
W.W.	WATER MAIN

[illegible]

OVERFLOW INLET
SANITARY MANHOLE
STORM MANHOLE
CATCH BASIN
STORM INLET
CLEANOUT

HAY BALES

RIP RAP

VALVE IN VAULT

VALVE IN BOX
FIRE HYDRANT
BUFFALO BOX
FLARED END SECTION
STREET LIGHT

SUBMIT / LOW POINT

RM ELEVATION
SHORT ELEVATION

DITCH OR SWALE
DIRECTION OF FLOW

OVERFLOW RELIEF SWALE

1 FOOT CONTOURS
CURB AND GUTTER
OVERSIZED CURB AND GUTTER
REVERSE CURB

[illegible]

SITE DATA

LAND USE

SINGLE FAMILY (80'x125')

OPEN SPACE / DETENTION

TOTAL

PROPERTY ADDRESS

2200 ESSINGTON
JOUET, N. C.

PIN

06-03-38-100-

ATA

	UNITS	AREA
120	33.3 AC	
10.7 AC		
120	44.9 AC	

ADDRESS

ON ROAD
80433

S

033-0000

Manhard

CONSULTING
John OBE, Larkspur, N. 000-14
per \$10,000.00/yr.
Specialties • Major Personnel Engineers • Major & Minor Structural Engineers
• Civil/Structural Engineers • Landscaping Architects • Porters

66' ROW

35' construction

Grades as shown on profile

Sub-Grade Soil Modifications per Geotechnical Report & as directed by the City of Joliet

COLLECTOR STREETS - Not to scale.

Callouts: 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12

Dimensions: 5', 1.5', 17.5', 17.5', 1.5', 5', 1.5', 1.5', 6" (min), 6" (min), 1.5', 1.5'

Grades: 1.5%, 1.5%, 1.5%, 1.5%

Notes: * Minimum 0.5% grade at curb flowline

The diagram illustrates a cross-section of a utility trench. At the top, two curved lines represent the ground surface, labeled "PROPOSED ELECTRIC ADJUTMENT ROW IN 15' FRONT YARD PUBLIC UTILITY EASEMENT" and "PROPOSED GAS ADJUTMENT ROW IN 15' FRONT YARD PUBLIC UTILITY EASEMENT". The trench itself contains several lines: a "Proposed Lighting" line with a 5' offset from the left edge, a "Proposed Storm Sewer" line (marked with an 'ST' in a circle) with an 8.5' offset, a "Proposed Sanitary Sewer" line (marked with an 'SS' in a circle) with a 1.5' offset, and a "Proposed Water Main" line (marked with an 'W' in a circle) with a 5' offset. The trench is 15' wide, with 5' of space on each side. A "Variable" section is indicated between the storm and sanitary sewers. A "Sloewalk" is shown on the right side. Dimensions are given in feet: 5', 8.5', 1.5', 8.5', and 5'. Notes include: "ELECTRIC NOTE: LOCATE ELECTRIC DUCT A MINIMUM 6' FROM PUBLIC WATER MAIN", "ST * Storm sewer location for all streets to be determined by Director of Public Works", "SS * Proposed Sanitary Sewer", and "W * Proposed Water Main". A note at the bottom right states: "ALL PRIVATE UTILITIES TO BE LOCATED OUTSIDE RIGHT-OF-WAY WITHIN 15' FRONT YARD PUBLIC EASEMENT (EXCEPT AS REQUIRED TO CROSS A PUBLIC STREET)". The title is "TYPICAL UTILITY SECTION" and the subtitle is "LOCAL STREETS Not to scale."

BENCHMARKS:
 REFERENCE BENCHMARK: (NCS PHO 5478)
 STAINLESS STEEL ROD IN SUEWIC, LOCATED 7 FT NORTH
 OF THE EDGE OF PAVEMENT OF COUNTRY ROAD 34 (NORTH OF
 RD), 28 FT WEST OF THE EDGE OF PAVEMENT OF A
 FRONTAGE ROAD EAST OF INTERSTATE 55 AND 57 FT EAST
 OF A RIGHT-OF-WAY FENCE.
 ELEVATION=824.31 DATUM=NAVD83=CGED 129

SITE BENCHMARK (BM):
 ARROW BOLT ON FIRE HYDRANT ON THE EAST SIDE OF
 GLENGRUE STREET AT THE DEAD END, LOCATED
 APPROXIMATELY 13 FEET SOUTH AND 248 FEET WEST OF A
 SOUTHWEST CORNER OF SURVEYED PROPERTY.

SITE DEMONSTRATE BM#6:
 ARROW BOLT ON FIRE HYDRANT ON THE EAST SIDE OF
 ESSINGTON ROAD, LOCATED APPROXIMATELY 232 FEET
 SOUTH OF THE CENTERLINE OF OLD CASTLE ROAD AND 36
 FEET EAST OF THE CENTERLINE OF ESSINGTON ROAD.
 ELEVATION=602.48 DATUM=NAVDS86=GEOD 128

SITE DEMONSTRATE BM#6:
 ARROW BOLT ON FIRE HYDRANT ON THE EAST SIDE OF
 ESSINGTON ROAD, LOCATED APPROXIMATELY 125 FEET
 NORTH OF THE CENTERLINE OF OLD CASTLE ROAD AND 36
 FEET EAST OF THE CENTERLINE OF ESSINGTON ROAD.
 ELEVATION=599.02 DATUM=NAVD86=GEOD 128

Diagram illustrating a typical utility section. The diagram shows a cross-section of the ground with various utility lines and dimensions. The dimensions are as follows:

- Proposed lighting: 8.0'
- Variable: 1.5'
- Proposed Storm Sewer: 1.5'
- Public Utility: 8.0'

The diagram also includes labels for "Proposed lighting", "Variable", "Proposed Storm Sewer", and "Public Utility". A note indicates that the storm sewer location for all streets is to be determined by the Director of Public Works.

TYPICAL UTILITY SECTION
Not to scale

Diagram illustrating a sewer line installation. A horizontal line represents the sewer pipe, with a vertical line indicating a depth of 5' and a width of 24". A sidewalk is shown to the right of the pipe, and a street is indicated by a dashed line at the bottom. The diagram is labeled with '5'', '24"', 'Sidewalk', and 'STREET'.

EXISTING CONDITIONS/OUT TOPOGRAPHY #

- EXISTING TOPOGRAPHY SHOWN REPRESENTS CONDITIONS AS PREPARED BY MAPPER ON MARCH 28, 2024. CONTRACTOR SHALL EXISTING ELEVATIONS AND CONDITIONS OF CONSTRUCTION, AND NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO BEGIN CONSTRUCTION.

LOT 300 PARK DISTRICT MAP:

- LOT 300 INTENDED TO BE DEDICATED PLANNED PARK DISTRICT

[illegible]


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 201 East Kentucky Street, Suite 200 • Chicago, IL 60611 • Tel: 312.467.1000
 Fax: 312.467.1001 • Email: info@manhardconsulting.com
 Civil Engineers • Surveyors • Interior Planning Professionals • Marine & Waterway Engineers
 Geotechnical Engineers • Environmental Engineers • Transportation Engineers • Professional Engineers

FINAL PLAT

PRAIRIE LANDING SUBDIVISION PLANNED UNIT DEVELOPMENT

THIS PLAT IS NOT FOR RECORD

HWL-593.8

PICARDY UNIT ONE

PICAR

WESTSIDE JOULET REAL ESTATE LLC SUBDIVISION

SELF STORAGE

IMPERVIOUS AREA SUMMARY

PROPOSED ROADS & PUBLIC WALKS = 275.36 SF
PROPOSED DRIVEWAYS = 83,400 SF
PROPOSED BUILDINGS = 218,880 SF
EXISTING IMPERVIOUS AREA = 0.00 AC
PROPOSED NET ADDITIONAL IMPERVIOUS AREA= 13.26 AC

LOT AREA TABLE

LOT AREA TABLE			LOT AREA TABLE			LOT AREA TABLE			LOT AREA TABLE			LOT AREA TABLE		
LOT	AREA (S.F.)	AREA (AC)	LOT	AREA (S.F.)	AREA (AC)	LOT	AREA (S.F.)	AREA (AC)	LOT	AREA (S.F.)	AREA (AC)	LOT	AREA (S.F.)	AREA (AC)
OUTLOT B	154,583	3.549	22	7,500	0.172	47	7,500	0.172	72	7,500	0.172	97	8,168	0.188
OUTLOT C	289,063	6.636	23	7,500	0.172	48	7,500	0.172	73	10,250	0.235	98	8,223	0.189
OUTLOT D	11,461	0.263	24	7,500	0.172	49	7,500	0.172	74	7,500	0.172	99	8,278	0.190
OUTLOT A	30,449	0.699	25	7,500	0.172	50	7,500	0.172	75	7,500	0.172	100	8,333	0.191
1	8,012	0.184	26	7,500	0.172	51	7,500	0.172	76	7,500	0.172	101	8,388	0.192
2	7,938	0.182	27	7,500	0.172	52	6,518	0.196	77	7,500	0.172	102	11,372	0.266
3	11,181	0.256	28	7,500	0.172	53	10,008	0.230	78	7,500	0.172	103	18,310	0.420
4	10,365	0.238	29	7,500	0.172	54	11,034	0.253	79	7,500	0.172	104	9,811	0.221
5	9,808	0.225	30	7,500	0.172	55	7,796	0.179	80	7,500	0.172	105	7,881	0.178
6	10,207	0.234	31	7,500	0.172	56	8,036	0.184	81	11,883	0.273	106	7,500	0.172
7	10,207	0.234	32	8,254	0.189	57	7,500	0.172	82	8,174	0.188	107	7,508	0.172
8	9,847	0.221	33	8,811	0.202	58	7,500	0.172	83	11,898	0.273	108	7,751	0.178
9	7,789	0.178	34	13,824	0.313	59	7,500	0.172	84	7,500	0.172	109	11,534	0.263
10	11,632	0.267	35	14,288	0.328	60	7,500	0.172	85	7,500	0.172	110	11,170	0.258
11	8,415	0.193	36	8,131	0.181	61	8,125	0.187	86	7,500	0.172	111	7,741	0.178
12	8,156	0.187	37	7,741	0.178	62	8,125	0.187	87	7,500	0.172	112	7,830	0.180
13	7,824	0.180	38	7,682	0.176	63	7,500	0.172	88	7,500	0.172	113	7,812	0.179
14	7,541	0.173	39	10,588	0.243	64	7,500	0.172	89	7,500	0.172	114	7,500	0.172
15	7,514	0.172	40	10,588	0.243	65	7,500	0.172	90	7,500	0.172	115	7,500	0.172
16	10,250	0.235	41	12,219	0.281	66	7,500	0.172	91	10,250	0.235	116	7,500	0.172
17	7,712	0.177	42	11,264	0.258	67	7,756	0.178	92	10,274	0.247	117	7,500	0.172
18	8,685	0.199	43	7,500	0.172	68	7,500	0.172	93	7,946	0.182	118	7,500	0.172
19	10,701	0.246	44	7,500	0.172	69	7,500	0.172	94	8,003	0.184	119	7,500	0.172
20	9,049	0.208	45	7,500	0.172	70	7,500	0.172	95	8,098	0.185	120	7,500	0.172
21	7,884	0.181	46	7,500	0.172	71	7,500	0.172	96	8,113	0.186	300	27,678	0.635

ADJACENT OWNERS TABLE

OWNER	ADDRESS 1	ADDRESS 2	ZIP	LOT	SUB
2502 ESSLINGTON LLC	2502 ESSLINGTON RD STE 1	JOULET, IL	60438	14	SEL SUB UNIT 1
ATWATER JOULET ESSLINGTON R/L	181 W GRAND AVE STE 300	CHICAGO, IL	60654	2	WESTSIDE JOULET SUB
ATWATER BAYE IT ALL	181 W GRAND AVE STE 300	CHICAGO, IL	60654	2	WESTSIDE JOULET SUB
BRODIEWAY ANTHONY M	2802 VALLEY PORCE DR	JOULET, IL	60438	40	PICARDY UNIT 3
BURRIDGE DAVID A & SHARON C	2818 VALLEY PORCE DR	JOULET, IL	60438	387	WARWICK FIVE UNIT 0
CLEMENTS JEFFREY K	2804 VALLEY PORCE DR	JOULET, IL	60438	18	PICARDY UNIT 1
CLONON RONALD KIMBERLY	2802 VALLEY PORCE DR	JOULET, IL	60438	19	PICARDY UNIT 1
DEHANNIS RALPH OWEN	2808 VALLEY PORCE DR	JOULET, IL	60438	3	PICARDY UNIT 3
ESSINGTON ROAD PARTNERS INC	2000 ESSLINGTON RD	JOULET, IL	60438	6	DANCY ESTATES UNIT 2
GARCIA ALAN	1822 N CENTER ST	CHICAGO, IL	60642	17	PICARDY UNIT 1
GARDNER JUDITH H	2502 GOLF VIEW DR	JOULET, IL	60438	1	PICARDY UNIT 1
GREEN ZACHARY A	2817 VALLEY PORCE DR	JOULET, IL	60438	206	WARWICK FIVE UNIT 0
HARTY HAROLD W	2806 VALLEY PORCE DR	JOULET, IL	60438	37	PICARDY UNIT 2
HERRON ALICE O	2808 S PLATEAU DR	BALTIMORE, MD	21206	38	UNBUNDLED ESTATES
MERSON JAMES L & MARY C	2813 VALLEY PORCE DR	JOULET, IL	60438	288 & 289	WARWICK FIVE UNIT 0
JACOBUS ROBERT J & LISA M	2807 VALLEY PORCE DR	JOULET, IL	60438	271	WARWICK FIVE UNIT 0
KRODOL LEBEL M	2800 VALLEY PORCE DR	JOULET, IL	60438	41	PICARDY UNIT 3
LADINO JAVIER	2803 VALLEY PORCE DR	JOULET, IL	60438	273	WARWICK FIVE UNIT 0
LECH MIROSLAW MARINA	2502 GOLF VIEW DR	JOULET, IL	60438	9	PICARDY UNIT 1
PECKO MARIE P & KRISTEN L	2818 VALLEY PORCE DR	JOULET, IL	60438	33	PICARDY UNIT 3
LOT 6 DETENTION LLC	701 ESSLINGTON RD STE 100	JOULET, IL	60438	6	DANCY ESTATES UNIT 2
MADISON RICHARD LOUANN	2812 VALLEY PORCE DR	JOULET, IL	60438	34	PICARDY UNIT 2
MAVER SHARON MARIE DSC TR	2808 VALLEY PORCE DR	JOULET, IL	60438	38	PICARDY UNIT 3
MCDANIEL KEVIN R & DELYN L	2819 VALLEY PORCE DR	JOULET, IL	60438	285	WARWICK FIVE UNIT 0
MONTALVO JOSE	2808 VALLEY PORCE DR	JOULET, IL	60438	16	PICARDY UNIT 2
PECKO MARIE P & KRISTEN L	2818 VALLEY PORCE DR	JOULET, IL	60438	33	PICARDY UNIT 3
PLAINFIELD TWP PARK DIST	22729 W OTTAWA ST	PLAINFIELD, IL	60544	284	WARWICK FIVE UNIT 0
RAVENS JONGA MERLITA O	2814 VALLEY PORCE DR	JOULET, IL	60438	35	PICARDY UNIT 2
ROANS EDGAR BARBARA	2812 VALLEY PORCE DR	JOULET, IL	60438	36	PICARDY UNIT 2
BITZER ERIC W	2810 VALLEY PORCE DR	JOULET, IL	60438	20	WARWICK FIVE UNIT 0
SKALA JAMES O & BARBARA A	2806 VALLEY PORCE DR	JOULET, IL	60438	272	WARWICK FIVE UNIT 0
SLADKOVICH JAMES DEBRA L	2808 VALLEY PORCE DR	JOULET, IL	60438	270	WARWICK FIVE UNIT 0
ZAVALA JOSE CRUZ	2801 VALLEY PORCE DR	JOULET, IL	60438	274	WARWICK FIVE UNIT 0

PUBLIC UTILITIES AND DRAINAGE EASEMENT PROVISIONS

EASEMENTS ARE HEREBY RECEIVED FOR AND GRANTED TO THE CITY OF JOULET, ILLINOIS AND TO THOSE PUBLIC UTILITY COMPANIES OPERATING UNDER FRANCHISE FROM THE CITY OF JOULET, ILLINOIS, THAT HAVE JURISDICTION OVER THE LAND SHOWN HEREON. THE CITY OF JOULET, ILLINOIS, AND THOSE PUBLIC UTILITY COMPANIES OPERATING UNDER FRANCHISE FROM THE CITY OF JOULET, ILLINOIS, SHALL BE RESPONSIBLE FOR THE DESIGN, CONSTRUCTION, MAINTENANCE, REPAIR, REPLACEMENT, AND OPERATION OF ALL PUBLIC UTILITIES AND DRAINAGE SYSTEMS THAT ARE NECESSARY FOR THE PROPER OPERATION OF THE SUBDIVISION. THE CITY OF JOULET, ILLINOIS, AND THOSE PUBLIC UTILITY COMPANIES OPERATING UNDER FRANCHISE FROM THE CITY OF JOULET, ILLINOIS, SHALL BE RESPONSIBLE FOR THE DESIGN, CONSTRUCTION, MAINTENANCE, REPAIR, REPLACEMENT, AND OPERATION OF ALL PUBLIC UTILITIES AND DRAINAGE SYSTEMS THAT ARE NECESSARY FOR THE PROPER OPERATION OF THE SUBDIVISION. THE CITY OF JOULET, ILLINOIS, AND THOSE PUBLIC UTILITY COMPANIES OPERATING UNDER FRANCHISE FROM THE CITY OF JOULET, ILLINOIS, SHALL BE RESPONSIBLE FOR THE DESIGN, CONSTRUCTION, MAINTENANCE, REPAIR, REPLACEMENT, AND OPERATION OF ALL PUBLIC UTILITIES AND DRAINAGE SYSTEMS THAT ARE NECESSARY FOR THE PROPER OPERATION OF THE SUBDIVISION.

SEE FINAL ENGINEERING PLANS "PROPOSED IMPROVEMENTS FOR PRAIRIE LANDING PLAT" (SHEET 5) FOR MORE LEGIBLE PROPOSED SPOT GRADES

Manhard CONSULTING

PRAIRIE LANDING SUBDIVISION PLANNED UNIT DEVELOPMENT
2200 ESSLINGTON ROAD, JOULET, ILLINOIS 60438
FINAL PUD PLAT

THIS PLAT IS NOT FOR RECORD

FOR CONTINUATION - SEE SHEET 2

SEE FINAL ENGINEERING PLANS "PROPOSED IMPROVEMENTS FOR PRAIRIE LANDING PUD" (57 SHEETS) FOR MORE LEGIBLE PROPOSED SPOT GRADES.

FOR CONTINUATION - SEE SHEET 4

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Vice President • Senior Project Manager • Senior Project Manager • Senior Project Manager • Senior Project Manager

PRAIRIE LANDING SUBDIVISION PLANNED UNIT DEVELOPMENT

2200 ESSINGTON ROAD, JOLIET, ILLINOIS 60435

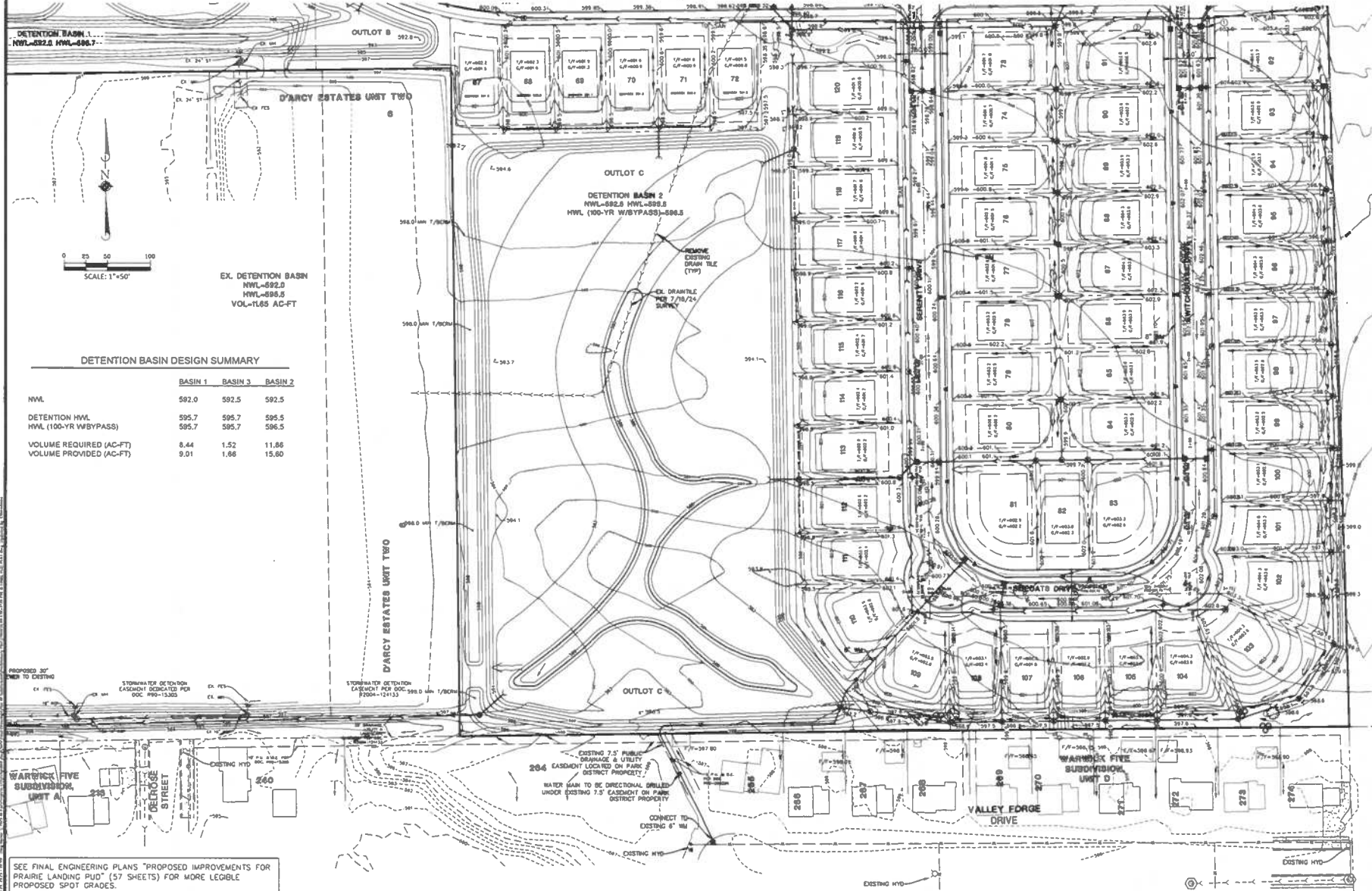
FINAL PUD PLAT

PUBL. INFO. CAS
 PUBL. ADDR. DOI
 PUBL. BY DOI
 DATE 11/01/20
 VOL. 1 - 80
 SHEET
3 OF 8
 PUBL. INFO.

FINAL PLAT OF PRAIRIE LANDING SUBDIVISION PLANNED UNIT DEVELOPMENT

THIS PLAT IS NOT FOR RECORD

FOR CONTINUATION - SEE SHEET 3



DETENTION BASIN DESIGN SUMMARY

	BASIN 1	BASIN 3	BASIN 2
NWL	592.0	592.5	592.5
DETENTION HWL	595.7	595.7	595.5
HWL (100-YR W/BYPASS)	595.7	595.7	595.5
VOLUME REQUIRED (AC-FT)	8.44	1.52	11.86
VOLUME PROVIDED (AC-FT)	9.01	1.86	15.60

PRAIRIE LANDING SUBDIVISION PLANNED UNIT DEVELOPMENT
2200 ESSINGTON ROAD, JOLIET, ILLINOIS 60435

FINAL PUD PLAT

SHEET
4 OF 8
DRW-JOL04

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Civil Engineers • Surveyors • Urban Planning Engineers • Water & Wastewater Engineers
Construction Engineers • Environmental Engineers • Landmarks Engineers • Foresters

"THESE EROSION CONTROL PLANS ARE A PORTION OF THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY (EPA) TOTAL REQUIREMENTS FOR A COMPLETE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) AS REQUIRED BY THE GENERAL NPDES PERMIT NO. ILR10. CLIENT AND/OR CONTRACTOR WILL BE RESPONSIBLE FOR COMPLIANCE WITH ALL REQUIREMENTS OF THE GENERAL NPDES PERMIT AND COMPILATION OF THE COMPLETE SWPPP."

1. ALL VEGETATIVE AND STRUCTURAL EROSION CONTROL PRACTICES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE MINIMUM STANDARDS AND SPECIFICATIONS OF THE "ILLINOIS UNBUILT MANUAL".
2. MAINTENANCE AND REPLACEMENT OF EROSION CONTROL ITEMS, WHEN DIRECTED BY THE OWNER, SHALL BE COMPLETED AS SOON AS POSSIBLE.
3. THE CONTRACTOR SHALL INSPECT ALL EROSION CONTROL MEASURES AT LEAST ONCE EVERY SEVEN (7) CALENDAR DAYS. IF THE CONTRACTOR OBSERVES ANY EROSION CONTROL MEASURES THAT ARE LESS EFFECTIVE THAN REQUIRED, SNOWMELT, WHEN THE SNOW SHOWS THERE IS POTENTIAL FOR EROSION, ANY OTHER WEATHER REPAIR OR CLEANUP TO MAINTAIN THE EFFECTIVENESS OF SAID MEASURES SHALL BE COMPLETED IMMEDIATELY. FOR SITES DISCHARGING TO ADJACENT PROPERTY, THE CONTRACTOR SHALL CONSTRUCT EROSION CONTROL MEASURES TO PREVENT EROSION WHEN THE DISCHARGE OCCURS AND DOCUMENTED AND KEPT IN THE SIPPY BOOKLET.
4. EROSION CONTROL MEASURES, SUCH AS SLOPE PROTECTION, SLOPE STABILIZATION, SLOPE SEEDMENT CONTROL MEASURES AS SHOWN AND SPECIFIED BY THIS EROSION AND SEDIMENTATION CONTROL PLAN SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE MINIMUM STANDARDS, SPECIFICATIONS AND REQUIREMENTS OF THE "ILLINOIS UNBUILT MANUAL".
5. IN THE EVENT OF A MAJOR STORM WATERS FALLING ON THE EXPOSED SLOPE, SLOPE SHALL BE COVERED BY EROSION CONTROL MEASURES. IF MAJOR STORMS EXCAVATION, THE CONTRACTOR SHALL CONSTRUCT EROSION, SLOPE, SEDIMENTATION TRAPS AND SLOPE STABILIZATION MEASURES TO PREVENT EROSION AND SEDIMENTATION OF SURFACE WATERS BEFORE THEY FLOW INTO ADJACENT PROPERTY AND CONVEY THEM TO THE DETENTION BASIN.
6. IF STORMWATER DETENTION IS NOT REQUIRED THE CONTRACTOR SHALL CONSTRUCT EROSION, SLOPE, SEDIMENT TRAPS AND SLOPE STABILIZATION MEASURES AS REQUIRED TO INTERCEPT SURFACE WATERS BEFORE THEY FLOW INTO ADJACENT PROPERTY.
7. STABILIZATION OF DISTURBED AREAS MUST BE INITIATED IMMEDIATELY WHENEVER ANY CLEARING, GRADING, OR EXCAVATION OCCURS. THE CONTRACTOR SHALL STABILIZE ALL EXPOSED AREAS OF THE SITE OR THE ADJACENT SITE OF THE PROJECT. THE CONTRACTOR SHALL STABILIZE ALL EXPOSED AREAS OF THE SITE OR THE ADJACENT SITE OF THE PROJECT ON TEMPORARILY CEASED OR ANY PORTION OF THE SITE AND WILL NOT RECLAIM FOR A PERIOD EXCEEDING 14 CALENDAR DAYS. THE CONTRACTOR SHALL STABILIZE ALL EXPOSED AREAS OF THE SITE OR THE ADJACENT SITE OF THE PROJECT ON TEMPORARILY CEASED OR ANY PORTION OF THE SITE AND WILL NOT RECLAIM FOR A PERIOD EXCEEDING 14 CALENDAR DAYS. THE CONTRACTOR SHALL STABILIZE ALL EXPOSED AREAS OF THE SITE OR THE ADJACENT SITE OF THE PROJECT ON TEMPORARILY CEASED OR ANY PORTION OF THE SITE AND WILL NOT RECLAIM FOR A PERIOD EXCEEDING 14 CALENDAR DAYS.
8. TEMPORARY SOIL SEED MIXTURE SHALL BE APPLIED AT 64 LBS/ACRE.
9. SLOPE PROTECTION SHALL BE INSTALLED UNDER THE GRADING OF EACH DRAINAGE STRUCTURE.

- [illegible]

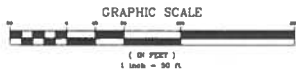
TRANSLOCATION CHART	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC
TEMPERATURE RECORDING												
WIND DIRECTION RECORDING												
WIND VELOCITY RECORDING												
TEMPERATURE RECORDING												
WIND DIRECTION RECORDING												
WIND VELOCITY RECORDING												
PRECIPITATION												
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WIND DIRECTION												
WIND VELOCITY												
PRECIPITATION												

NOTE: THIS CHART IS A GUIDE TO ASSIST THE CONTRACTOR IN UNDERSTANDING OPTIONS FOR SOIL STABILIZATION. THE LANDSCAPE PLAN SHALL HAVE PRECEDENCE OVER THIS CHART. ANY CONFLICT SHALL BE RESOLVED WITH THE LANDSCAPE ARCHITECT PRIOR TO THE START OF CONSTRUCTION.

1. INSTALL SLIP FENCE AT LOCATIONS AS INDICATED ON THE PLANS
2. PROVIDE STABILIZED CONSTRUCTION ENTRANCE.
3. CONSTRUCT TEMPORARY DITCHES, SWALES, SEDIMENT TRAPS AND/OR BASINS.
4. STRIP EXISTING TOPSOIL FROM PROPOSED LOTS OF DISTURBANCE AND STOCKPILE WHERE SHOWN ON PLANS.
5. PROVIDE SLIP FENCE AROUND THE BASE OF THE STOCKPILES.
6. CONSTRUCT STORMWATER MANAGEMENT (DETENTION) FACILITIES TO SUB-GRADE AND INSTALL OUTLET PIPES.
7. COMPLETE TOPSOIL PLACEMENT AND REINSTATE SEDIMENT AND SODDING OF STORMWATER MANAGEMENT FACILITIES.
8. CUT AND FILL SITE TO PLAN SUB-GRADE.
9. CONSTRUCT UNDERGROUND IMPROVEMENTS (E.G. SANITARY SEWER WATERMAIN AND STORM SEWER**). ETC
10. CONSTRUCT PAVEMENT IMPROVEMENTS PER PLAN
11. COMPLETE CONSTRUCTION OF SITE WITH PERMANENT STABILIZATION.
12. REMOVE TEMPORARY EROSION AND SEDIMENT CONTROL STRUCTURES
- ** INSTALL MANHOLE PROTECTION AROUND DRAINAGE STRUCTURES AS CONSTRUCTED

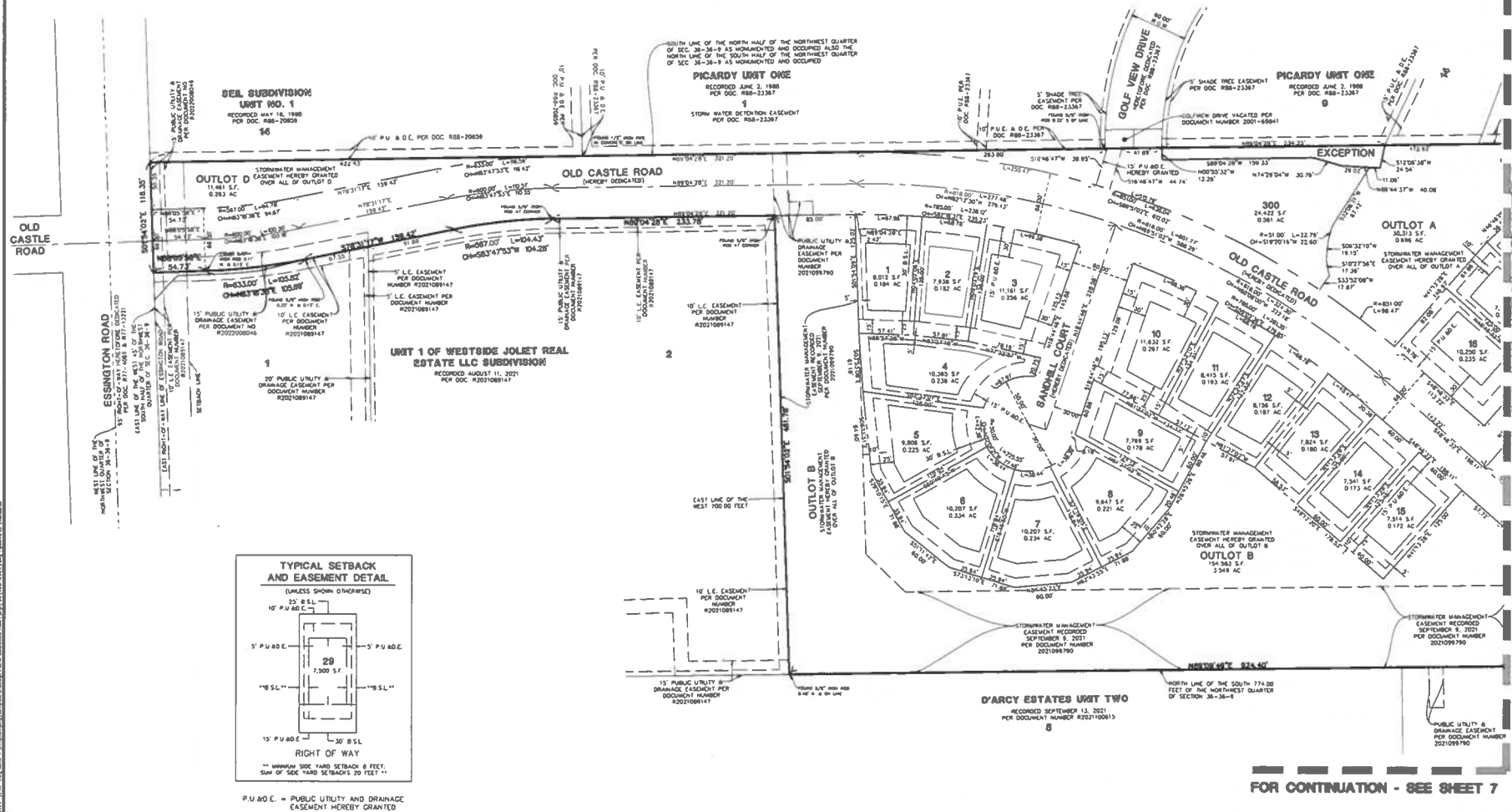
LEGEND

- TEMPORARY SALT POND (PERIMETER)
- TEMPORARY SALT POND (BOTTOM)
- TEMPORARY SALT DIKE
- CROSTON CONTROL, BLANKET (NORTH AMERICAN GREEN GS 73) (SEEDING FOR LANDSCAPE PL-44)
- TEMPORARY GRAVEL CONSTRUCTION ENTRANCE
- TEMPORARY STORM STRUCTURE PROTECTION
- TEMPORARY CULVERT INLET PROTECTION
- TEMPORARY PORCINATED ANVIL
- PAVEMENT DAMAGE FLOOR
- STABLE GRAVEL FLOOR
- LIMITS OF DISTURBANCE/CONSTRUCTION



FINAL PLAT OF PRAIRIE LANDING SUBDIVISION PLANNED UNIT DEVELOPMENT

BEING A SUBDIVISION OF THAT PART OF THE WEST HALF OF THE NORTHWEST QUARTER OF SECTION 16,
TOWNSHIP 36 NORTH, RANGE 9, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN WILL COUNTY, ILLINOIS.

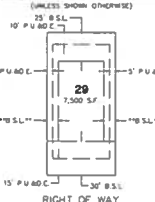


NO.	DESCRIPTION	DATE
1	SEA SUBDIVISION UNIT NO. 1	10/1/2011
2	PICARDY UNIT ONE	10/1/2011
3	UNIT 1 OF WESTSIDE JOLIET REAL ESTATE LLC SUBDIVISION	10/1/2011
4	OUTLOT D	10/1/2011
5	OUTLOT A	10/1/2011
6	OUTLOT B	10/1/2011
7	D'ARCY ESTATES UNIT TWO	10/1/2011

Manhard CONSULTING
2200 ESSINGTON ROAD, JOLIET, ILLINOIS 60435
FINAL PUD PLAT

PRAIRIE LANDING SUBDIVISION PLANNED UNIT DEVELOPMENT
2200 ESSINGTON ROAD, JOLIET, ILLINOIS 60435
FINAL PUD PLAT

TYPICAL SETBACK AND EASEMENT DETAIL

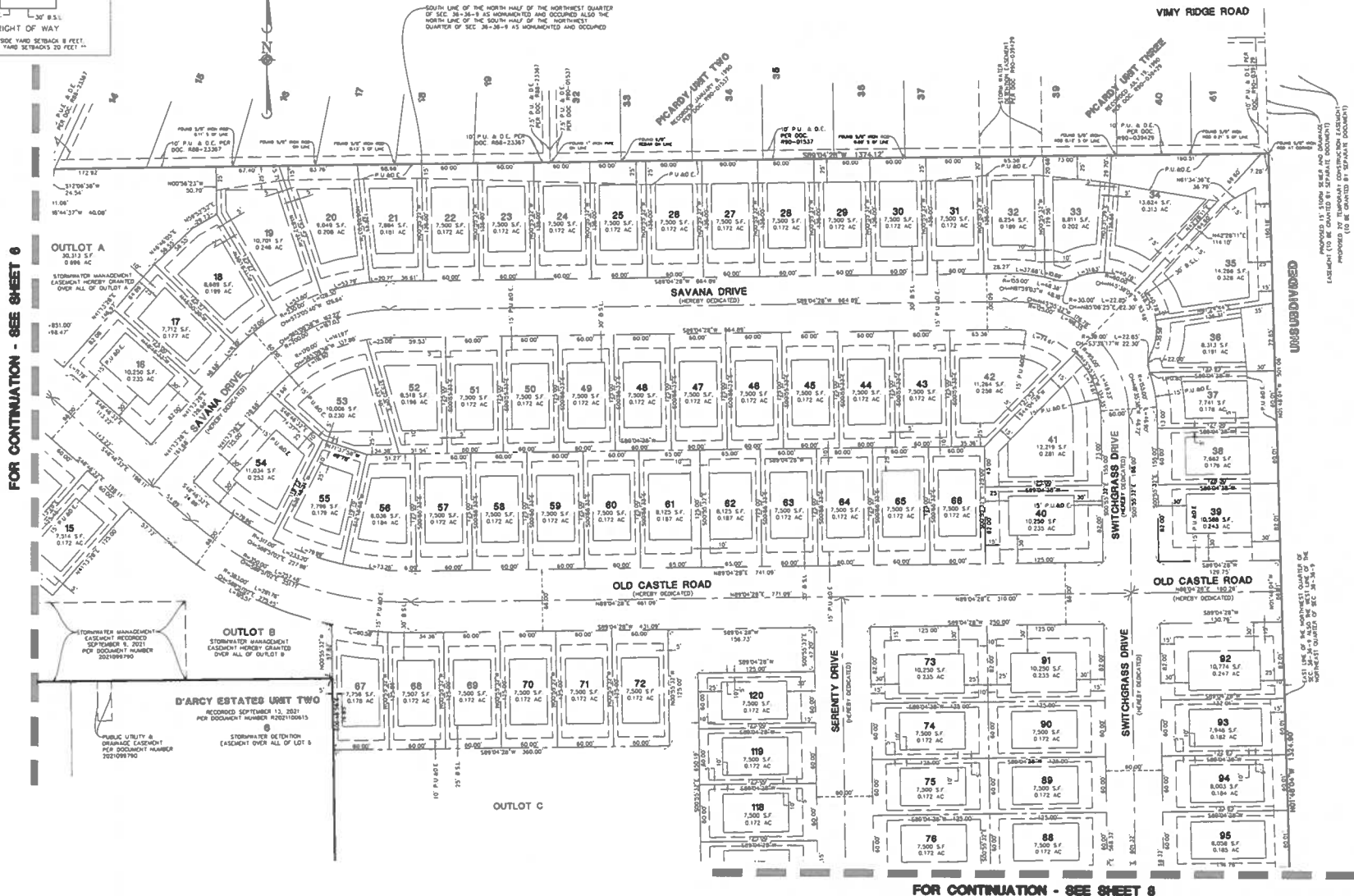


FINAL PLAT OF PRAIRIE LANDING SUBDIVISION PLANNED UNIT DEVELOPMENT

BEING A SUBDIVISION OF THAT PART OF THE WEST HALF OF THE NORTHWEST QUARTER OF SECTION 16,
TOWNSHIP 36 NORTH, RANGE 9, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN WILL COUNTY, ILLINOIS

GRAPHIC SCALE

(IN FEET)
1 inch = 60 ft



FOR CONTINUATION - SEE SHEET 6

FOR CONTINUATION - SEE SHEET 8



PRAIRIE LANDING SUBDIVISION PLANNED UNIT DEVELOPMENT
2200 ESSINGTON ROAD, JOLIET, ILLINOIS 60438

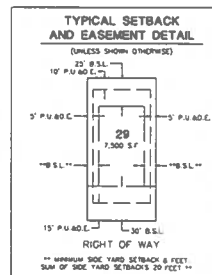
FINAL PUD PLAT

PREPARED BY: JLM
DATE: 10/18/24
SHEET: 7 OF 8
ORN-JOL04



FOR CONTINUATION - SEE SHEET 7

BEING A SUBDIVISION OF THAT PART OF THE WEST HALF OF THE NORTHWEST QUARTER OF SECTION 16
TOWNSHIP 36 NORTH, RANGE 9, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN WILL COUNTY, ILLINOIS.

P.U.&D.E. = PUBLIC UTILITY AND DRAINAGE
EASEMENT HEREDITY GRANTING

CITY PLAN COMMISSION CERTIFICATE

STATE OF ILLINOIS }
COUNTY OF WILL } SS
APPROVED BY THE _____ PLAN COMMISSION, THIS ____ DAY OF _____

CHAIRPERSON

SECRETARY

CITY COUNCIL CERTIFICATE

STATE OF ILLINOIS }
COUNTY OF ILL. } SS
AS AUTHORIZED BY THE FINAL PLAT APPROVED BY ORDINANCE NO. _____ OF THE CITY
COUNCIL OF THE CITY OF JOLIET.
THIS _____ DAY OF _____, 20____

MAYOR _____
CITY CLERK _____

SURVEYORS CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF DUPAGE) ss

THE SOUTH HALF OF THE NORTHWEST QUARTER OF SECTION 38, TOWNSHIP 38 NORTH, RANGE 9 EAST OF THE THIRD PRINCIPAL MERIDIAN, EXCEPT THEREFROM THE WEST 43.00 FEET THEREOF, ALSO EXCEPT THEREFROM THE NORTH PART LING IN GRANTY ESTATE, TWO ACRES, BEING THE SUBDIVISION OF PART OF THE FORESARD SOUTH HALF, ACCORDING TO THE PLAT THEREOF RECORDED SEPTEMBER 13, 2021, AS DOCUMENT NUMBER R20210081; AND ALSO EXCEPT THEREFROM THE PROPERTY LING WITHIN UNIT 1 OF WESTSIDE JULET REAL ESTATE LLC, BEING THE SUBDIVISION OF PART OF THE FORESARD SOUTH HALF, ACCORDING TO THE PLAT THEREOF RECORDED AUGUST 11, 2022, AS DOCUMENT NUMBER R20220814; AND ALSO EXCEPT THEREFROM THAT PART DESCRIBED AS FOLLOWS:

[illegible]

GIVEN UNDER MY HAND AND SEAL THIS _____ DAY OF _____ A.D. 20____

FOR REVIEW ONLY

ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 4017
LICENSE EXPIRES NOVEMBER 30, 2026
DESIGN FIRM PROFESSIONAL REGISTRATION
NO 184003350-EXPIRES APRIL 30, 2025

1998, 1999, 2000, 2001, 2002, 2003, 2004, 2005, 2006, 2007, 2008, 2009, 2010, 2011, 2012, 2013, 2014, 2015, 2016, 2017, 2018, 2019, 2020, 2021, 2022, 2023, 2024, 2025, 2026, 2027, 2028, 2029, 2030, 2031, 2032, 2033, 2034, 2035, 2036, 2037, 2038, 2039, 2040, 2041, 2042, 2043, 2044, 2045, 2046, 2047, 2048, 2049, 2050, 2051, 2052, 2053, 2054, 2055, 2056, 2057, 2058, 2059, 2060, 2061, 2062, 2063, 2064, 2065, 2066, 2067, 2068, 2069, 2070, 2071, 2072, 2073, 2074, 2075, 2076, 2077, 2078, 2079, 2080, 2081, 2082, 2083, 2084, 2085, 2086, 2087, 2088, 2089, 2090, 2091, 2092, 2093, 2094, 2095, 2096, 2097, 2098, 2099, 2100, 2101, 2102, 2103, 2104, 2105, 2106, 2107, 2108, 2109, 2110, 2111, 2112, 2113, 2114, 2115, 2116, 2117, 2118, 2119, 2120, 2121, 2122, 2123, 2124, 2125, 2126, 2127, 2128, 2129, 2130, 2131, 2132, 2133, 2134, 2135, 2136, 2137, 2138, 2139, 2140, 2141, 2142, 2143, 2144, 2145, 2146, 2147, 2148, 2149, 2150, 2151, 2152, 2153, 2154, 2155, 2156, 2157, 2158, 2159, 2160, 2161, 2162, 2163, 2164, 2165, 2166, 2167, 2168, 2169, 2170, 2171, 2172, 2173, 2174, 2175, 2176, 2177, 2178, 2179, 2180, 2181, 2182, 2183, 2184, 2185, 2186, 2187, 2188, 2189, 2190, 2191, 2192, 2193, 2194, 2195, 2196, 2197, 2198, 2199, 2200, 2201, 2202, 2203, 2204, 2205, 2206, 2207, 2208, 2209, 2210, 2211, 2212, 2213, 2214, 2215, 2216, 2217, 2218, 2219, 2220, 2221, 2222, 2223, 2224, 2225, 2226, 2227, 2228, 2229, 2230, 2231, 2232, 2233, 2234, 2235, 2236, 2237, 2238, 2239, 2240, 2241, 2242, 2243, 2244, 2245, 2246, 2247, 2248, 2249, 2250, 2251, 2252, 2253, 2254, 2255, 2256, 2257, 2258, 2259, 2260, 2261, 2262, 2263, 2264, 2265, 2266, 2267, 2268, 2269, 2270, 2271, 2272, 2273, 2274, 2275, 2276, 2277, 2278, 2279, 2280, 2281, 2282, 2283, 2284, 2285, 2286, 2287, 2288, 2289, 2290, 2291, 2292, 2293, 2294, 2295, 2296, 2297, 2298, 2299, 2300, 2301, 2302, 2303, 2304, 2305, 2306, 2307, 2308, 2309, 2310, 2311, 2312, 2313, 2314, 2315, 2316, 2317, 2318, 2319, 2320, 2321, 2322, 2323, 2324, 2325, 2326, 2327, 2328, 2329, 2330, 2331, 2332, 2333, 2334, 2335, 2336, 2337, 2338, 2339, 2340, 2341, 2342, 2343, 2344, 2345, 2346, 2347, 2348, 2349, 2350, 2351, 2352, 2353, 2354, 2355, 2356, 2357, 2358, 2359, 2360, 2361, 2362, 2363, 2364, 2365, 2366, 2367, 2368, 2369, 2370, 2371, 2372, 2373, 2374, 2375, 2376, 2377, 2378, 2379, 2380, 2381, 2382, 2383, 2384, 2385, 2386, 2387, 2388, 2389, 2390, 2391, 2392, 2393, 2394, 2395, 2396, 2397, 2398, 2399, 2400, 2401, 2402, 2403, 2404, 2405, 2406, 2407, 2408, 2409, 2410, 2411, 2412, 2413, 2414, 2415, 2416, 2417, 2418, 2419, 2420, 2421, 2422, 2423, 2424, 2425, 2426, 2427, 2428, 2429, 2430, 2431, 2432, 2433, 2434, 2435, 2436, 2437, 2438, 2439, 2440, 2441, 2442, 2443, 2444, 2445, 2446, 2447, 2448, 2449, 2450, 2451, 2452, 2453, 2454, 2455, 2456, 2457, 2458, 2459, 2460, 2461, 2462, 2463, 2464, 2465, 2466, 2467, 2468, 2469, 2470, 2471, 2472, 2473, 2474, 2475, 2476, 2477, 2478, 2479, 2480, 2481, 2482, 2483, 2484, 2485, 2486, 2487, 2488, 2489, 2490, 2491, 2492, 2493, 2494, 2495, 2496, 2497, 2498, 2499, 2500, 2501, 2502, 2503, 2504, 2505, 2506, 2507, 2508, 2509, 2510, 2511, 2512, 2513, 2514, 2515, 2516, 2517, 2518, 2519, 2520, 2521, 2522, 2523, 2524, 2525, 2526, 2527, 2528, 2529, 2530, 2531, 2532, 2533, 2534, 2535, 2536, 2537, 2538, 2539, 2540, 2541, 2542, 2543, 2544, 2545, 2546, 2547, 2548, 2549, 2550, 2551, 2552, 2553, 2554, 2555, 2556, 2557, 2558, 2559, 2560, 2561, 2562, 2563, 2564, 2565, 2566, 2567, 2568, 2569, 2570, 2571, 2572, 2573, 2574, 2575, 2576, 2577, 2578, 2579, 2580, 2581, 2582, 2583, 2584, 2585, 2586, 2587, 2588, 2589, 2590, 2591, 2592, 2593, 2594, 2595, 2596, 2597, 2598, 2599, 2600, 2601, 2602, 2603, 2604, 2605, 2606, 2607, 2608, 2609, 2610, 2611, 2612, 2613, 2614, 2615, 2616, 2617, 2618, 2619, 2620, 2621, 2622, 2623, 2624, 2625, 2626, 2627, 2628, 2629, 2630, 2631, 2632, 2633, 2634, 2635, 2636, 2637, 2638, 2639, 2640, 2641, 2642, 2643, 2644, 2645, 2646, 2647, 2648, 2649, 2650, 2651, 2652, 2653, 2654, 2655, 2656, 2657, 2658, 2659, 2660, 2661, 2662, 2663, 2664, 2665, 2666, 2667, 2668, 2669, 2670, 2671, 2672, 2673, 2674, 2675, 2676, 2677, 2678, 2679, 26



Manhard
CONSULTING

PRAIRIE LANDING SUBDIVISION PLANNED UNIT DEVELOPMENT
2200 ESSINGTON ROAD, JOLIET, ILLINOIS 60435

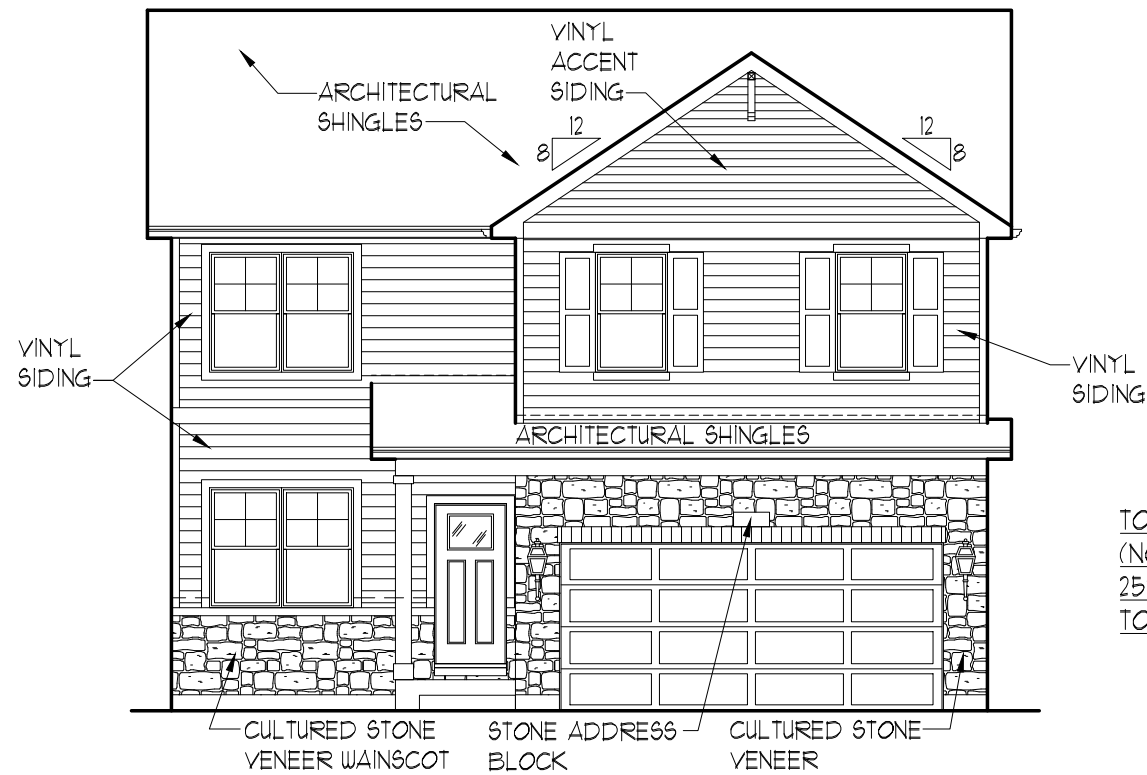
FINAL PUD PLAT

FROM: 5-10 5/5
 FROM: 5-10 5/5
 QUANTITY: 10
 DATE: 10/18/24
 SCALE: 1" = 20'

SHEET

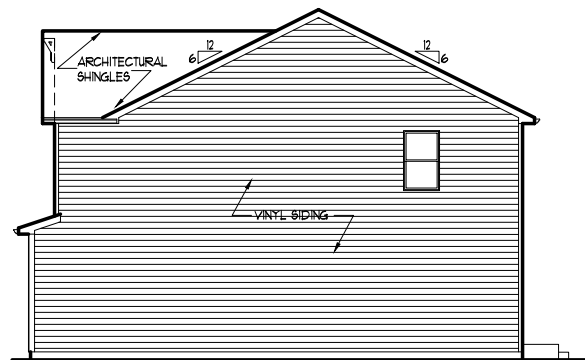
8 OF 8

FROM: 5-10 5/5

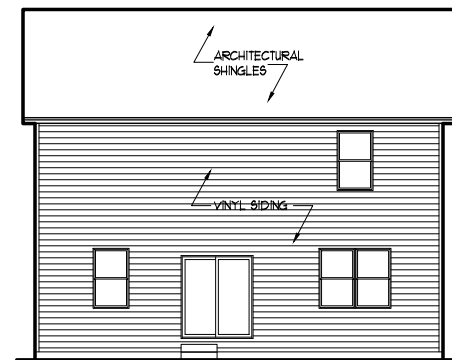


TOTAL FRONT ELEVATION SIDEABLE AREA
 (NOT INCLUDING WINDOWS, DOORS, & ROOF AREA) = 459.16 SQ. FT.
 25% OF SIDEABLE AREA = 114.79 SQ. FT.
 TOTAL MASONRY AREA = 133.00 SQ. FT. (29.0%)

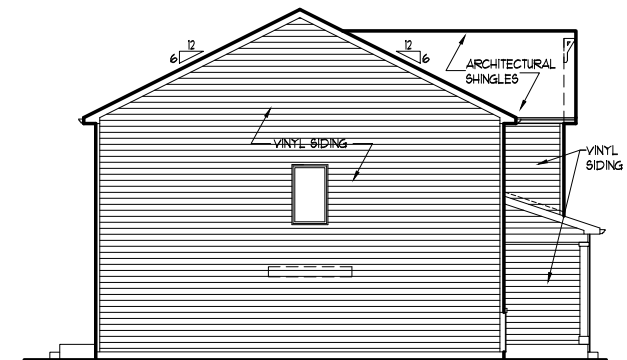
ELEVATION "A5"



TYPICAL RIGHT ELEVATION

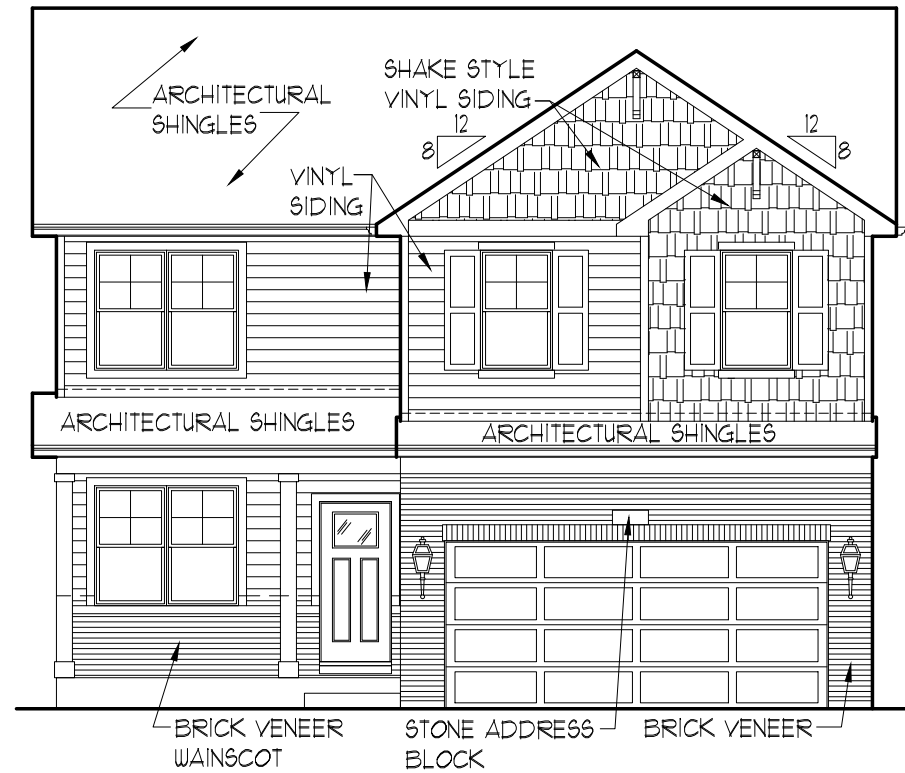


TYPICAL REAR ELEVATION



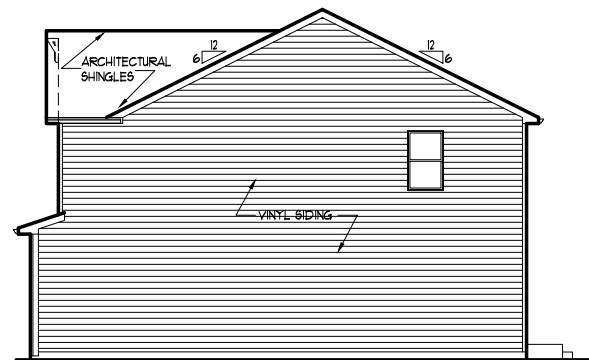
TYPICAL LEFT ELEVATION

x424
PRAIRIE LANDING
JOLIET, IL.
X-SERIES

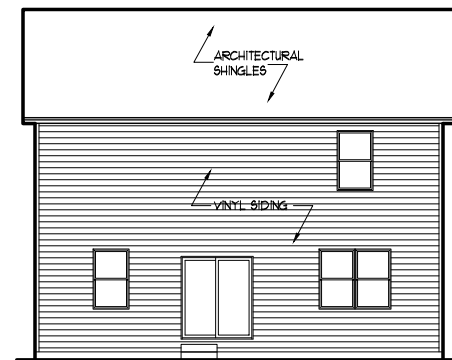


ELEVATION "B4"

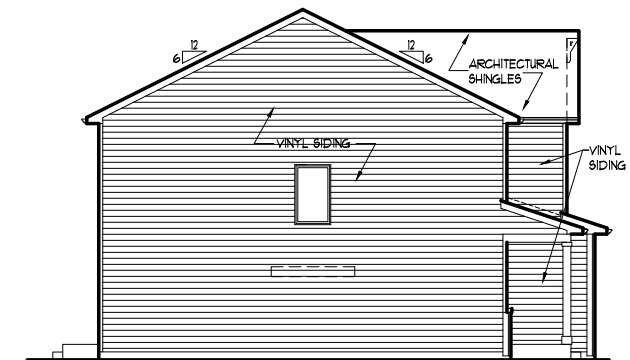
TOTAL FRONT ELEVATION SIDEABLE AREA
 (NOT INCLUDING WINDOWS, DOORS, & ROOF AREA) = 428.99 SQ. FT.
 25% OF SIDEABLE AREA = 107.25 SQ. FT.
 TOTAL MASONRY AREA = 128.39 SQ. FT. (29.9%)



TYPICAL RIGHT ELEVATION

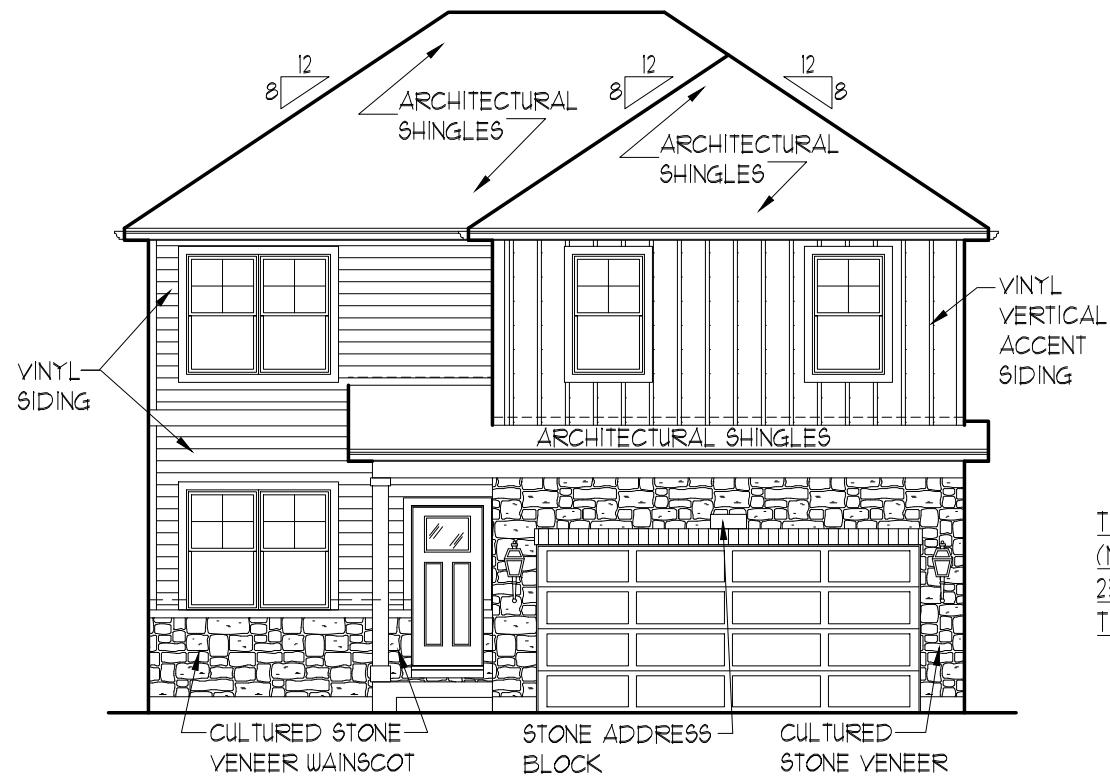


TYPICAL REAR ELEVATION



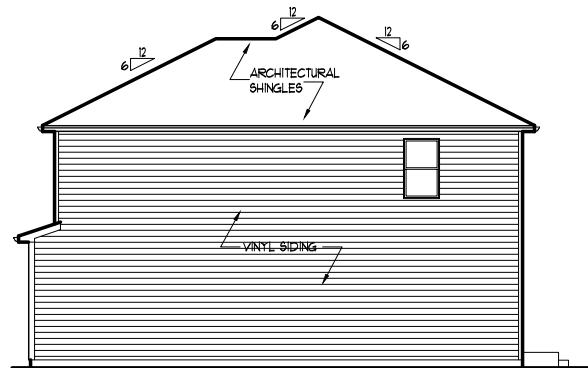
TYPICAL LEFT ELEVATION

x424
PRAIRIE LANDING
JOLIET, IL.
X-SERIES

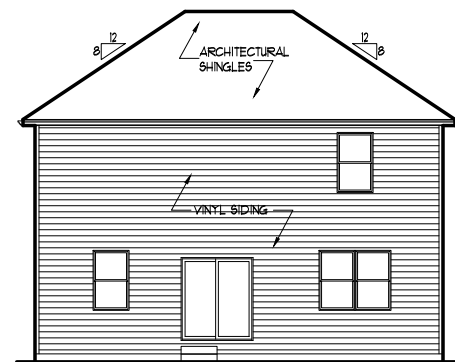


TOTAL FRONT ELEVATION SIDEABLE AREA
 (NOT INCLUDING WINDOWS, DOORS, & ROOF AREA) = 386.40 SQ. FT.
 25% OF SIDEABLE AREA = 96.60 SQ. FT.
 TOTAL MASONRY AREA = 133.00 SQ. FT. (34.4%)

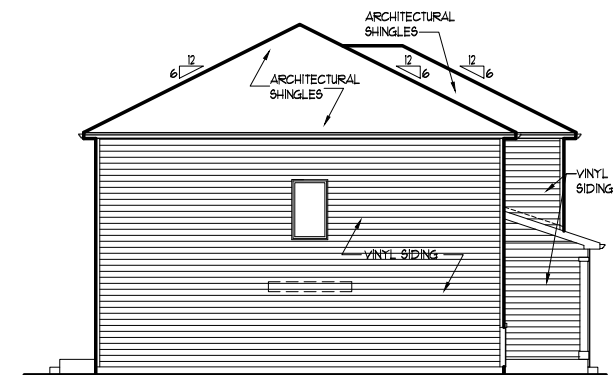
ELEVATION "C5"



TYPICAL RIGHT ELEVATION

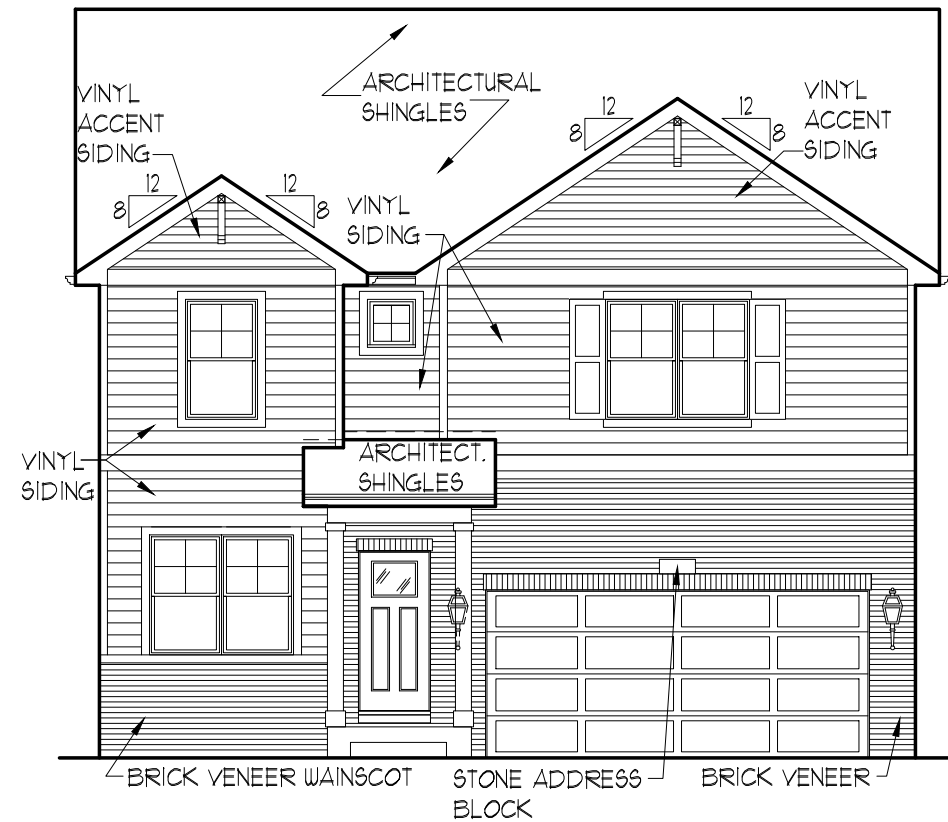


TYPICAL REAR ELEVATION



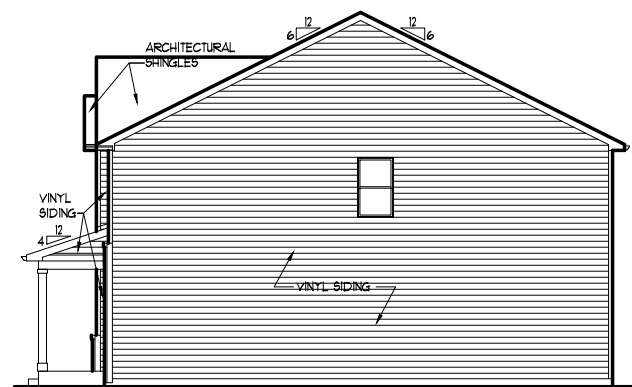
TYPICAL LEFT ELEVATION

x424
PRAIRIE LANDING
JOLIET, IL.
X-SERIES

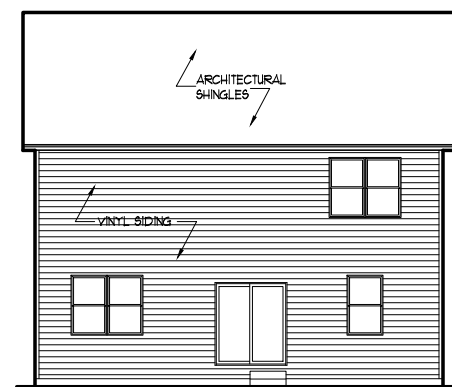


TOTAL FRONT ELEVATION SIDEABLE AREA
(NOT INCLUDING WINDOWS, DOORS, & ROOF AREA) = 521.05 SQ. FT.
25% OF SIDEABLE AREA = 130.26 SQ. FT.
TOTAL MASONRY AREA = 191.00 SQ. FT. (37.8%)

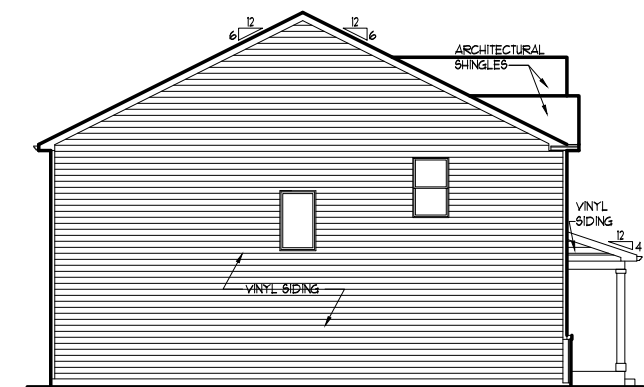
ELEVATION "A4"



TYPICAL RIGHT ELEVATION

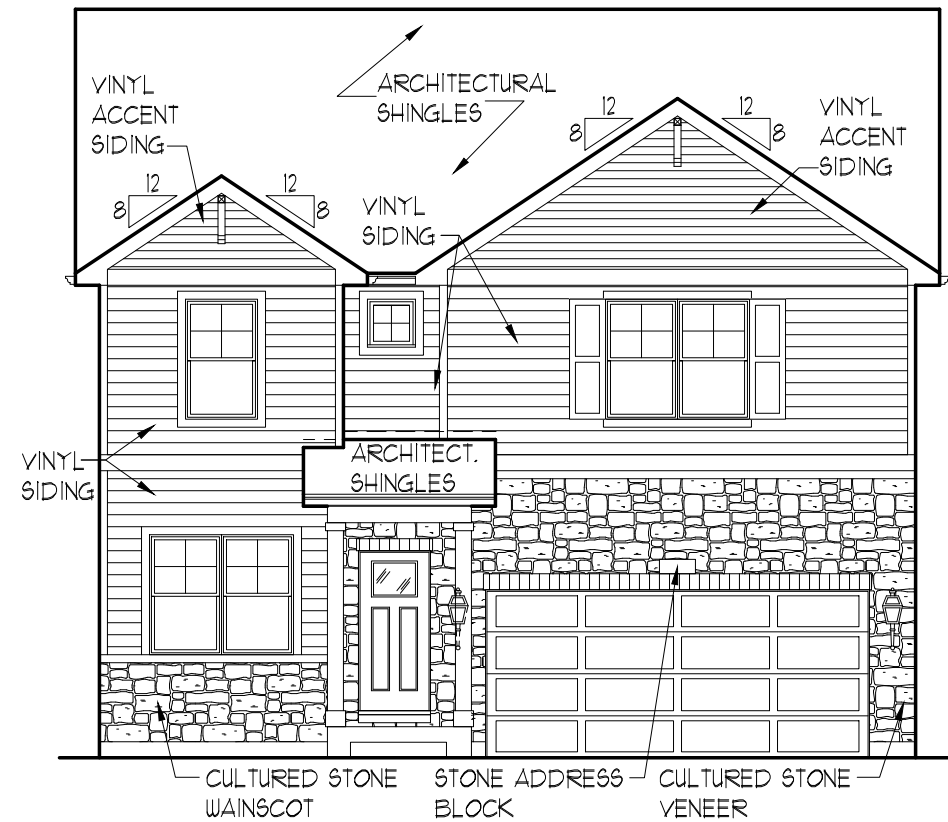


TYPICAL REAR ELEVATION



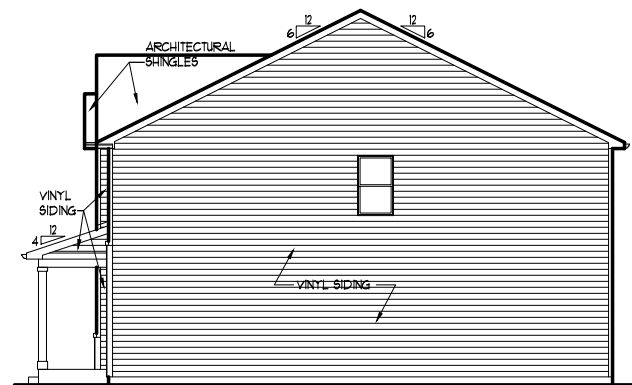
TYPICAL LEFT ELEVATION

x427
PRAIRIE LANDING
JOLIET, IL.
X-SERIES

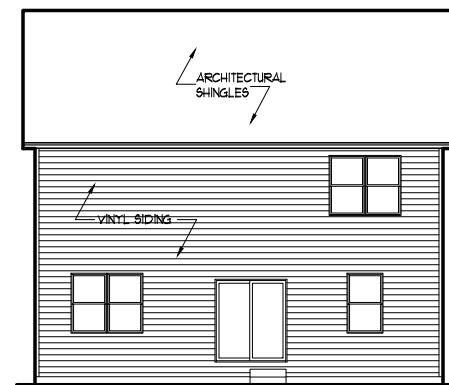


TOTAL FRONT ELEVATION SIDEABLE AREA
(NOT INCLUDING WINDOWS, DOORS, & ROOF AREA) = 521.05 SQ. FT.
25% OF SIDEABLE AREA = 130.26 SQ. FT.
TOTAL MASONRY AREA = 193.00 SQ. FT. (37.0%)

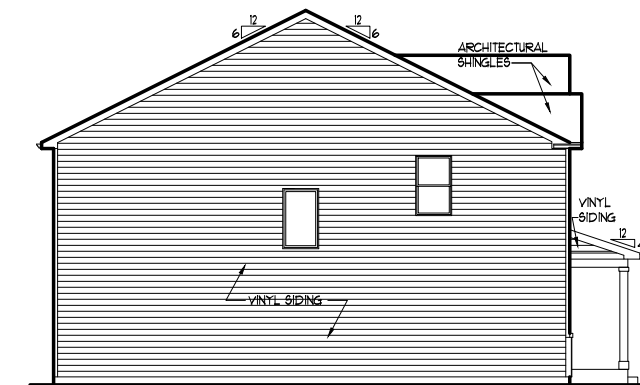
ELEVATION "A5"



TYPICAL RIGHT ELEVATION

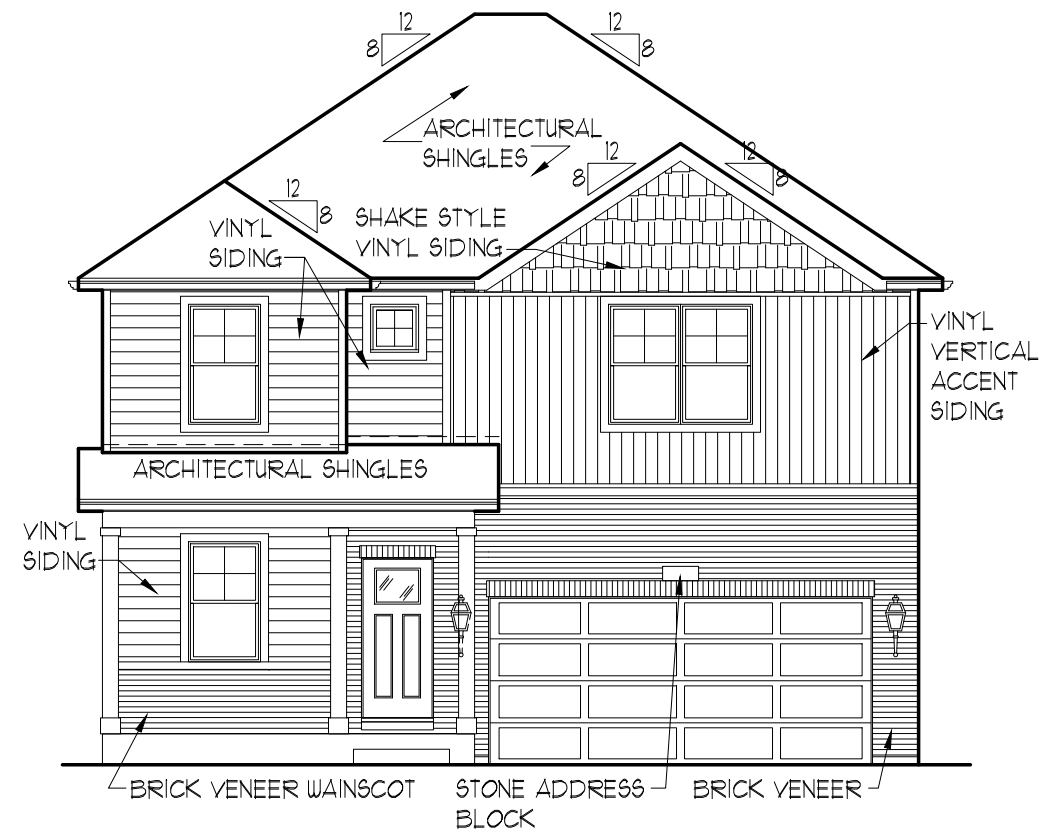


TYPICAL REAR ELEVATION



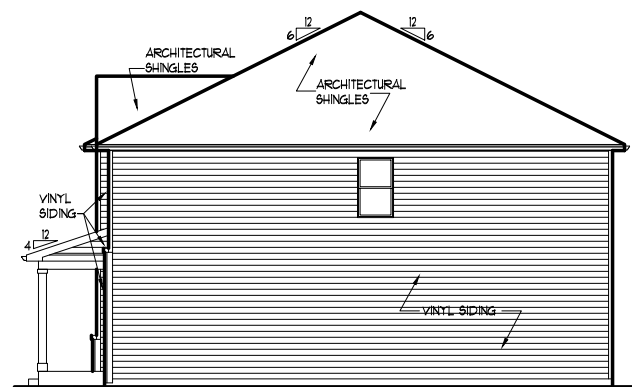
TYPICAL LEFT ELEVATION

x427
PRAIRIE LANDING
JOLIET, IL.
X-SERIES

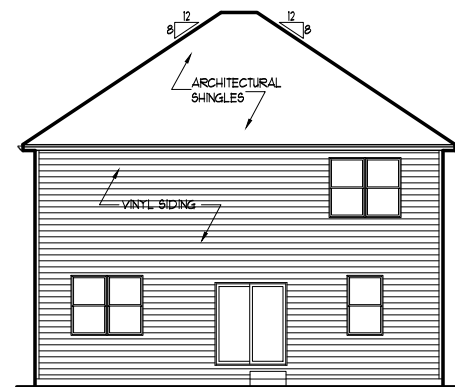


TOTAL FRONT ELEVATION SIDEABLE AREA
(NOT INCLUDING WINDOWS, DOORS, & ROOF AREA) = 457.85 SQ. FT.
25% OF SIDEABLE AREA = 114.46 SQ. FT.
TOTAL MASONRY AREA = 187.90 SQ. FT. (41.0%)

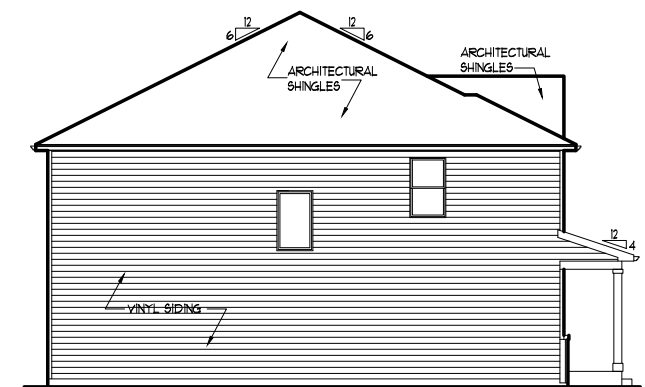
ELEVATION "D4"



TYPICAL RIGHT ELEVATION



TYPICAL REAR ELEVATION



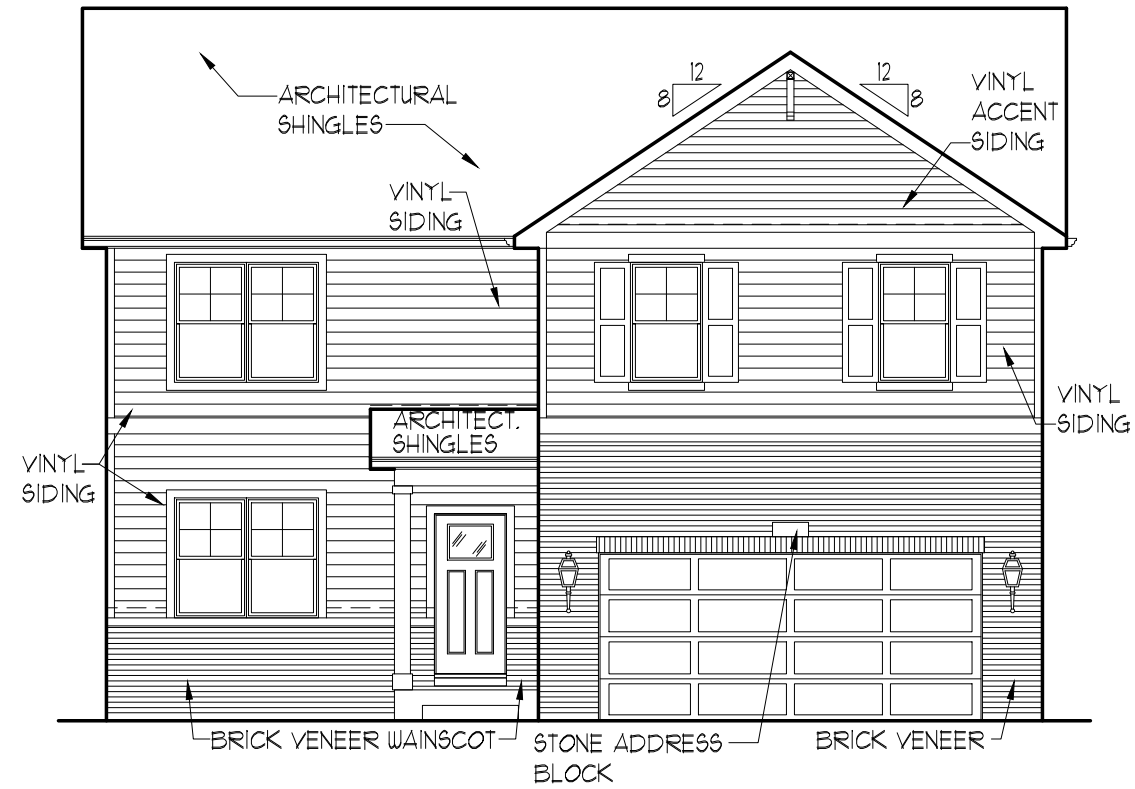
TYPICAL LEFT ELEVATION

x427

PRAIRIE LANDING

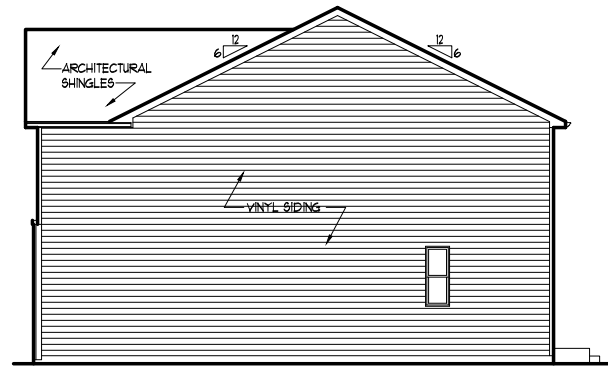
JOLIET, IL.

X-SERIES

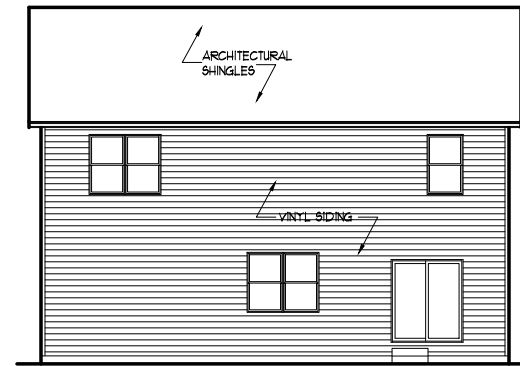


TOTAL FRONT ELEVATION SIDEABLE AREA
(NOT INCLUDING WINDOWS, DOORS, & ROOF AREA) = 593.59 SQ. FT.
25% OF SIDEABLE AREA = 148.40 SQ. FT.
TOTAL MASONRY AREA = 195.46 SQ. FT. (32.9%)

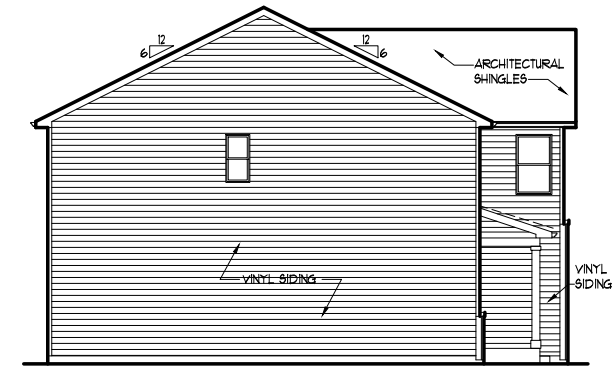
ELEVATION "A4"



TYPICAL RIGHT ELEVATION



TYPICAL REAR ELEVATION



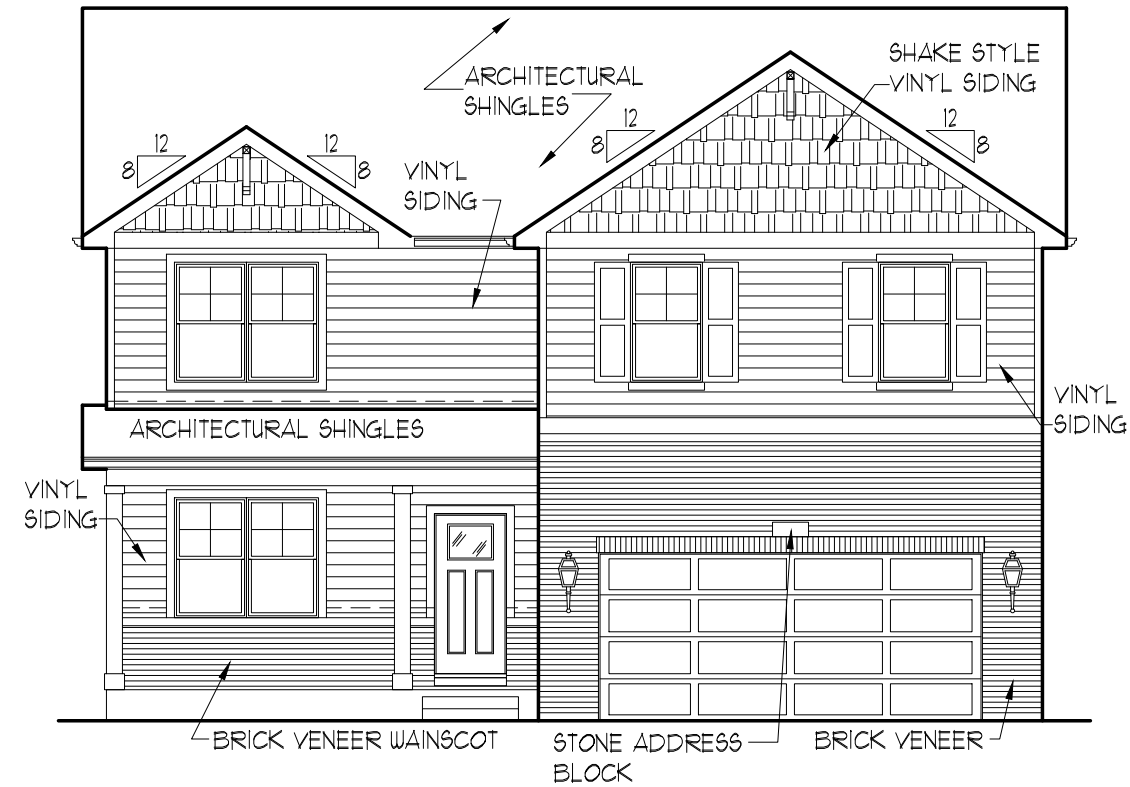
TYPICAL LEFT ELEVATION

x429

PRAIRIE LANDING

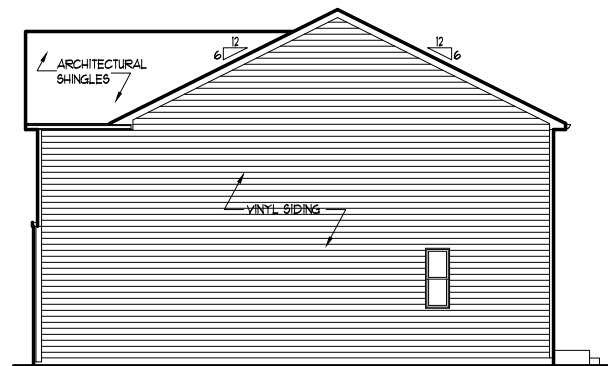
JOLIET, IL.

X-SERIES

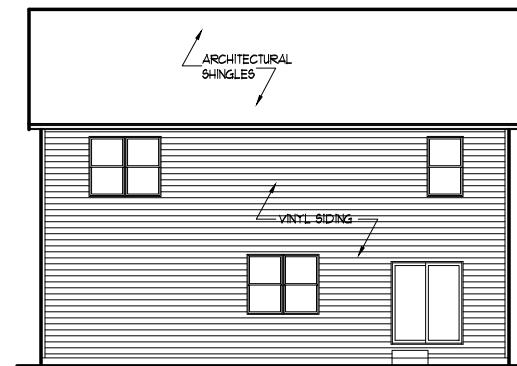


TOTAL FRONT ELEVATION SIDEABLE AREA
(NOT INCLUDING WINDOWS, DOORS, & ROOF AREA) = 583.53 SQ. FT.
25% OF SIDEABLE AREA = 145.88 SQ. FT.
TOTAL MASONRY AREA = 183.96 SQ. FT. (31.5%)

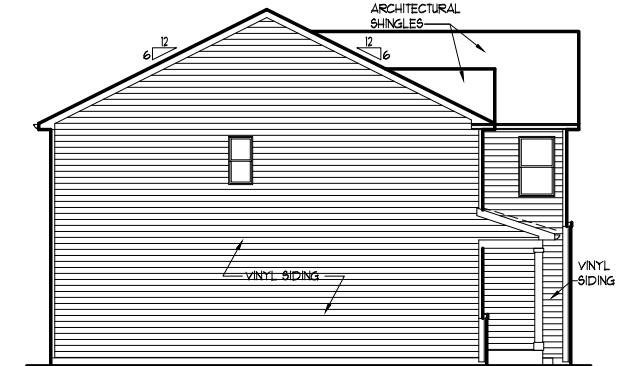
ELEVATION "B4"



TYPICAL RIGHT ELEVATION



TYPICAL REAR ELEVATION



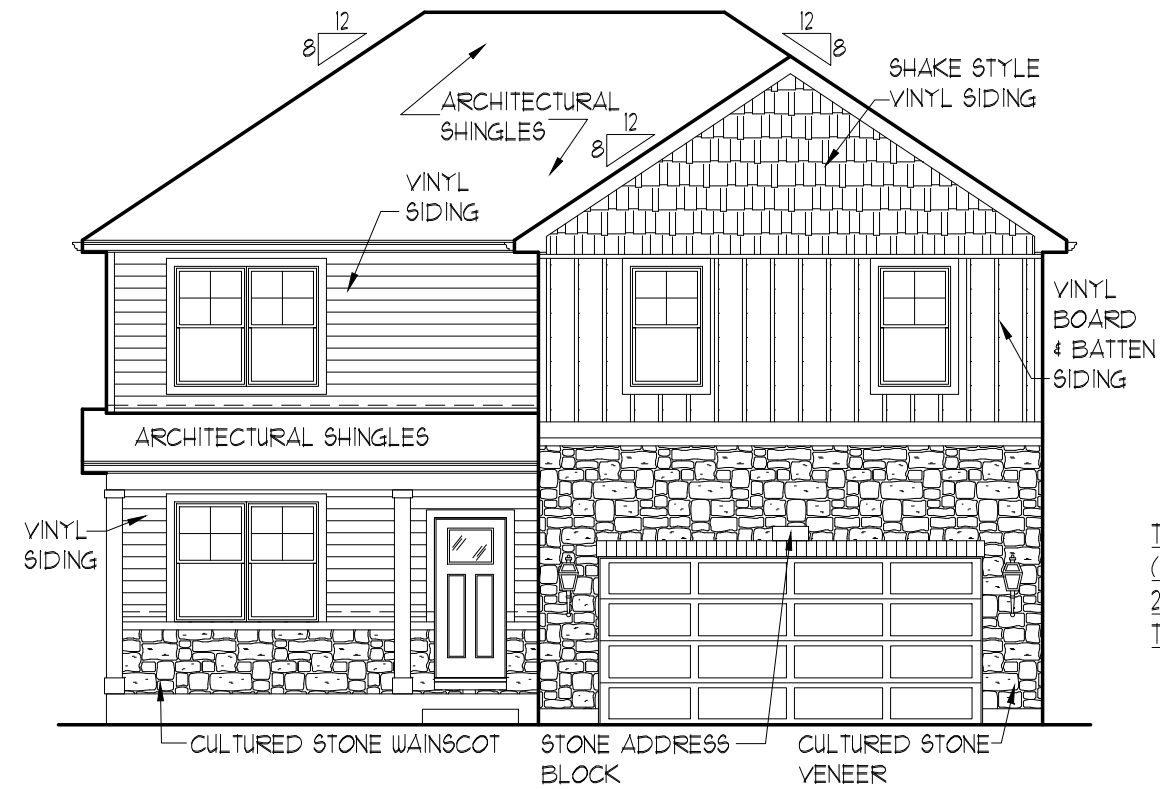
TYPICAL LEFT ELEVATION

x429

PRAIRIE LANDING

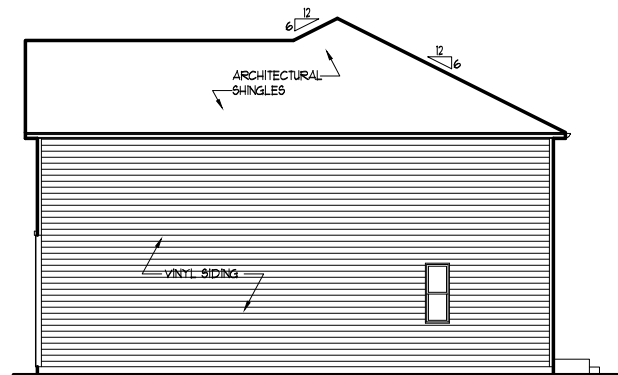
JOLIET, IL.

X-SERIES

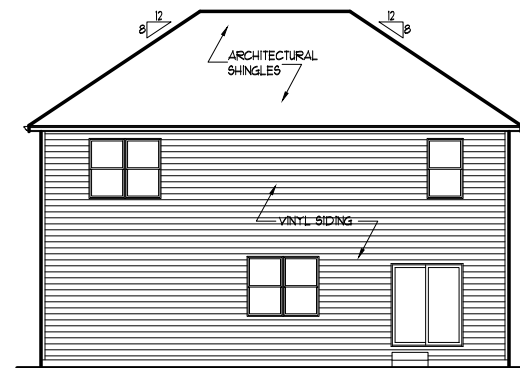


TOTAL FRONT ELEVATION SIDEABLE AREA
(NOT INCLUDING WINDOWS, DOORS, & ROOF AREA) = 556.09 SQ. FT.
25% OF SIDEABLE AREA = 139.02 SQ. FT.
TOTAL MASONRY AREA = 182.29 SQ. FT. (32.8%)

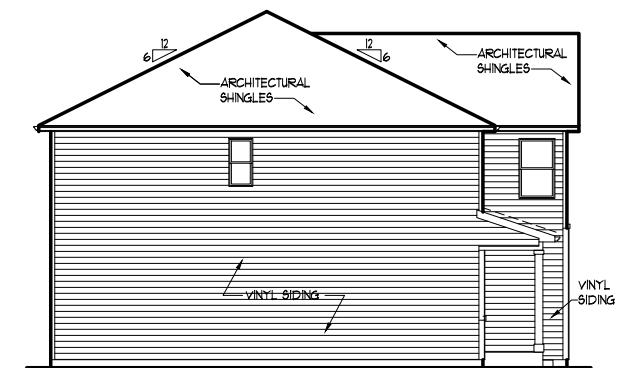
ELEVATION "D5"



TYPICAL RIGHT ELEVATION



TYPICAL REAR ELEVATION



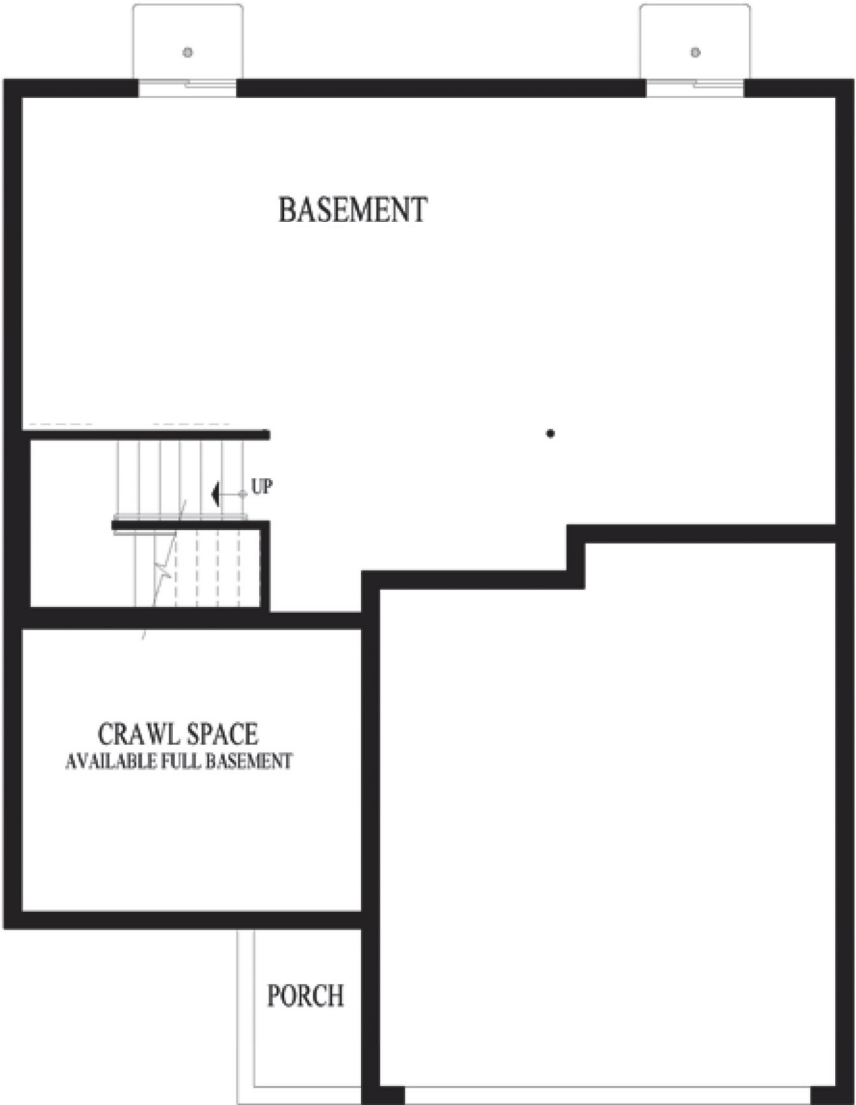
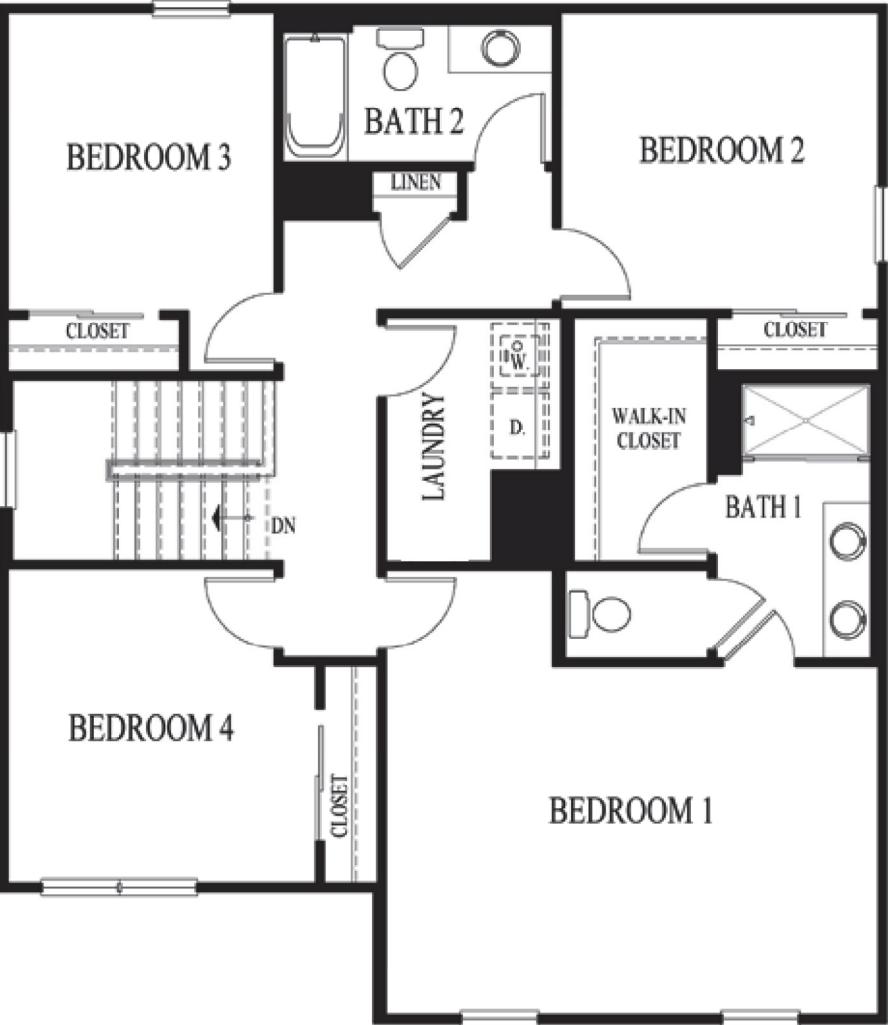
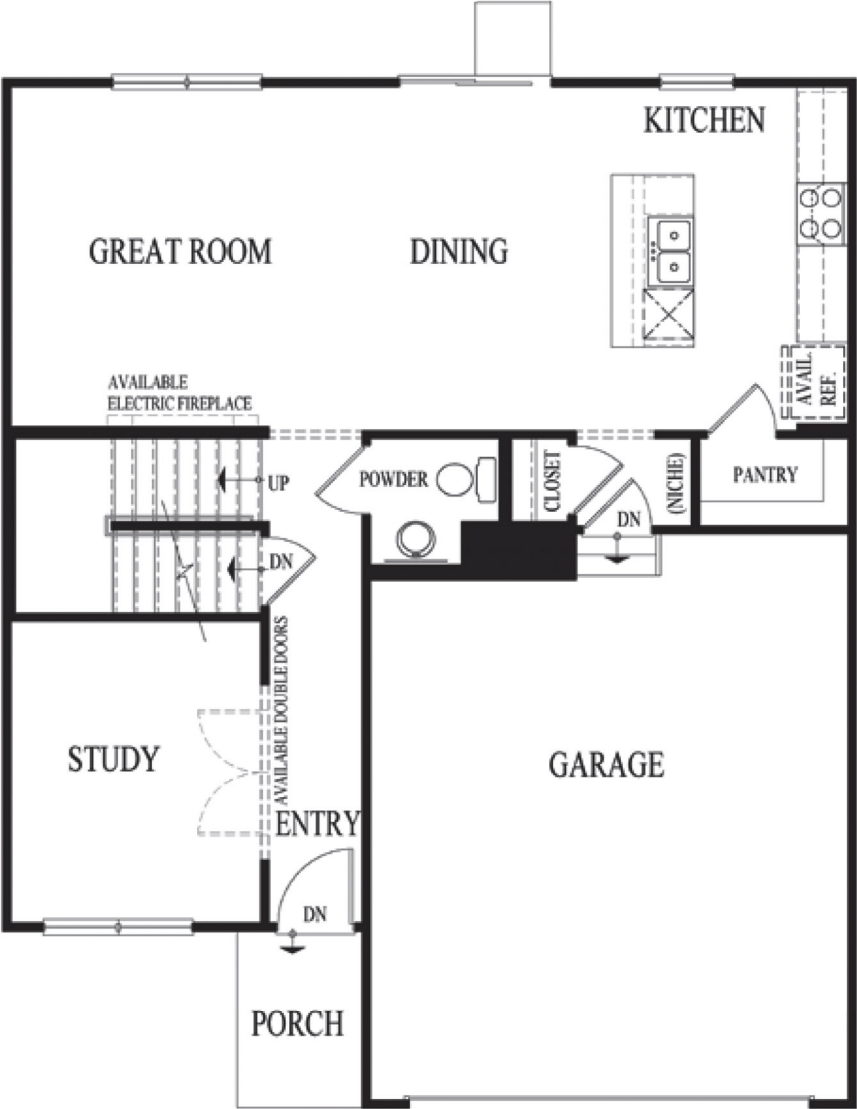
TYPICAL LEFT ELEVATION

x429

PRAIRIE LANDING

JOLIET, IL.

X-SERIES



Main Level

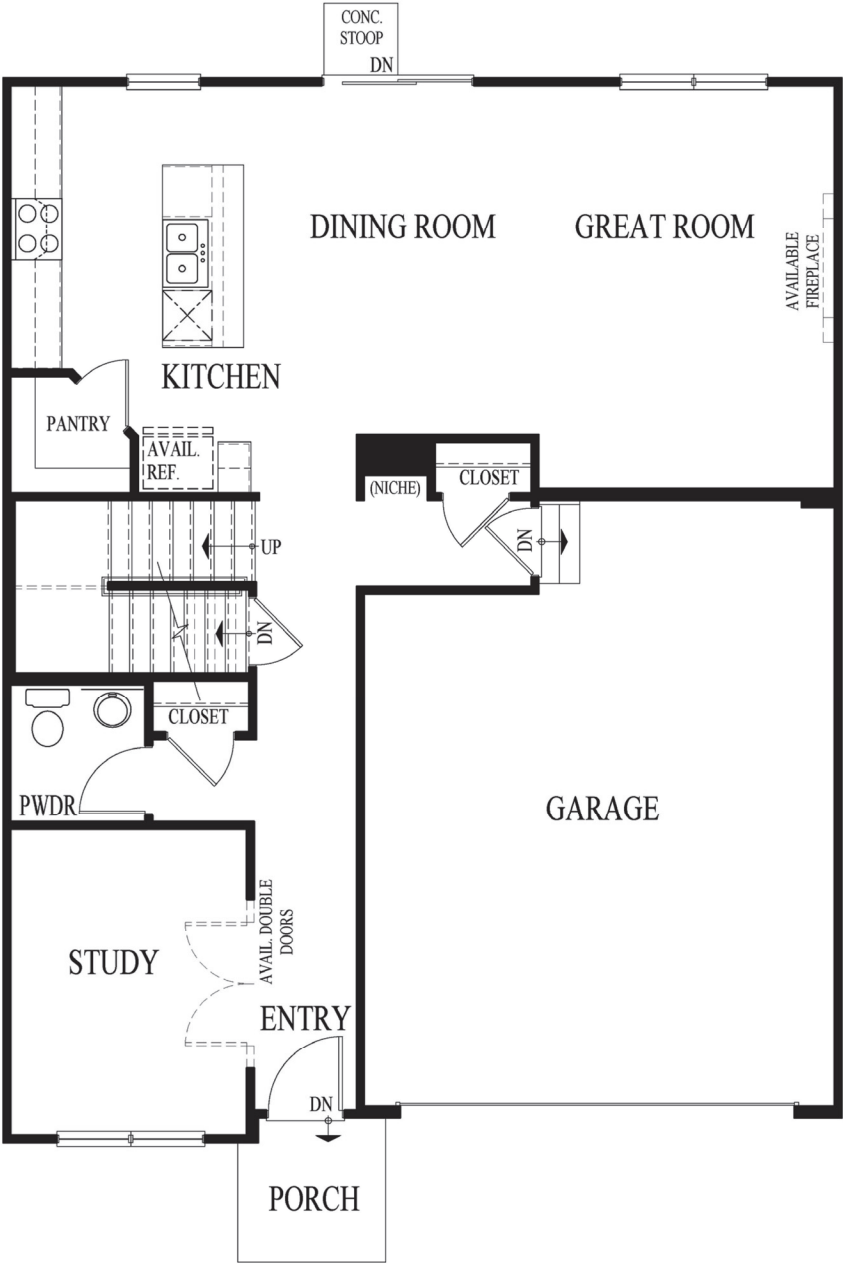
Upper Level

Partial Basement*

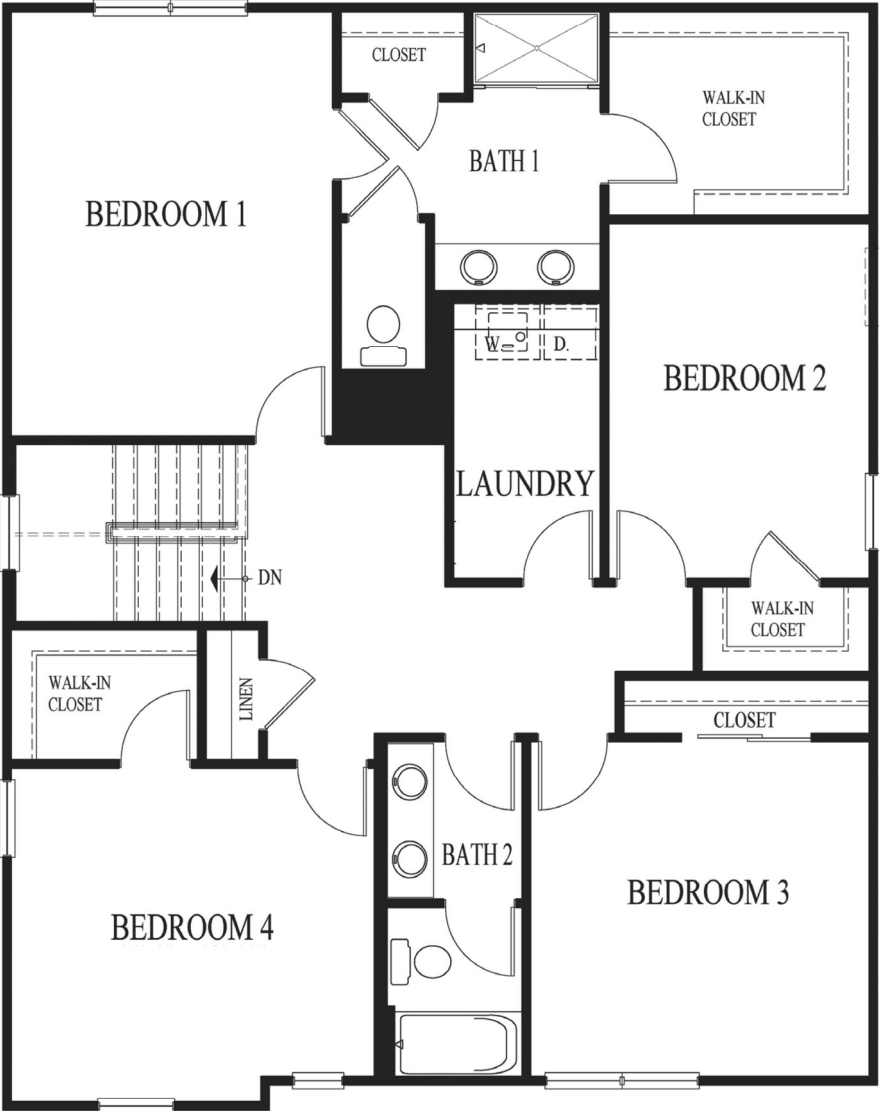
*Mechanical and window locations may vary. See a sales representative for details.



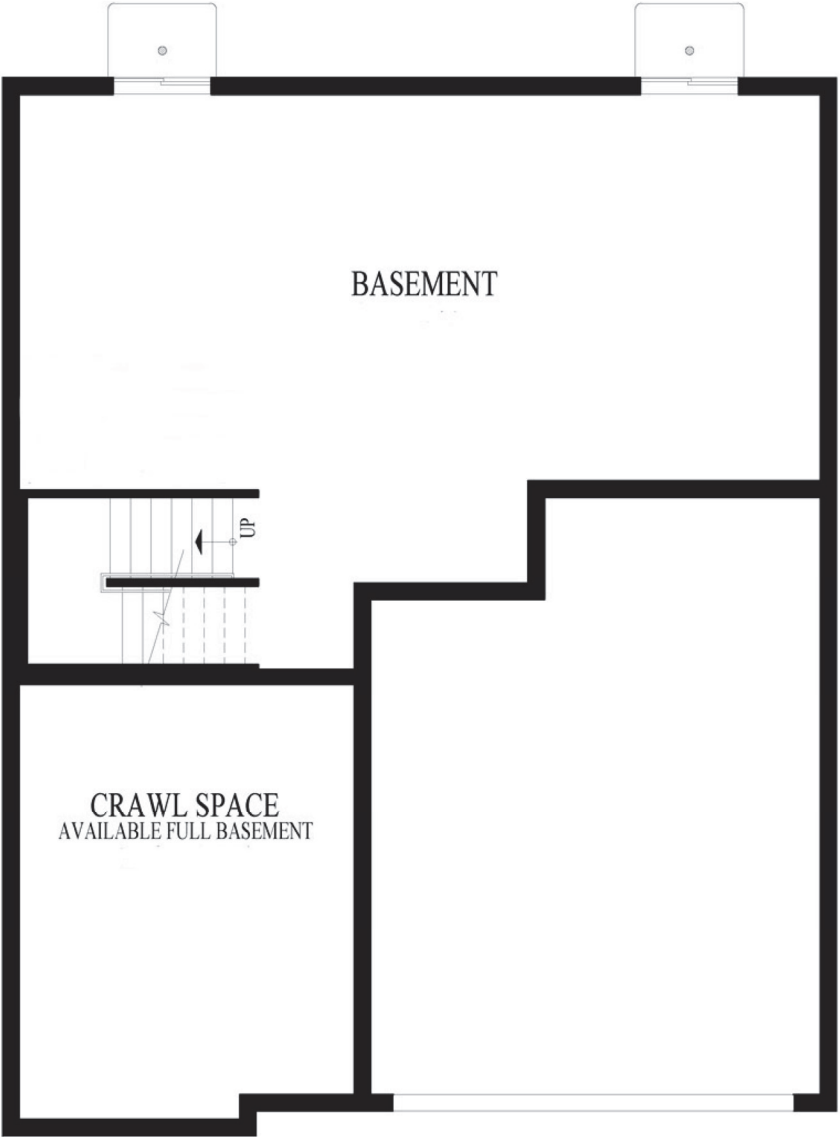
D.R. Horton is an equal housing opportunity builder. With basement foundations, water heaters and HVAC systems will be relocated to the first or second floors, as specified. All pricing, included features, terms, availability and amenities, are subject to change at any time without notice or obligation. Elevations and exterior materials may vary. Square footages, measurements and dimensions are approximate and will vary based on foundation type and options selected. Pictures, artist renderings, photographs, colors, features, and sizes are for illustration purposes only and will vary from the homes as built. Options and upgrades are available at an additional cost and are subject to availability and construction cut-off dates. REV 240716



Main Level



Upper Level



Partial Basement*

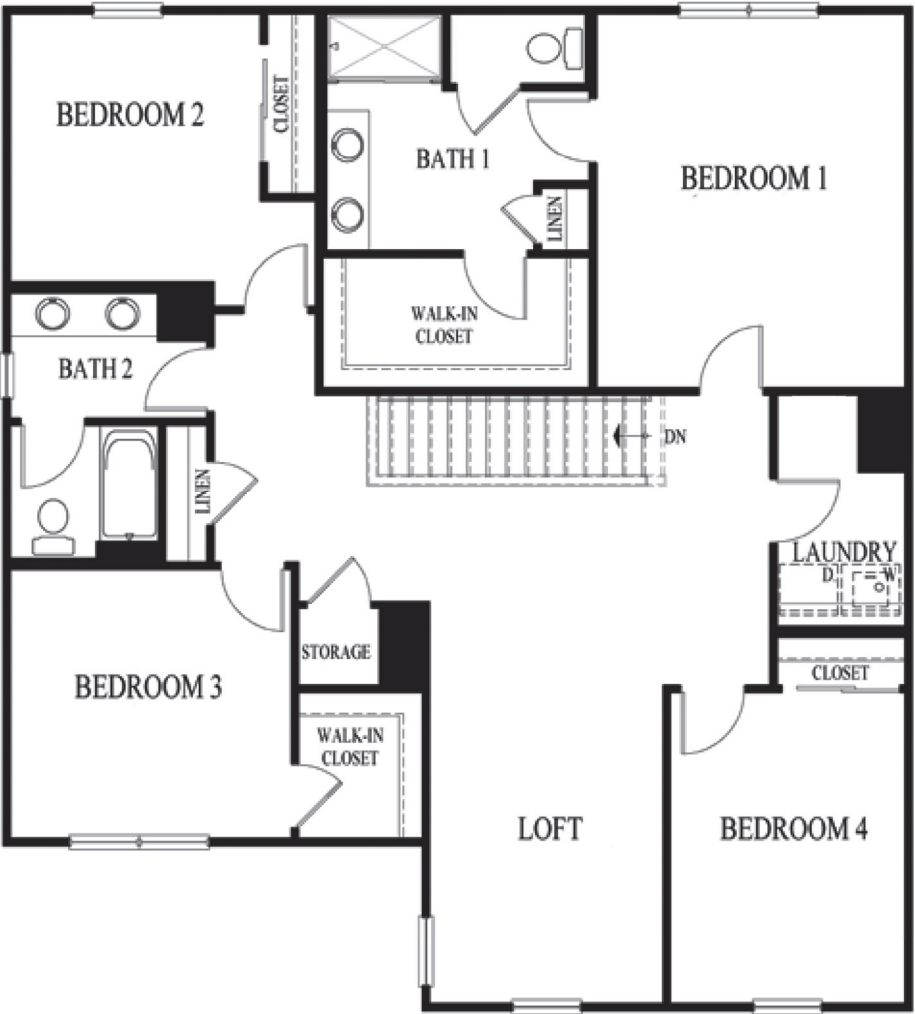
*Mechanical and window locations may vary. See a sales representative for details.



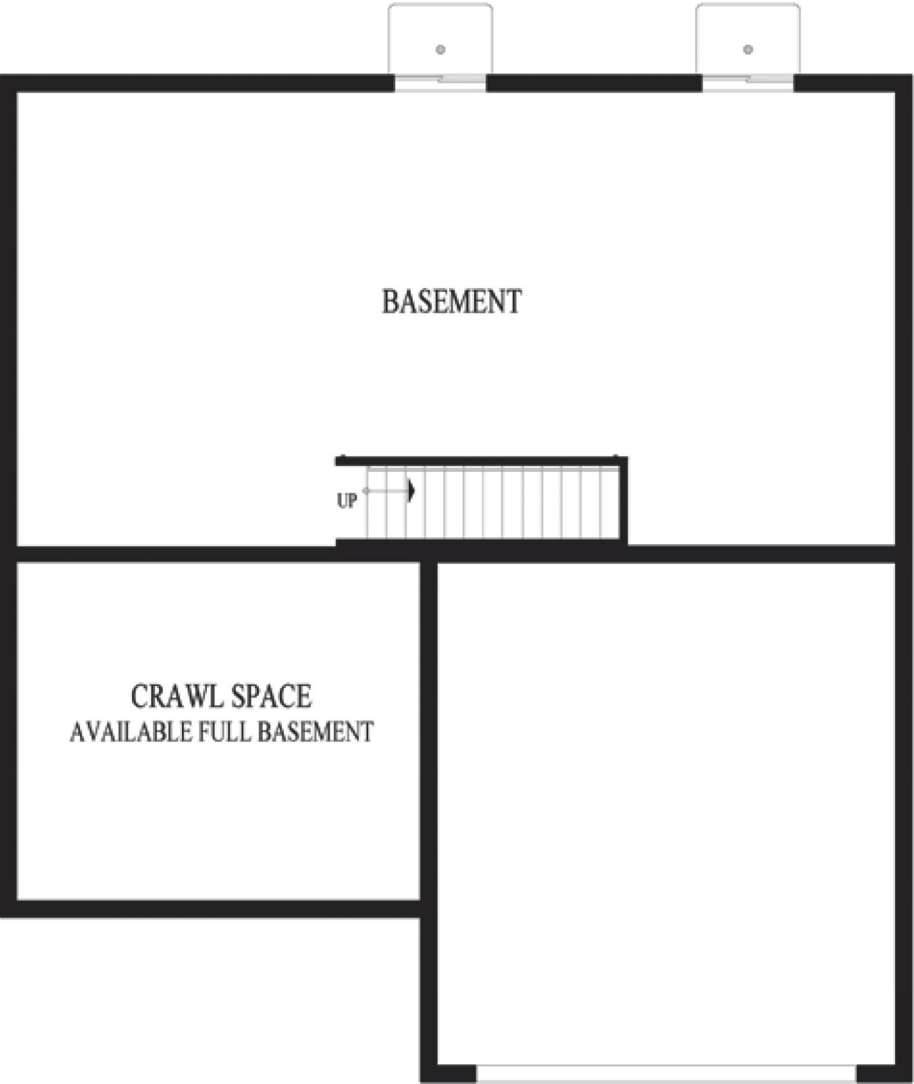
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Main Level



Upper Level



Partial Basement*

*Mechanical and window locations may vary. See a sales representative for details.



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