

## STAFF REPORT

**DATE:** April 9, 2026  
**TO:** Zoning Board of Appeals  
**FROM:** Helen Miller, Planner  
**RE:** Petition Number: 2026-20 and 2026-21  
Applicant: Abraham Garcia  
Status of Applicant: Property owner  
Location: 540 Bluff Street (Council District #4)  
Request: 2026-20: Variation of Use to allow conversion of a single-unit residence into a two-unit residence, an R-3 (one- and two-family residential) use, in the R-2 (single-family residential) zoning district  
2026-21: Variation to reduce the front yard setback to allow a second story addition

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### **Purpose**

The applicant is requesting a Variation of Use to allow the conversion of a single-unit residence into a two-unit residence, an R-3 (one- and two-family residential) use, within the R-2 (single-family residential) zoning district at 540 Bluff Street. The Variation of Use request must be considered by the City Council following the recommendation of the Zoning Board of Appeals.

The applicant is also requesting a Variation to reduce the required front yard setback from 30 feet to 12.9 feet to allow a second story addition on the existing structure. The Zoning Board of Appeals makes the final decision on this Variation request.

### **Site Specific Information**

The subject site is an 80-foot by 100-foot double lot (8,000 square feet) that contains a one-and-a-half-story single-unit residence built around 1906. There is an existing asphalt driveway along the south side of the house. The property is zoned R-2 (single-family residential).

The property was reclassified from the R-4 (multi-family residential) zoning district to the R-2 (single-family residential) zoning district in 1995 as part of a neighborhood-wide rezoning process. At that time, the property was identified as a single-family use. Based on historic Joliet Street Directory information, the property appears to have been a single-family residence since its construction.

The house has an existing nonconforming front yard setback: the setback to the porch is around 8.3 feet and the setback to the front wall of the house is around 12.9 feet. The required front yard setback in the R-2 district is 30 feet. Section 47-17.22(3) *Non-conforming Structures* of the Zoning Ordinance allows pre-existing nonconformities to remain as long as the structures are not enlarged or altered in a way that increases their nonconformity. The addition of a full second story, with the same 12.9-foot front yard setback as the existing structure, increases the nonconformity and requires approval of a Variation.

### **Surrounding Zoning, Land Use and Character**

The property is located in the Bicentennial Bluffs neighborhood on the east side of Bluff Street, south of Lime Street. The area contains a mix of single-unit, two-unit, and multi-unit residential uses. The zoning and land use for the adjacent properties are as follows:

- North: R-2 (single-family residential), residence
- South: R-2 (single-family residential), residence and auto repair business
- East: Des Plaines River
- West: R-2 (single-family residential), residences

### **Applicable Regulations**

- Section 47-7 R-3 (One- and Two-Family Residential) District
- Section 47-6 R-2 (Single-Family Residential) District
- Section 47-17.28 Variation of Use

**Section 47-17.28: Variation of Use:** *A "variation of use" shall be defined to mean relief from strict compliance with the use limitations of this Ordinance regarding the classification, regulation, and restriction of the location where trades, industries, businesses, and residences may exist.*

### **Discussion**

The petitioner, Abraham Garcia, is requesting a Variation of Use to allow a two-unit residence in the R-2 (single-family residential) zoning district. The petitioner purchased the property in December 2025 and began construction to convert the structure from a one-and-a-half-story single-unit residence into a two-story two-unit residence. The owner began work without a permit. When City staff alerted the owner to apply for building permits, staff also informed the owner that a two-unit was a prohibited use in this zoning district and that approvals of a Variation of Use and Variation would also be needed. The owner ceased work on the structure and applied for these petitions.

The structure prior to the recent construction is shown in Figure 1; the current structure is shown in Figure 2. The proposed elevations and floor plans are included as an

attachment to the staff report packet. Each floor would contain one dwelling unit with three bedrooms and approximately 1,012 square feet of living area. The units would have separate entrances and no interior connections. The existing front porch and enclosed side porch would remain. The proposed two-story structure would have a gable roof with a 4:12 pitch. As a condition of approval, the parkway along the frontage of the north side of the lot would need to be returned to grass.

The required number of off-street parking spaces for a two-unit residence is three spaces. The site plan shows that these will be provided on the existing paved driveway along the south side of the house. The property also meets the required lot area per family of 3,500 square feet, which is the area required per unit for two-unit dwellings in the R-3 (one- and two-family residential) district.

The construction of a full second story requires approval of a Variation because the front wall of the second story has the same nonconforming front yard setback of 12.9 feet as the existing structure. The Variation for the second story addition is required regardless of whether the structure contains one unit or two units.

The petitioner states that they plan to live in one of the units and rent out the other unit. If the Variation of Use is approved, the property will need to be enrolled in and comply with the City's Rental Inspection Program.

### **Recommended Action**

Staff does not find that the Variation of Use request meets the criteria for hardship or practical difficulties. However, staff does find that the proposed two-unit use would not alter the essential character of the area. The neighborhood has a mix of single- and multi-unit properties. The property in question can accommodate the required number of off-street parking spaces. Approval of the Variation of Use would allow one additional dwelling unit within the neighborhood.

Staff finds that the setback Variation request meets the following criteria: there is a physical hardship due to the house's existing location on the lot. The house was built prior to the adoption of the Zoning Ordinance bulk requirements and has an existing nonconforming front yard setback. The petitioner would not be able to add a second story in an architecturally sensitive manner and meet the current setback requirements. Additionally, approval of the requested Variation to allow a full second story will not alter the essential character of the area.

### **Conditions**

If the Zoning Board desires to approve the Variation of Use to allow conversion of a single-unit residence into a two-unit residence and Variation to reduce the front yard

setback to allow a second story addition at 540 Bluff Street, staff recommends that the following conditions would be included:

1. That the property shall be enrolled in and comply with the City's Rental Inspection Program;
2. That the area between the street edge and the front property line shall be seeded or sodded with turf grass prior to issuance of a Certificate of Occupancy;
3. That the use of the property shall not be expanded in the future;
4. Should the property be declared a public nuisance, the property may be subject to a rehearing and a possible revocation of the Variation of Use.

Figure 1: One-and-a-half-story structure at 540 Bluff Street (April 2025)



Figure 2: Current structure at 540 Bluff Street (April 2026)



Figure 3: Current structure at 540 Bluff Street (April 2026)

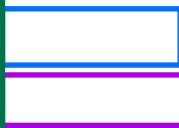


Figure 4: Aerial view of the subject site (2025)





## 2026-20a, 2026-21a











= Property in Question / Propiedad en cuestión  
 = 600' Public Notification Boundary /  
 Límite de notificación pública de 600 ft (180 m)



**2026-20, 2026-21**



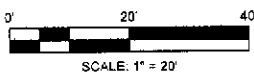
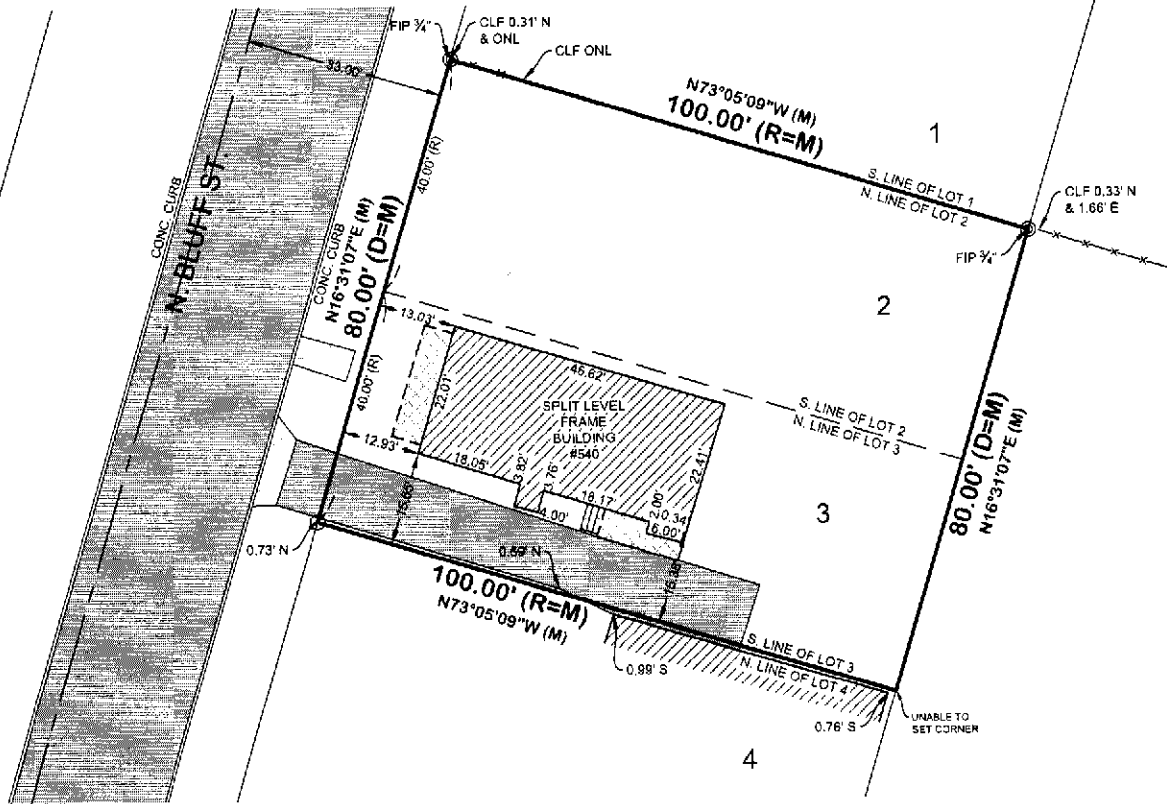
 = Property in Question  
 = 600' Public Notification Boundary

Legend					
	B-1		I-TA		R-2
	B-2		I-TB		R-2A
	B-3		I-TC		R-3
	I-1		R-1		R-4
	I-2		R-1A		R-5
	I-T		R-1B		R-B

Will County 911, City of Joliet

# PLAT OF SURVEY

OF  
 LOTS 2 AND 3, IN BLOCK 4 IN NORTH JOLIET, IN THE CITY OF JOLIET, A SUBDIVISION OF PART OF THE NORTHEAST 1/4 OF SECTION 9, IN TOWNSHIP 35 NORTH, AND RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN WILL COUNTY, ILLINOIS.



### LEGEND

(M)	MEASURED DIMENSION	ONL	ON LINE	⊙	FOUND IRON PIPE 1/2" (FIP)		BUILDING
(R)	RECORD DIMENSION	POB	POINT OF BEGINNING	⊙	SET IRON PIPE 1/2" (SIP)		CONCRETE
(D)	DEED DIMENSION	POC	POINT OF COMMENCEMENT	⊙	FOUND IRON ROD 5/8" (FIR)		ASPHALT
CH	CHORD DIMENSION	OH	OVERHANG	⊙	SET IRON ROD 5/8" (SIR)		WOOD
B.S.L.	BUILDING SETBACK LINE	TYP	TYPICAL	+	CUT CROSS		METAL
⊙C	POINT OF CURVATURE	CLF	CHAIN LINK FENCE	+	FOUND CROSS		BRICK
PT	POINT OF TANGENCY	WF	WOOD FENCE	+	CUT NOTCH		GRAVEL
PRC	POINT OF RETURN CURVE	MF	IRON/METAL FENCE	+	FOUND CROSS		STONE
L	ARC LENGTH DIMENSION	PF	PLASTIC/VINYL FENCE	+	FOUND MAG NAIL (FMAG)		WATER
R	ARC RADIUS DIMENSION	WRF	WIRE FENCE	+	SET MAG NAIL (SMAG)		OVERHANG
CH	ARC CHORD DIMENSION	GR	GUARD RAIL	+	RTW		ADDITION

### SURVEY NOTES:

- FOR BUILDING LINES, EASEMENTS AND OTHER RESTRICTIONS NOT SHOWN HEREON, REFER TO YOUR DEED, TITLE POLICY AND LOCAL ZONING ORDINANCE ETC.
- ALL DIMENSIONS ARE IN FEET AND DECIMAL PARTS THEREOF.
- REVIEW LEGAL DESCRIPTION AND RECORD MEASUREMENT ON THIS PLAT AND REPORT ANY DISCREPANCIES TO SURVEYOR AT ONCE, BEFORE DAMAGE MAY OCCUR.
- COMPARE ALL POINTS BEFORE BUILDING BY SAME.
- WE DO NOT CERTIFY UTILITIES, THEREFORE, CONTACT UTILITIES COMPANIES BEFORE BUILDING.
- BASIS OF BEARING IF SHOWN IS ASSUMED UNLESS NOTED.
- DATE OF FIELD WORK IS DATE SHOWN IN CERTIFICATION.
- NO MEASUREMENTS ARE TO BE ASSUMED BY SCALING.
- ANY COMMENTS, MODIFICATIONS, ALTERATIONS AND REVISIONS MUST BE BROUGHT TO OUR ATTENTION WITHIN 90 DAYS OF DATE OF COMPLETION OF THIS SURVEY.
- TREES AND UTILITIES ARE NOT SHOWN HEREON.
- CATEGORY OF THIS SURVEY IS BASED UPON CLIENT'S REQUEST.
- TO ENSURE LEGITIMACY OF THIS PLAT, IT MUST CARRY THE SEAL OF THE PROFESSIONAL LICENSEE WHO PREPARED THIS PLAT.
- ALL BUILDING DIMENSIONS AND TIES ARE TO CURRENT SIDING MATERIAL AND NOT TO FOUNDATION.
- ARCHITECT, OWNER OR ENGINEER SHOULD VERIFY AND RE-MEASURE BUILDING FOR BUILDING ADDITION PURPOSES.
- NO PHOTOCOPIES/SCANNED COPIES SHALL BE MADE WITHOUT EXPRESS AUTHORIZATION FROM PROFESSIONAL LAND SURVEYOR.
- NO IMPROVEMENTS SHALL BE CONSTRUCTED BASED ON TIES SHOWN HEREON WITHOUT PRIOR WRITTEN APPROVAL FROM THE PROFESSIONAL LAND SURVEYOR. REFERENCE SHALL BE MADE ONLY TO EXISTING MONUMENTATION.
- REFER TO LOCAL TAX ASSESSOR'S OFFICE FOR REPORTED SQUARE FOOTAGE.

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### SNOW NOTE:

DUE TO SNOW OR ICE COVERAGE, SOME IMPROVEMENTS MAY NOT BE SHOWN HEREON.

**SUBJECT SITE AREA:**  
8,000.2± SQ. FT.

### BASIS OF BEARINGS:

THE BASIS OF BEARINGS IS THE STATE PLANE COORDINATE SYSTEM (SPCS) NAD 83 (2011) EAST ZONE. ALL MEASUREMENTS ARE ON THE GROUND.

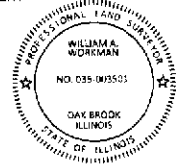
STATE OF ILLINOIS  
 COUNTY OF DUPAGE

WE, PI SURVEYING PLLC, AN ILLINOIS PROFESSIONAL DESIGN FIRM DO HEREBY CERTIFY THAT THE SURVEY WAS MADE UNDER ITS SUPERVISION ON THE GROUND AND THE PLAT HEREON DRAWN IS A REPRESENTATION OF SAME. THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR BOUNDARY SURVEY.

DATED AT OAK BROOK, ILLINOIS THIS 9th DAY OF DECEMBER, 2025.

BY: \_\_\_\_\_  
 ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 035.003501  
 LICENSE EXPIRES 11/30/2026

ILLINOIS PROFESSIONAL DESIGN FIRM NO. 184.008811-0003



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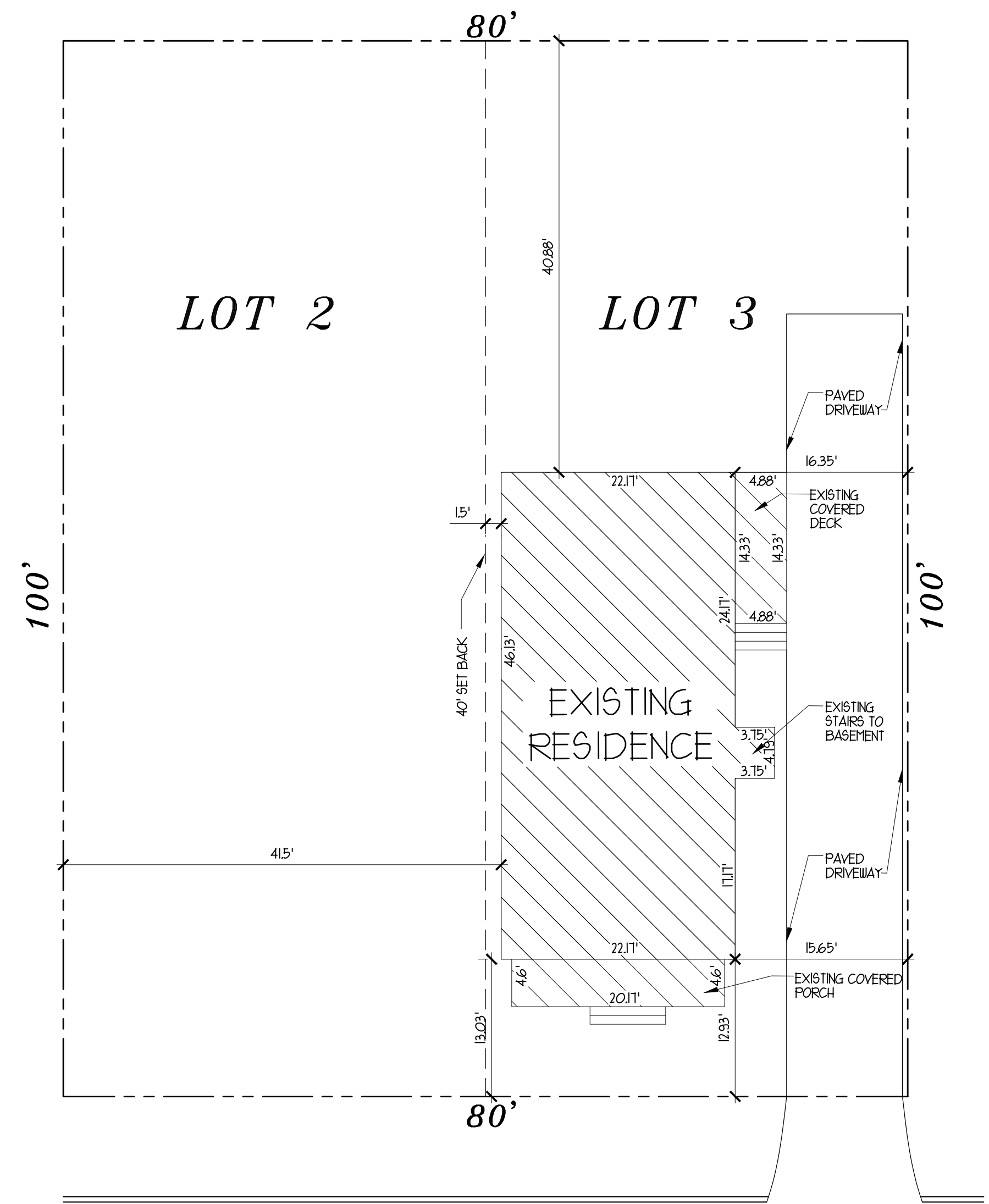


## Pi Surveying PLLC

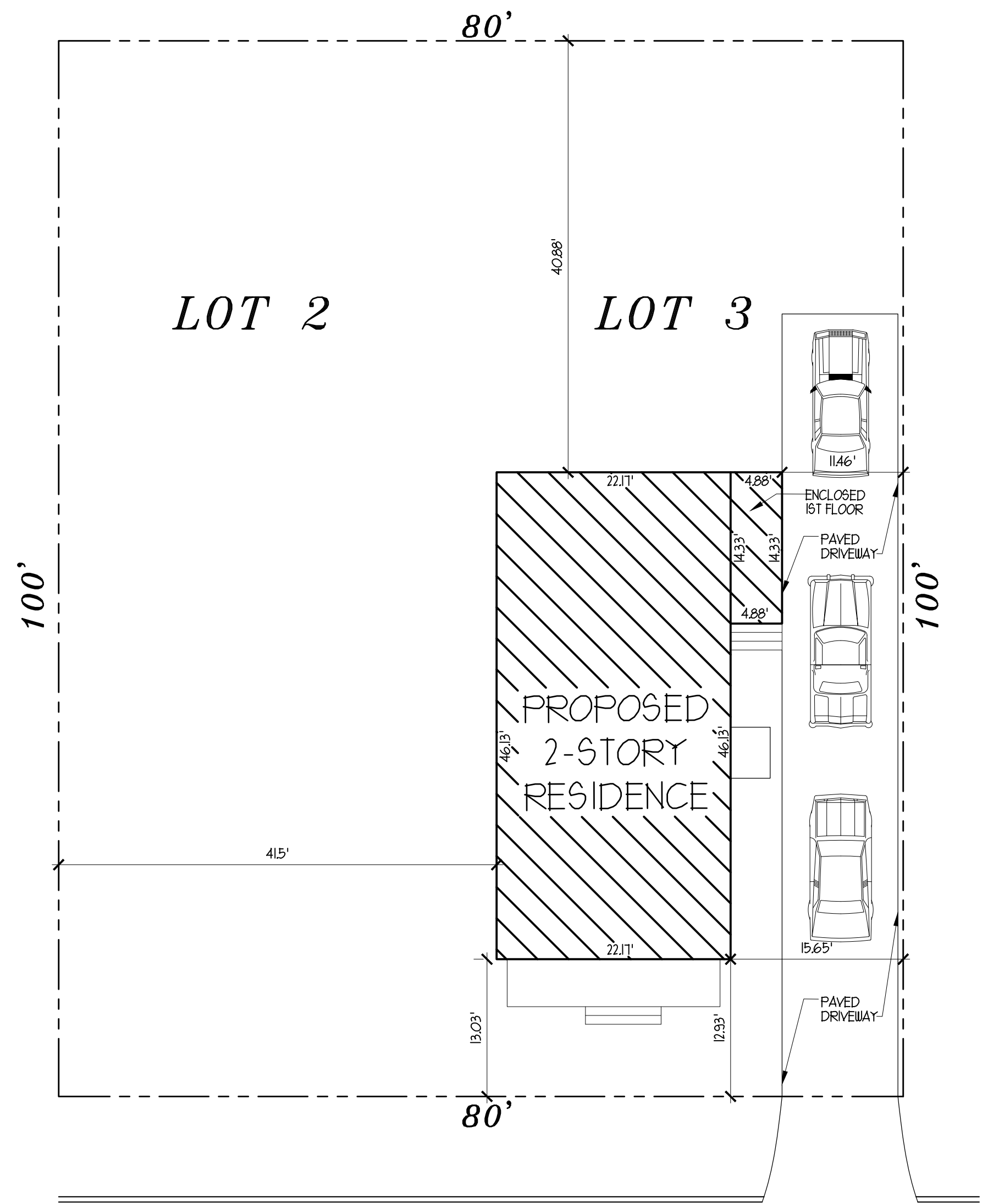
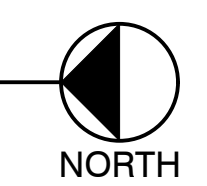
LAND SURVEYORS  
 903 COMMERCE DRIVE, SUITE 210, OAK BROOK, IL 60423  
 PHONE: (773) 444-0445      www.pisurveying.com

ADDRESS: 540 NORTH BLUFF STREET, JOLIET, IL, 60435

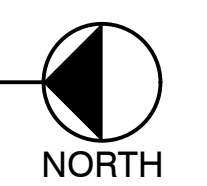
FILE NUMBER: L25-5782  
 ORDERED BY: HANSON & ASSOCIATES, LTD  
 CATEGORY: BOUNDARY    FIELD BY: AW    DRAWN BY: AB    CHECKED BY: WAW



N. BLUFF ST.



N. BLUFF ST.



DRAWING INDEX	
S-1	EXISTING & PROPOSED SITE PLANS
A-1	EXISTING FLOOR PLANS & WALL SECTION
A-2	EXISTING ELEVATIONS
A-3	PROPOSED FLOOR PLANS
A-4	PROPOSED ROOF PLAN & WALL SECTION
A-5	PROPOSED ELEVATIONS
E-1	PROPOSED ELECTRICAL PLANS

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ISSUED FOR CITY VARIANCE FEBRUARY 9, 2026

REVISION NO.	DATE	REMARKS

**PROPOSED 2ND FLOOR ADDITION**  
 FOR : GARCIA  
 540 N. BLUFF ST., JOLIET, IL, 60435

DRAWN BY: M.A.  
 CHECKED BY: BOB GEBEL  
 DATE: FEBRUARY 9, 2026  
 PROJECT NO: 26-02  
 TITLE: EXISTING FLOOR PLANS

**SHEET A-1**

REVISION NO.	DATE	REMARKS

ISSUED FOR CITY VARIANCE FEBRUARY 9, 2026

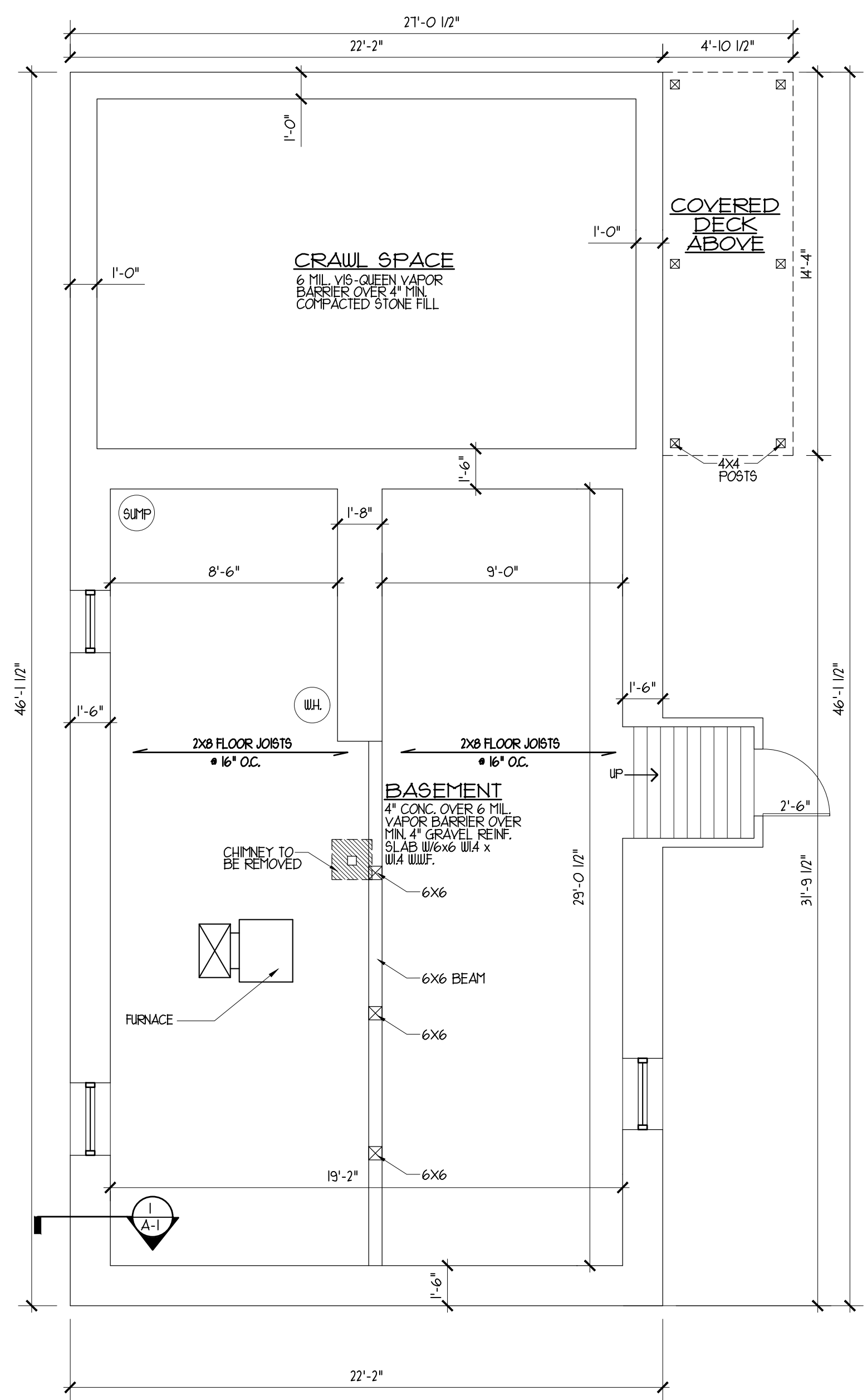
PROPOSED 2ND FLOOR ADDITION  
 FOR: GARCIA  
 540 N. BLUFF ST., JOLIET, IL, 60435

DRAWN BY: M. A.  
 CHECKED BY: BOB GEBEL  
 DATE: FEBRUARY 9, 2026  
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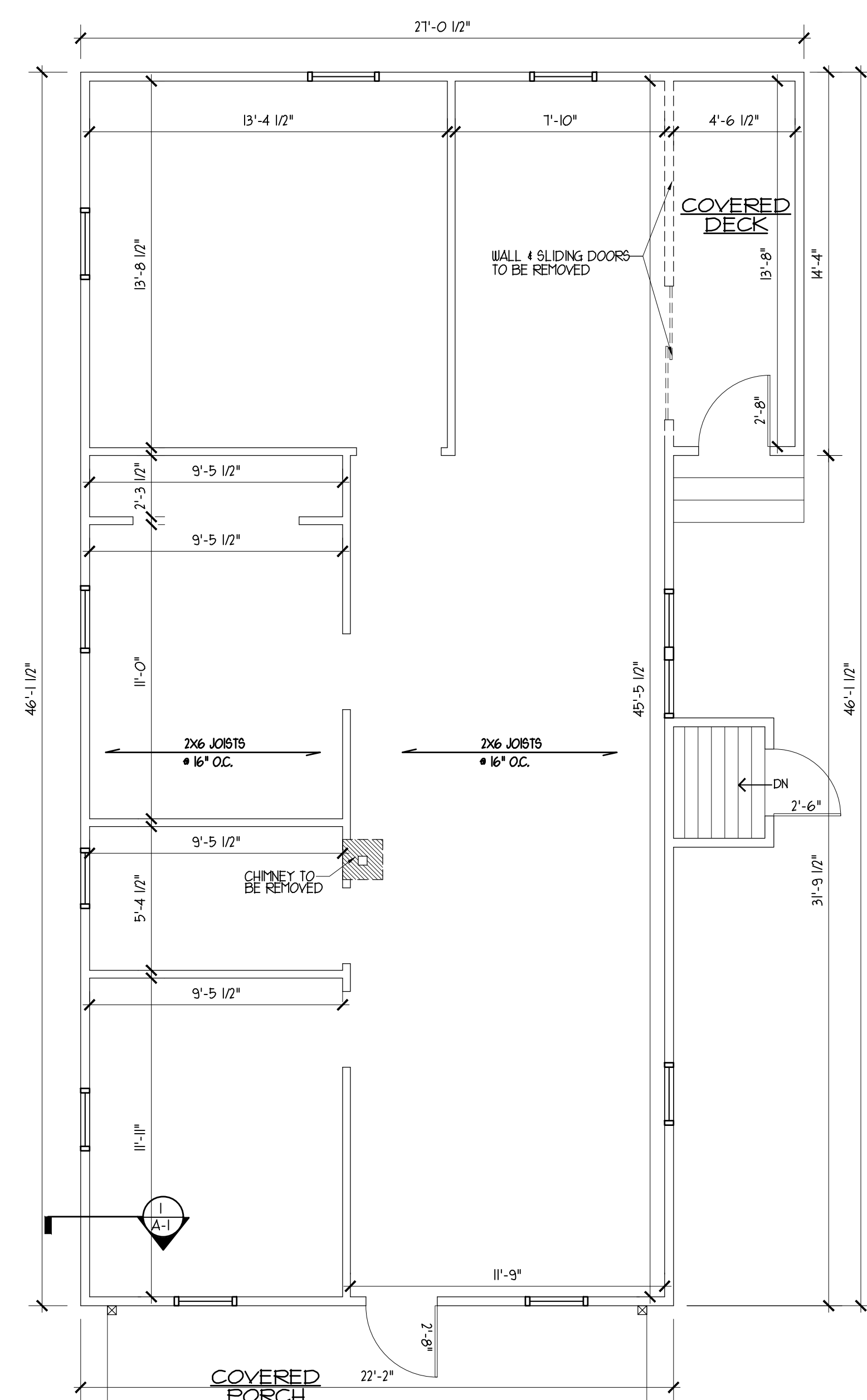
**ADMINISTRATIVE NOTES**

- THIS ARCHITECT HAS NOT BEEN RETAINED TO SUPERVISE CONSTRUCTION OF THIS PROJECT. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE CONSTRUCTION BASED ON THE DRAWINGS.
- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PREFERENCE OVER SCALED DIMENSIONS.
- THE INFORMATION CONTAINED IN THESE DRAWINGS WAS OBTAINED PREVIOUSLY. IF CONDITIONS HAVE CHANGED SUBSEQUENT TO COMPLETION OF THE DRAWING (I.E. DESIGN, CONTRACTOR, PRE-FABRICATED METAL BUILDING DESIGN OR SUPPLIER) THE ARCHITECT SHALL BE CONTACTED FOR REVISIONS TO THE DRAWINGS. IF NOT CONTACTED THE CONTRACTOR AND OWNER SHALL ASSUME RESPONSIBILITY FOR ANY VARIATIONS OR CHANGES FROM ANY INFORMATION, MATERIAL, ETC., ON THESE DRAWINGS.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD PRIOR TO STARTING THE WORK.
- ALL DIMENSIONS ON STRUCTURAL DRAWINGS TO BE CHECKED AND COORDINATED AGAINST ARCHITECTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS BY CONTRACTOR.
- THE CONTRACTOR, OWNER OR OTHER SHALL BE RESPONSIBLE FOR ANY DEVIATIONS OR CHANGES FROM THESE PLANS WITHOUT APPROVAL OF THE ARCHITECT.
- ALL CONSTRUCTION SHALL BE DONE BY A LICENSED CONTRACTOR AND ACCORDING TO THE ICC INTERNATIONAL RESIDENTIAL CODE 2018.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE LOCATION AND PLACEMENT OF INSERTS, HANGERS, SLEEVES, DUCTWORK, PADS AND ANCHOR BOLTS THAT ARE REQUIRED BY THE MECHANICAL EQUIPMENT. NO SLEEVES GREATER THAN 4 INCH DIAMETER OR ANY OPENINGS CLOSER THAN 12 INCHES TO A COLUMN SHALL BE ALLOWED IN THE CONCRETE WORK, UNLESS SHOWN ON THE STRUCTURAL DRAWINGS OR APPROVAL BY THE STRUCTURAL ENGINEER OR ARCHITECT. THE GENERAL CONTRACTOR SHALL VERIFY ALL OPENINGS THROUGH FLOORS AND WALLS WITH MECHANICAL AND ELECTRICAL CONTRACTORS.
- THE INFORMATION CONTAINED ON THE STRUCTURAL DRAWINGS IS IN ITSELF INCOMPLETE AND VOID UNLESS USED IN CONJUNCTION WITH THE CONTRACT DOCUMENTS AND WITH ALL THE SPECIFICATIONS, TRADE PRACTICES OR APPLICABLE STANDARDS, CODES, ETC., INCORPORATED THEREIN BY REFERENCE WHICH THE CONTRACTOR CERTIFIES KNOWLEDGE OF BY SIGNING THE CONTRACT.
- ALL PLUMBING SHALL BE DONE BY A LICENSED CONTRACTOR AND ACCORDING TO ILLINOIS STATE PLUMBING CODE 2014.
- ALL ELECTRICAL WORK SHALL BE DONE BY A LICENSED CONTRACTOR AND ACCORDING TO THE NATIONAL ELECTRICAL CODE 2014.
- ALL MECHANICAL WORK SHALL BE DONE BY A LICENSED CONTRACTOR AND ACCORDING TO THE INTERNATIONAL MECHANICAL CODE 2015.
- ALL INSULATION & ENERGY CONSERVATION WORK SHALL BE DONE ACCORDING TO THE INTERNATIONAL ENERGY CONSERVATION CODE 2012.

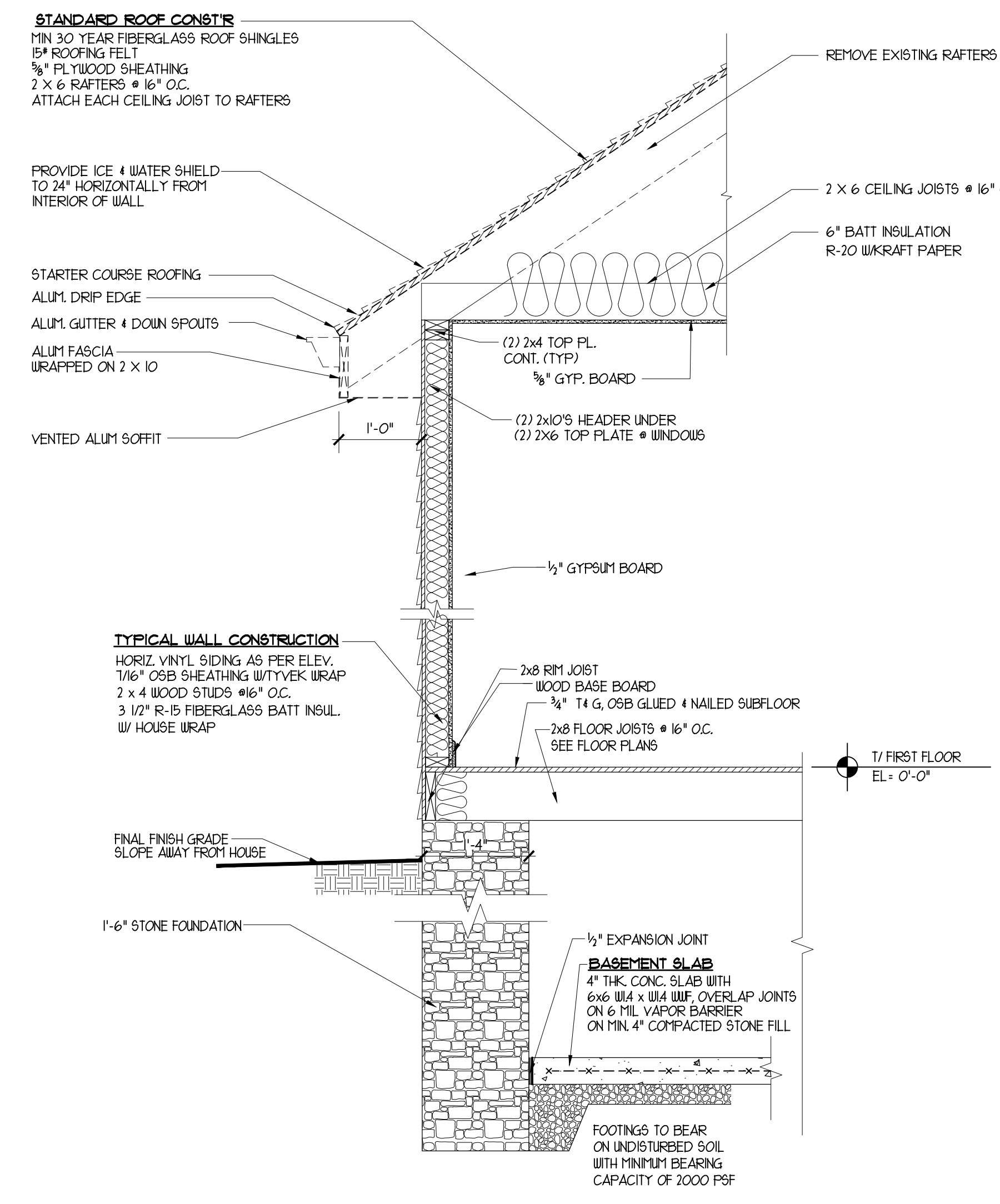
<b>ROOF LOADS</b>	<b>SECOND FLOOR LOADS</b>
30 PSF LIVE LOAD 15 PSF DEAD LOAD	30 PSF LIVE LOAD 15 PSF DEAD LOAD
<b>FIRST FLOOR LOADS</b>	
40 PSF LIVE LOAD 15 PSF DEAD LOAD	
<b>ATTIC FLOOR LOAD</b>	
NO STORAGE 10 PSF LIVE LOAD 5 PSF DEAD LOAD	
<b>WIND LOADS</b>	
115 MPH	



**EXISTING FOUNDATION PLAN**  
 SCALE: 1/4" = 1'-0"  
 NORTH



**EXISTING FIRST FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"  
 NORTH



**EXISTING WALL SECTION**  
 SCALE: 3/4" = 1'-0"

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REVISION NO.	DATE	REMARKS

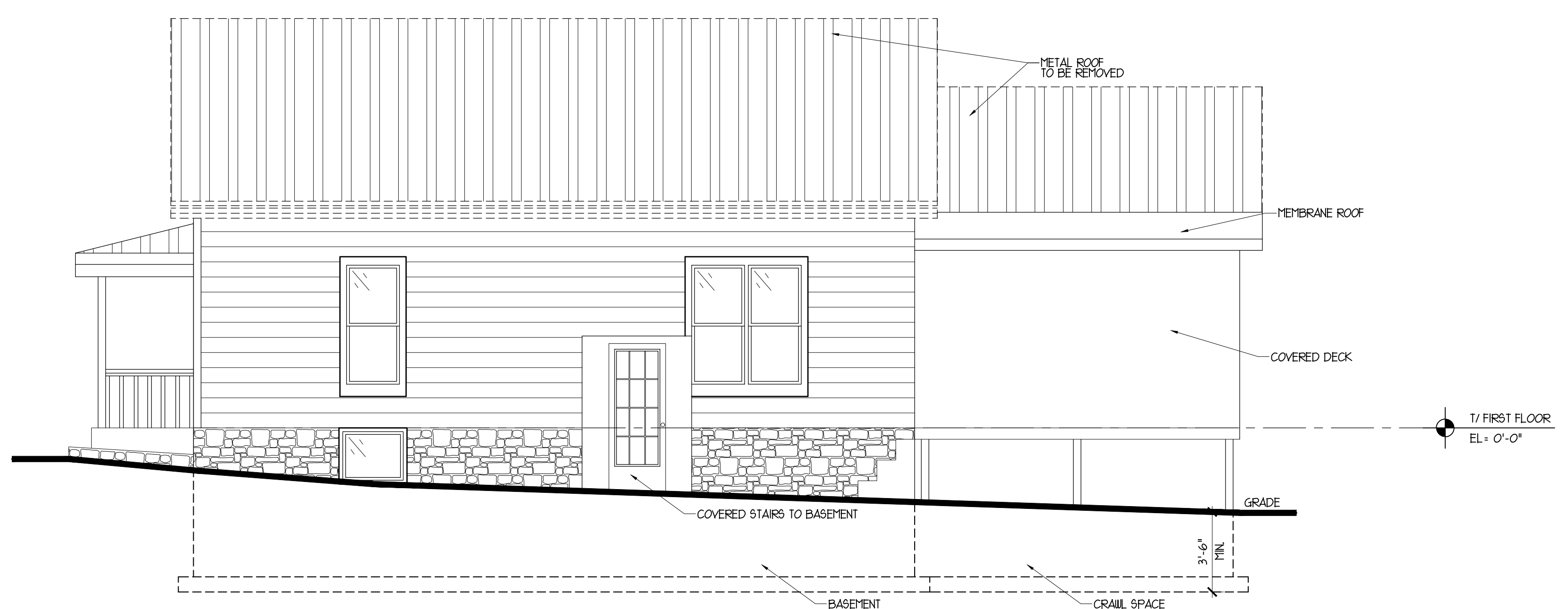
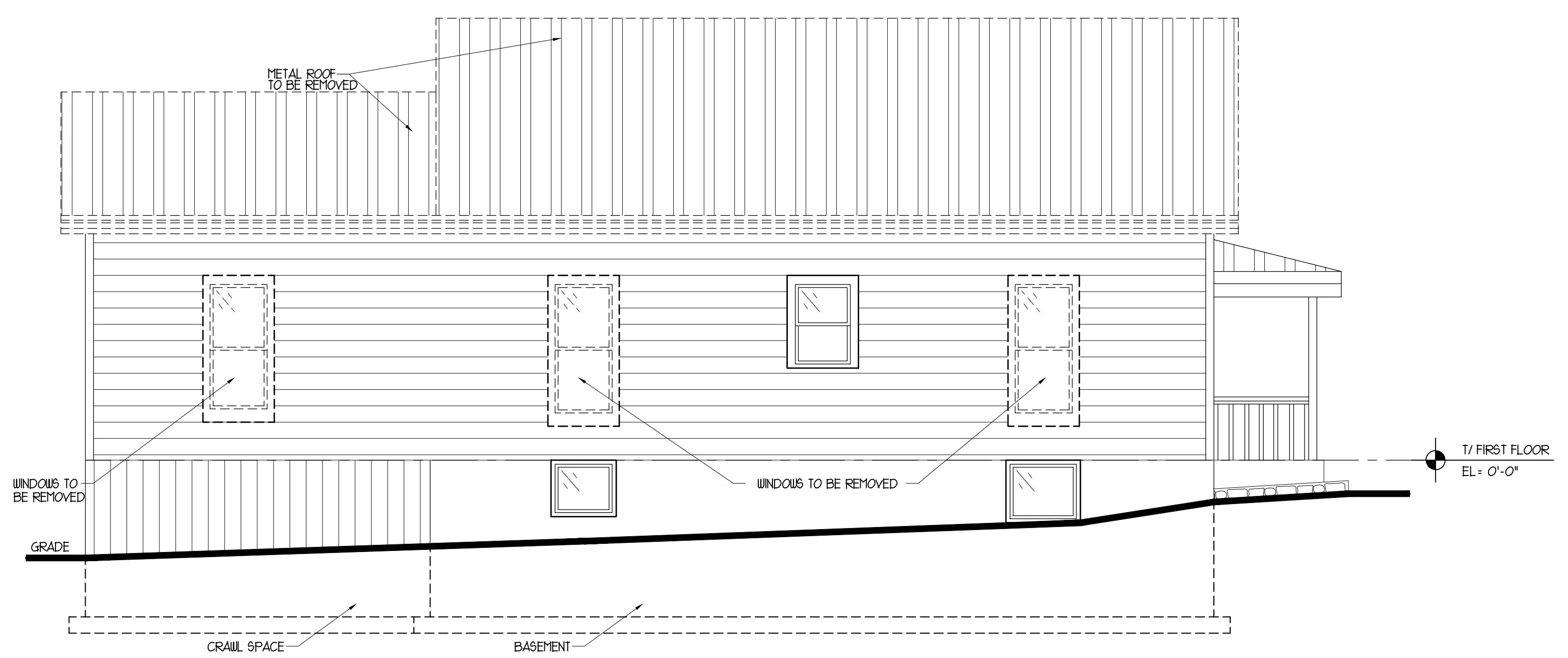
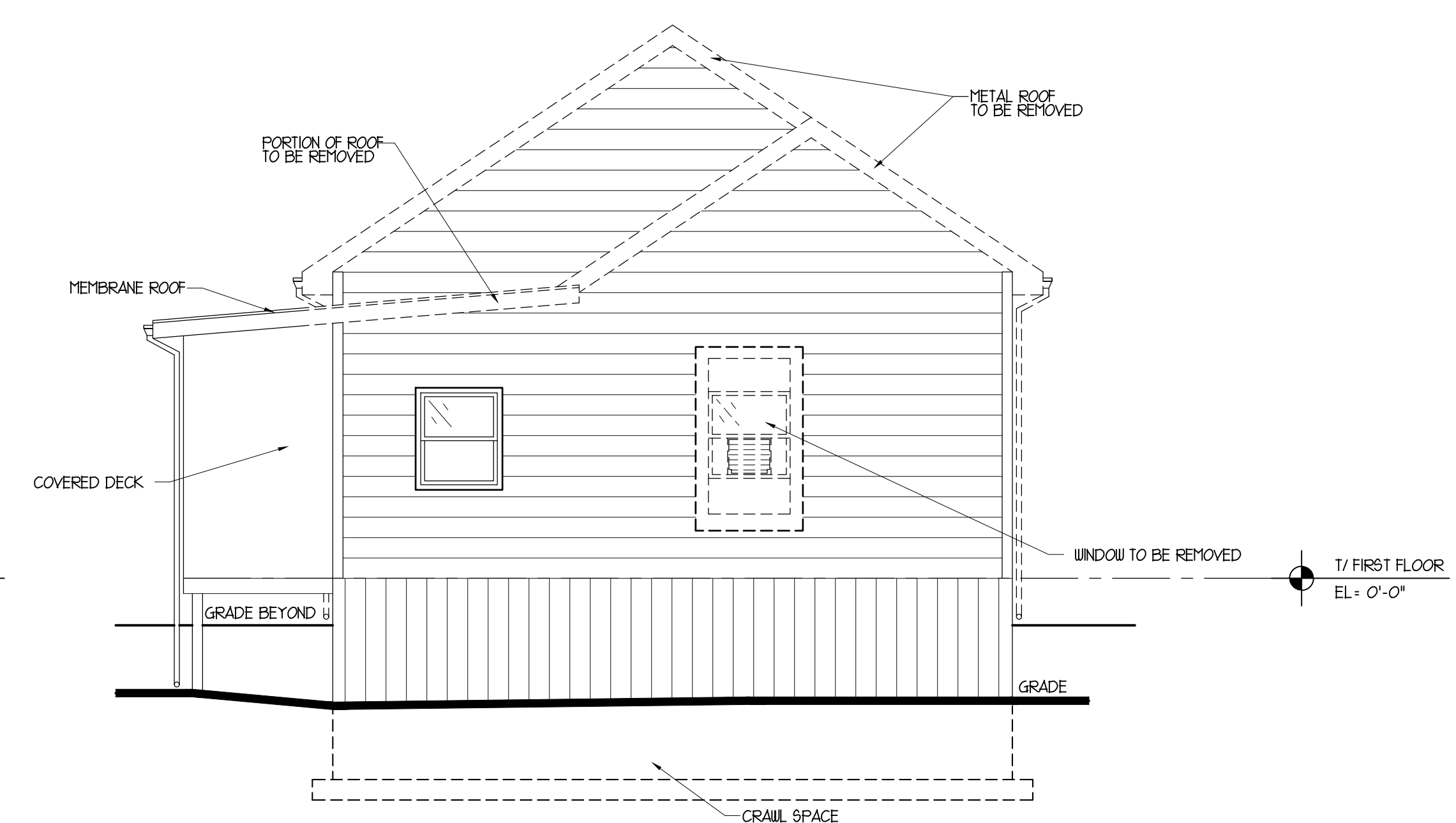
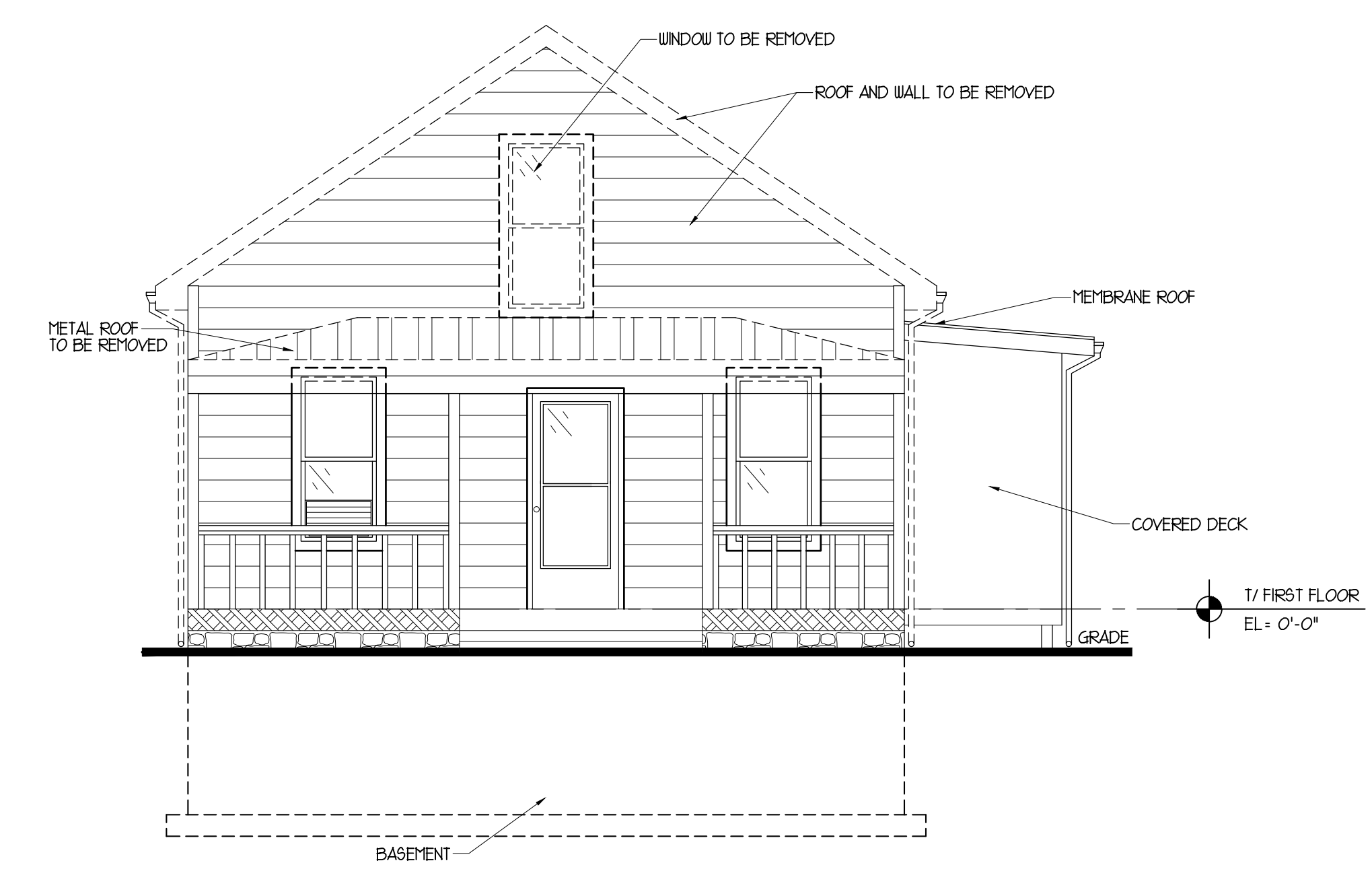
ISSUED FOR CITY VARIANCE FEBRUARY 9, 2026

PROPOSED 2ND FLOOR ADDITION  
 FOR : GARCIA  
 540 N. BLUFF ST., JOLIET, IL, 60435

DRAWN BY: M.A.
CHECKED BY: BOB GEBEL
DATE: FEBRUARY 9, 2026
PROJECT NO: 26-02
TITLE: EXISTING ELEVATIONS

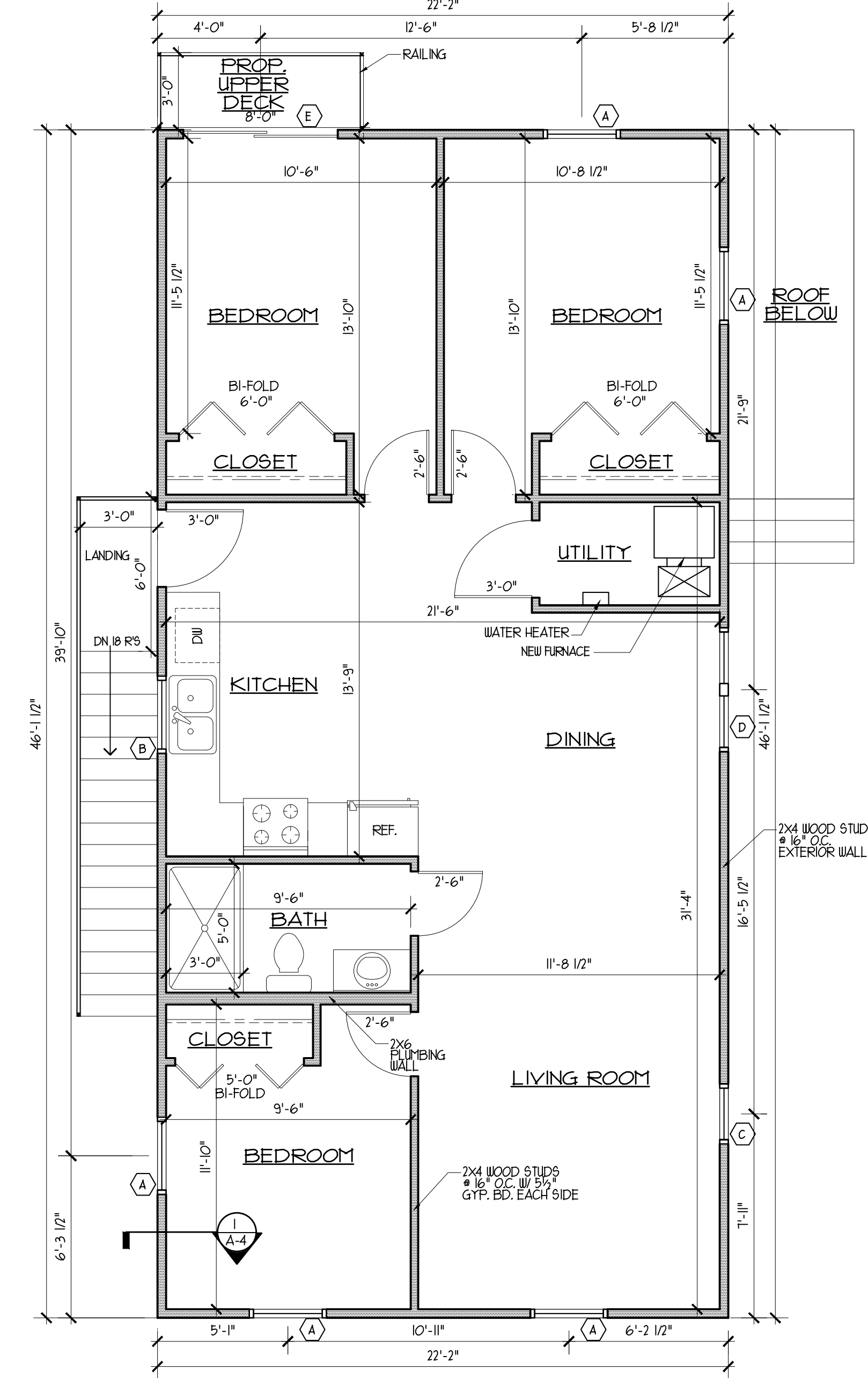
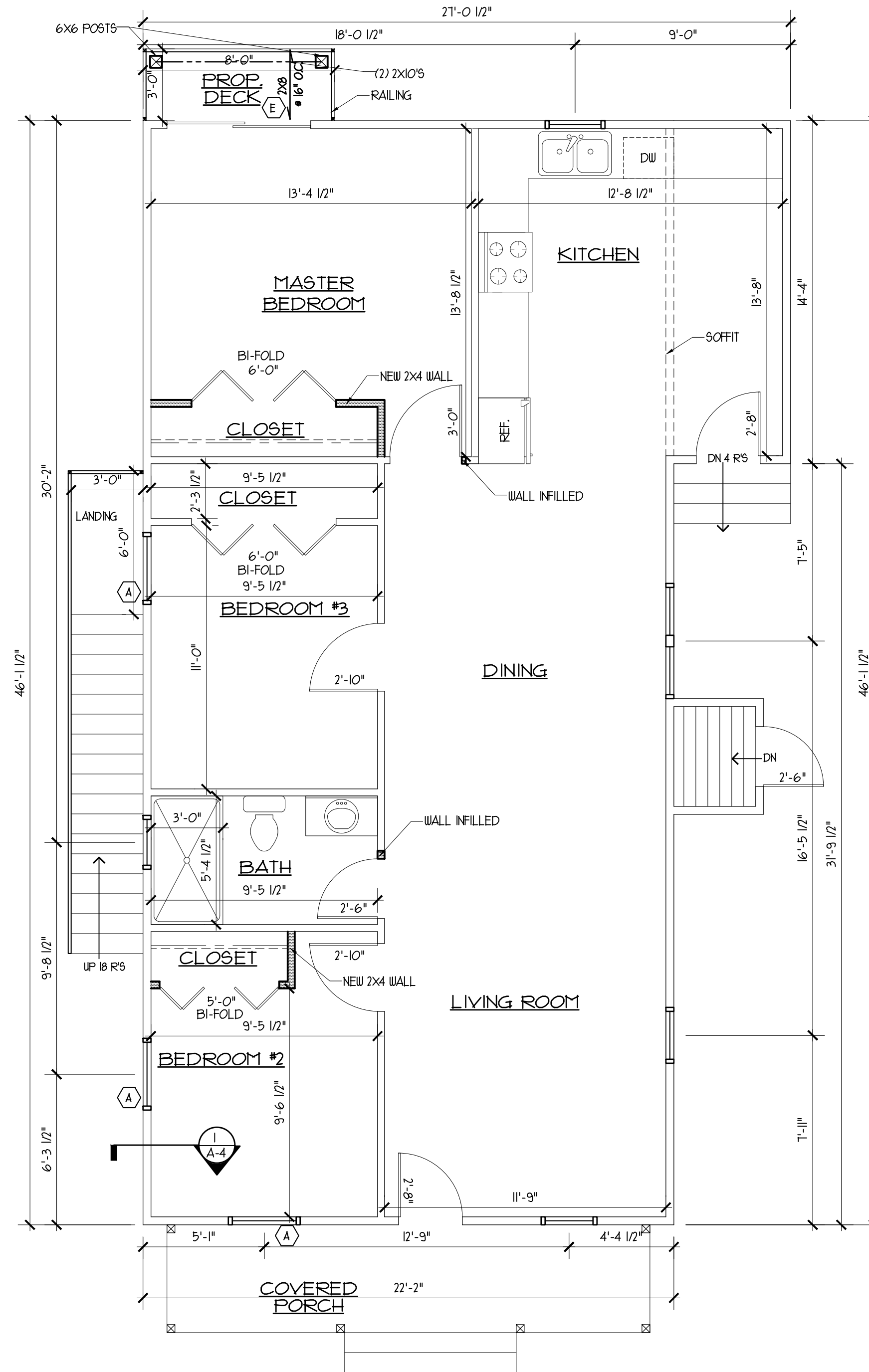
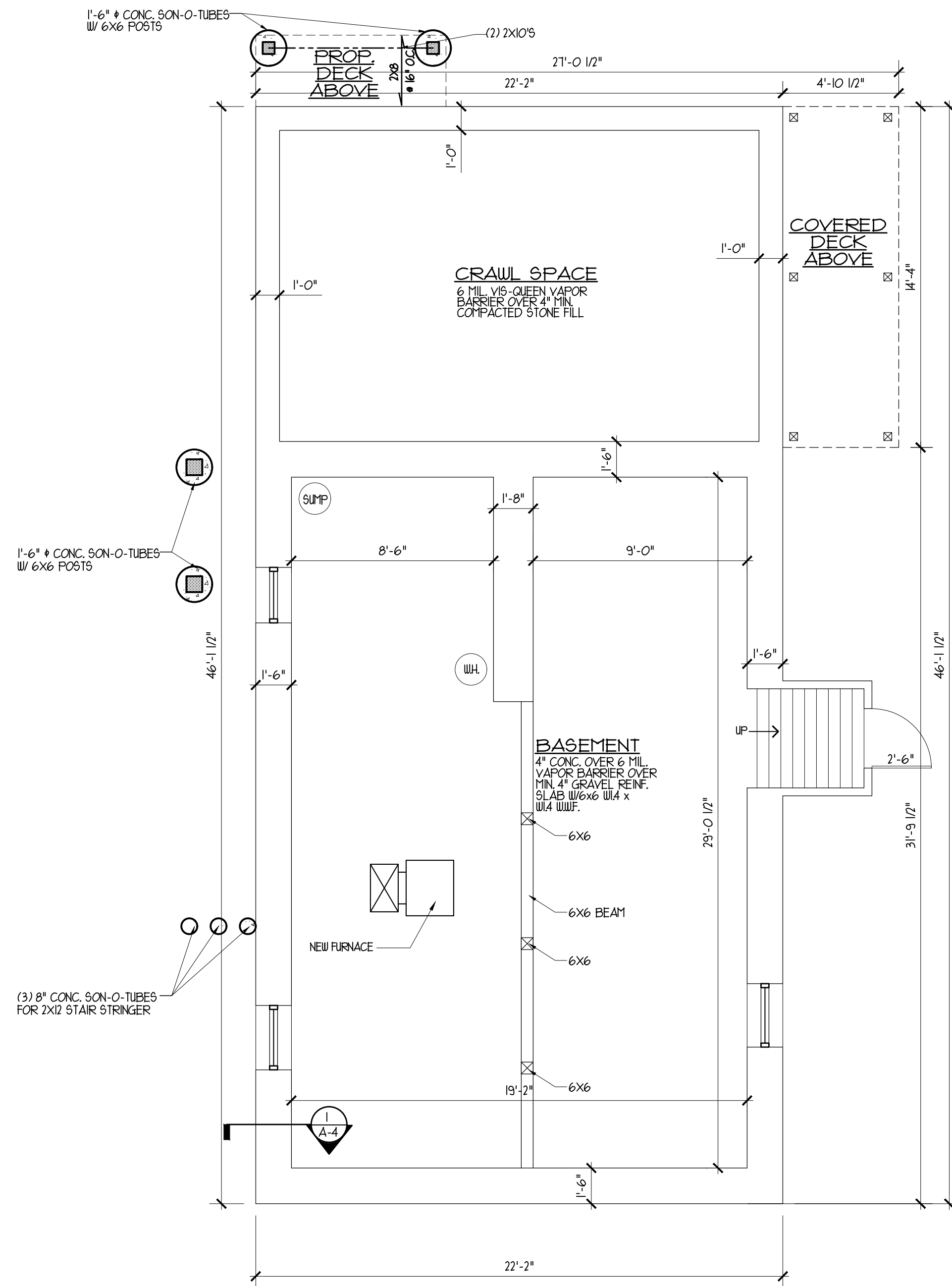
SHEET  
A-2

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LTR.	QTY.	ROUGH OPENING (W X H)	MODEL	DESCRIPTION
(A)	8	3'-0" X 5'-0"	3050	EGRESS SINGLE HUNG WINDOWS
(B)	1	3'-0" X 3'-0"	3030	EGRESS SINGLE HUNG WINDOW
(C)	1	2'-4" X 5'-0"	2450	SINGLE HUNG WINDOW
(D)	1	5'-0" X 5'-0"	5050	2 SINGLE HUNG WINDOWS
(E)	2	6'-0" X 7'-0"	6070	SLIDING GLASS DOORS

NOTE: ALL WINDOW MODEL #'S ARE BY SILVERLINE WINDOWS, AND CAN NOT BE SUBSTITUTED, UNLESS APPROVED BY THE OWNER.  
 NOTE: MAXIMUM U-VALUE IN WINDOWS & DOORS SHALL BE 0.30



ISSUED FOR CITY VARIANCE FEBRUARY 9, 2026

REVISION NO. -DATE- -REMARKS-

PROPOSED 2ND FLOOR ADDITION  
 FOR : GARCIA  
 540 N. BLUFF ST., JOLIET, IL, 60435

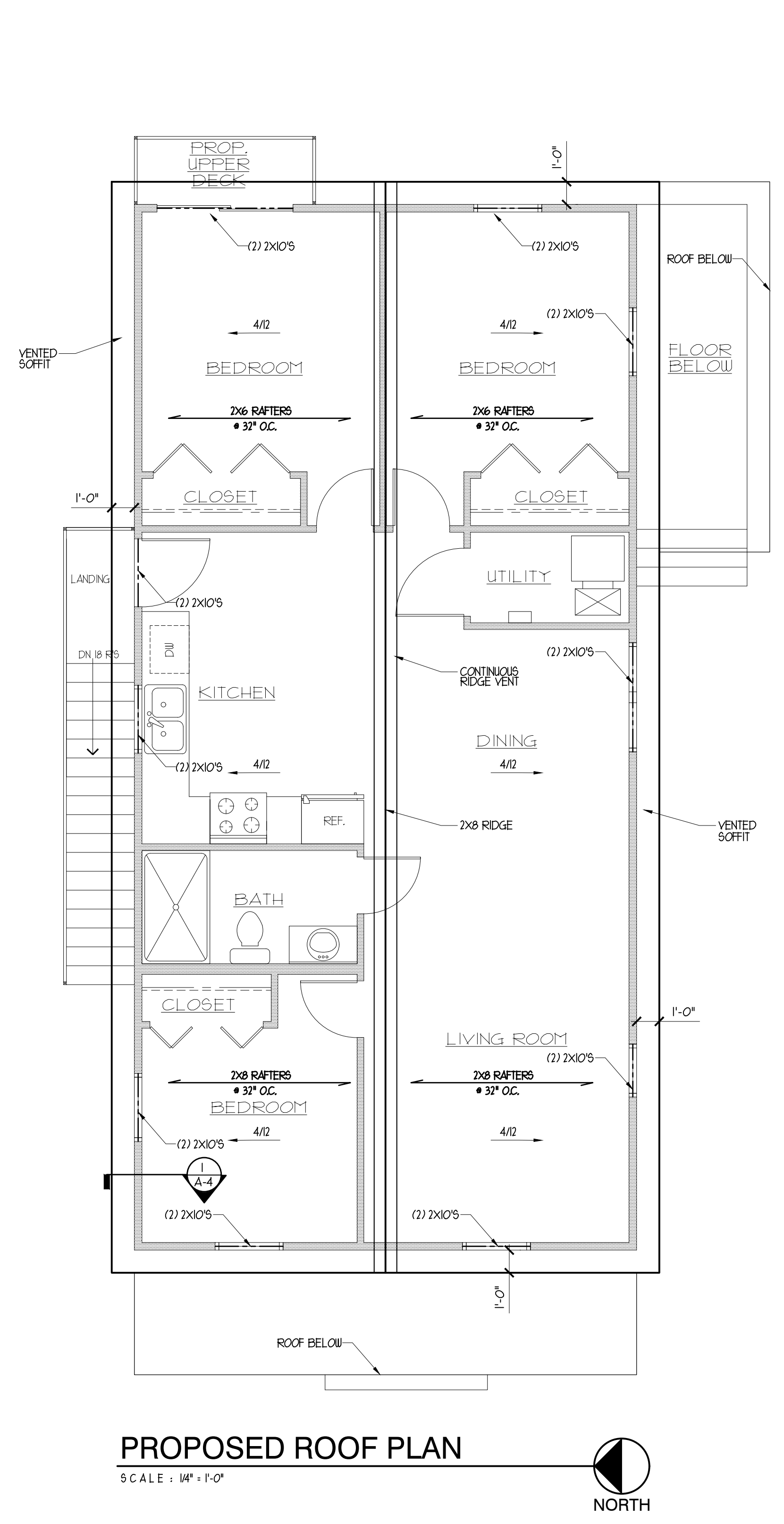
DRAWN BY: M.A.  
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SHEET  
 A-3

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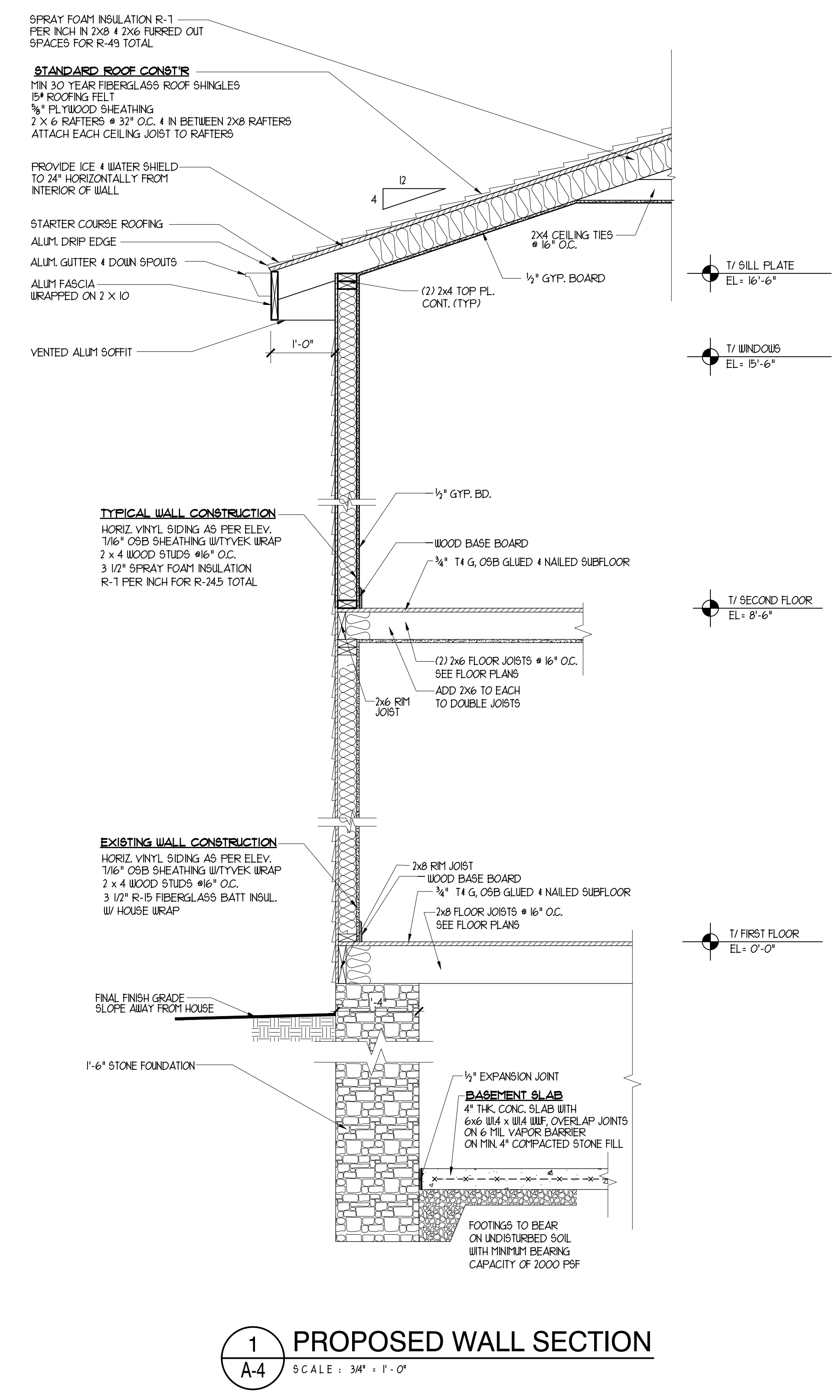
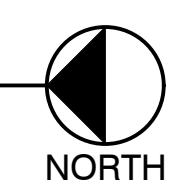
CONSTRUCTION NOTES & SPECIFICATIONS

- CONTRACTOR TO LOCATE ALL UNDERGROUND UTILITIES PRIOR TO COMMENCING WORK.
- ALL EXCAVATIONS SHALL BE SUBSTANTIALLY FREE OF WATER DURING FOUNDATION CONSTRUCTION WORK.
- ALL FOOTINGS SHALL BEAR ON UNDISTURBED SOIL CAPABLE OF SUPPORTING 1500 PSF. ALL FOOTINGS SHALL BE MIN 3'-6" BELOW GRADE. THE BEARING CAPACITY OF THE SOIL IS TO BE DETERMINED BY THE CONTRACTOR BEFORE CONSTRUCTION BEGINS. SPECIFIC SOIL CONDITIONS AT VARIANCE WITH THIS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT, BY THE CONTRACTOR.
- SITE GRADING SHALL DIRECT WATER AWAY FROM BUILDINGS.
- CONCRETE SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3000 PSI. ALL CONCRETE EXPOSED TO WEATHER SHALL HAVE AIR ENTRAINMENT OF 5% TO 7% & A MINIMUM COMPRESSIVE STRENGTH OF 3500 PSI.
- STEEL REINFORCEMENT SHALL CONFORM TO ASTM-615 GRADE 60. ANCHOR BOLTS SHALL CONFORM TO ASTM A-325.
- ALL STRUCTURAL STEEL SHALL BE ASTM A-36, A-50.
- WOOD FLOOR JOISTS, CEILING JOISTS, & ROOF RAFTERS SHALL HAVE A MINIMUM FIBER STRESS IN BENDING OF 850 PSI & A MINIMUM MODULUS OF ELASTICITY OF 1,000,000 PSI. EXAMPLE- SPRUCE-PINE-FIR NO.2, DOUGLAS FIR LARCH NO.2, OR HEM-FIR NO.2.
- PROVIDE SOLID WOOD BRIDGING • MID-SPAN OF ALL WOOD 2 X MEMBER JOISTS & RAFTERS.
- PROVIDE DOUBLE JOISTS • ALL PARALLEL WALLS ABOVE & AS SHOWN ON FRAMING PLANS. PROVIDE DOUBLE HEADERS AROUND OPENINGS IN FLOORS, CEILINGS, OR ROOFS.
- WOOD MICROLAMB BEAMS NOTED AS LVL SHALL BE 20 LAMINATED VENEER LUMBER AS MANUFACTURED BY Weyerhaeuser.
- WOOD TIMBERSTRAND BEAMS SHALL BE USE LAMINATED STRAND LUMBER AS MANUFACTURED BY WEYERHAEUSER.
- WOOD PARALLEL BEAMS NOTED AS "PSL'S" SHALL BE 20E PARALLEL STRAND LUMBER AS MANUFACTURED BY WEYERHAEUSER.
- ALL WOOD STUDS SHALL BE SPRUCE-PINE-FIR, HEM-FIR OR DOUGLAS-FIR 2 GRADE OR BETTER (WITH A MINIMUM COMPRESSIVE STRENGTH PARALLEL TO THE GRAIN OF 800 PSI). ALL WOOD MEMBERS TO HAVE A MOISTURE CONTENT OF 19% OR LESS.
- WHERE WOOD FRAMING MEMBERS ARE SUPPORTED BY OTHER WOOD MEMBERS AT A SIMILAR ELEVATION, USE METAL JOIST HANGERS OF APPROPRIATE SIZES.
- ALL STRUCTURAL WOOD FRAMING TO BE 2" CLEAR OF FLUES, CHIMNEYS, AND FIREPLACES AND 6" CLEAR OF THE OPENINGS.
- ALL WOOD JOISTS ARE TO BE (2) 2X4'S OR (3) 2X4'S AT CORNERS, EXCEPT WHERE NOTED.
- ALL EXTERIOR WOOD FRAMING & SILL PLATES ON FOUNDATIONS TO BE PRESURE TREATED.
- WOOD HEADERS TO BE (2) 2 X 10'S, UNLESS NOTED OTHERWISE.
- WINDOW NUMBERS LISTED ON PLANS ARE WINDOWS AS MANUFACTURED BY SILVERLINE. SEE WINDOW SCHEDULE. PROVIDE TEMPERED SAFETY GLASS WHERE REQUIRED BY CODE. GLASS IN WINDOWS SHALL BE "LOW E" ARGON GAS FILLED INSULATING PERFORMANCE GLASS.
- PROVIDE AT LEAST ONE EGRESS WINDOW IN EACH SLEEPING ROOM & BASEMENT. THE WINDOWS SHALL HAVE A SILL HEIGHT NOT MORE THAN 44 INCHES ABOVE THE FLOOR. ALL EGRESS OR RESCUE WINDOWS ON SLEEPING ROOMS MUST HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET. THE MINIMUM NET CLEAR OPENING HEIGHT SHALL BE 24 INCHES, & THE MINIMUM NET CLEAR OPENING WIDTH DIMENSION SHALL BE 20 INCHES. SHALL BE OPERATIONAL FROM INSIDE WITHOUT USE OF KEYS, TOOLS OR SPECIAL KNOWLEDGE. SUBMIT MANUFACTURER'S CUT SHEETS FOR ALL ESCAPE AND EGRESS WINDOWS.
- ALL OPERABLE WINDOWS SHALL HAVE SCREENS AND INTERIOR SASH LOCKS.
- ALL GLASS WITHIN TUB ENCLOSURES AND ANY GLASS WITHIN 18" OF THE FINISHED FLOOR SHALL BE SAFETY GLASS. ALL GLASS IN DOORS & WINDOWS WITHIN 2'-0" OF DOORS SHALL BE SAFETY GLAZING.
- INTERIOR DOORS SHALL BE WOOD SOLID CORE 6 PANEL DOORS AS MANUFACTURED BY WESTERN DOORS. DOOR & GARAGE AND HOUSE SHALL BE INSULATED HOLLOW METAL W/ A U-VALUE OF LESS THAN 34 & SHALL BE A ONE HOUR RATED DOOR AS MANUFACTURED BY THERMA-TRU.
- HOUSE ENTRANCE DOORS SHALL BE FIBERGLASS AS MANUFACTURED BY THERMA-TRU AND AS APPROVED BY OWNER. W/ A U-VALUE OF LESS THAN 30.
- ALL HARDWARE SHALL BE AS APPROVED BY OWNER.
- FLOORING SHALL BE AS APPROVED BY OWNER.
- WOOD TRIM FOR WINDOWS, DOORS, AND BASEBOARDS SHALL BE 2" WIDE AS APPROVED BY OWNER.
- WALL INSULATION SHALL BE R-245 SPRAY FOAM INSULATION AS MANUFACTURED BY JOHNS-MANVILLE INTERNATIONAL INC, QUIK'S CORNING OR EQUAL.
- ATTIC-ROOF INSULATION SHALL BE R-49 SPRAY FOAM INSULATION AS MANUFACTURED BY JOHNS-MANVILLE INTERNATIONAL INC, QUIK'S CORNING OR EQUAL.
- VINYL SIDING SHALL BE DOUBLE 4" SIDING AS MANUFACTURED BY ABCO OR EQUAL.
- ROOFING SHALL BE ASPHALT/FIBERGLASS SHINGLES-MIN. 30 YEAR, CLASS A SHINGLE BY CELOTEX, GAF, GLOBE, OR APPROVED EQUAL.
- RIDGE VENT SHALL BE COR-A-VENT "V-400" USE WITH ALUMINUM SOFFIT VENTS. THE TOTAL NET VENTILATING AREA SHALL NOT BE LESS THAN 1/60TH OF THE AREA TO BE VENTILATED, EXCEPT THAT THE AREA MAY BE 1/30TH IF AT LEAST 50% OF THE REQUIRED VENTILATING AREA IS PROVIDED BY MECHANICAL VENTILATORS.
- ALUMINUM SOFFITS SHALL BE "SYSTEM 3" 1/2" CENTER VENTED SOFFIT PROFILE AS MANUFACTURED BY ROLLEX OR APPROVED EQUAL. COLOR AS SELECTED BY STANDARD COLORS.
- ALUMINUM FASCIA SHALL BE "L6 OR L8" SMOOTH FASCIA COVER AS MANUFACTURED BY ROLLEX, OR APPROVED EQUAL. COLOR AS SELECTED BY STANDARD COLORS.
- PROVIDE ALUMINUM GUTTERS & DOWNSPOUTS FOR THE ENTIRE HOUSE. DRAIN ALL DOWNSPOUTS AWAY FROM HOUSE.
- "HARDBOARD" TRIM AT EXTERIOR SHALL BE TREATED EXTERIOR COMPOSITE TRIM AS MANUFACTURED BY MIRATEC.
- GYPSUM BOARD SHALL BE 1/2" GYPSUM BOARD. PROVIDE 5/8" TYPE "X" FIRE RESISTANT PROVIDE CEMENT, FIBER, CEMENT OR GLASS MAT GYPSUM BACKERS BE INSTALLED AS BACKERS FOR WALL TILE APPLIED IN TUB/SHOWER AREAS AND WALL PANELS IN SHOWER AREAS WHICH ARE IN DIRECT CONTACT WITH WATER OR HIGH HUMIDITY. WATER RESISTANT GYPSUM BOARD ONLY TO BE USED WITHIN THE LIMITS LISTED IN R1023.8.
- PRIME W/ COAT & PAINT W/ 2 COATS ALL NEW WALL AND EXPOSED CEILING SURFACES SHERWIN-WILLIAMS OR EQUAL.
- SMOKE DETECTORS SHALL BE LOCATED AS SHOWN ON PLANS, AND/OR AT LEAST ONE ON EACH FLOOR, EACH SLEEPING ROOM, AND EACH HALL. TO BEDROOMS. SMOKE DETECTORS SHALL BE INTERCONNECTED & WIRED TO THE ELECTRICAL POWER, SO THAT THE ACTUATION OF ONE DETECTOR WILL ACTIVATE ALL ALARMS.
- DUCT ALL EXHAUST FANS TO THE EXTERIOR.
- STAIRS : RISERS 1 3/4" MAXIMUM. TREADS: 10" MINIMUM. 6'-8" MINIMUM HEADROOM.
- ALL CLOSETS TO HAVE ONE SHELF AND ONE CLOTHES POLE UNLESS OTHERWISE NOTED. LINEN AND PANTRY CLOSETS TO HAVE FIVE SHELVES.
- GENERAL CONTRACTOR IS TO PROVIDE AND INSTALL FLASHING AT ALL ENTRANCE SLABS ADJACENT TO WALL CONSTRUCTION.
- PROVIDE ALUMINUM FLASHING AT ALL WALL / ROOF INTERSECTIONS TO INSURE WATERTIGHT CONDITIONS.
- ALL SKYLIGHTS, METAL FLUES, VENTS, STACKS, OR OTHER ROOF ACCESSORIES REQUIRING FLASHINGS SHALL BE INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS.



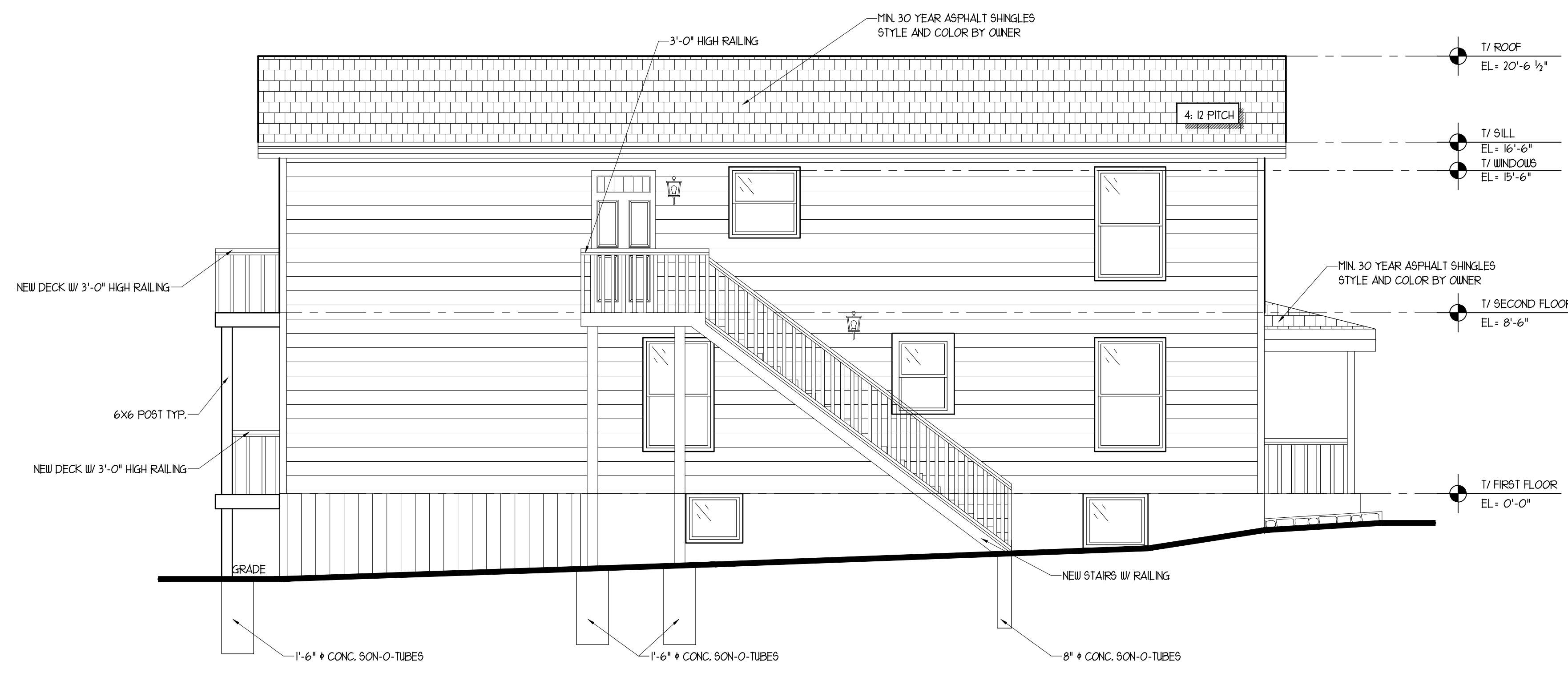
PROPOSED ROOF PLAN

SCALE : 1/4" = 1'-0"

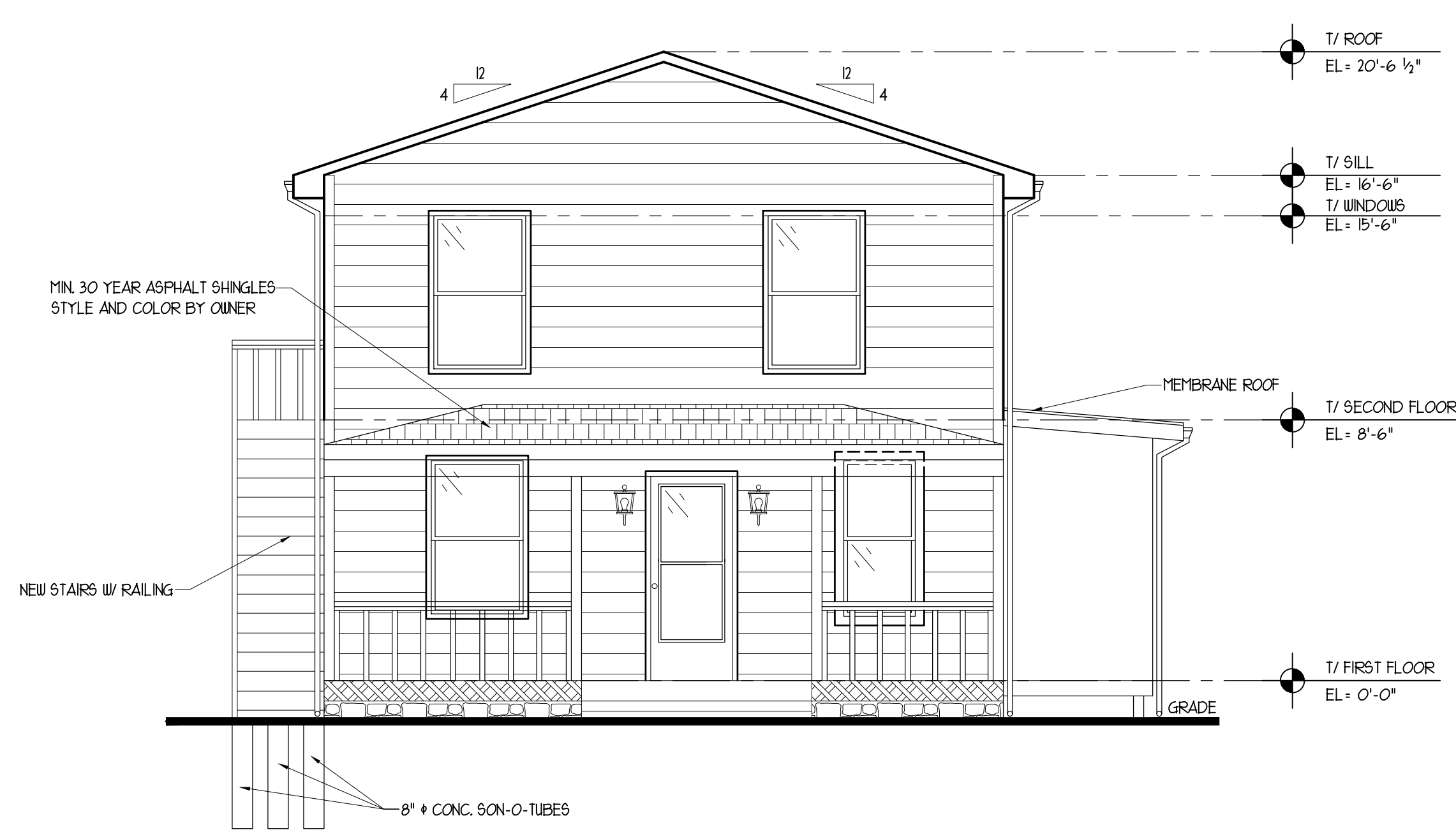


1 PROPOSED WALL SECTION

SCALE : 3/4" = 1'-0"



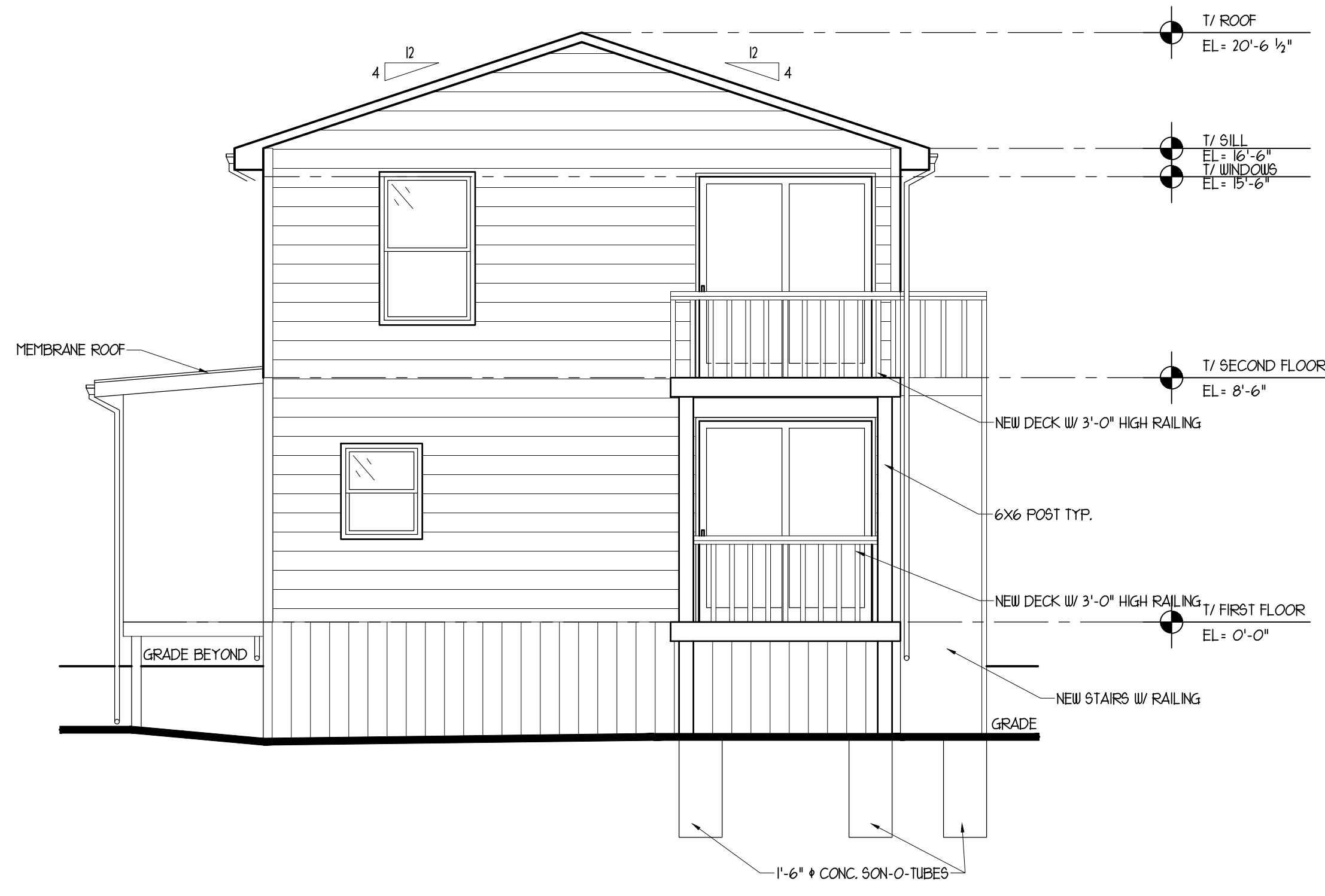
**PROPOSED LEFT ELEVATION**  
 SCALE : 1/4" = 1'-0"



**PROPOSED FRONT ELEVATION**  
 SCALE : 1/4" = 1'-0"



**PROPOSED RIGHT ELEVATION**  
 SCALE : 1/4" = 1'-0"



**PROPOSED REAR ELEVATION**  
 SCALE : 1/4" = 1'-0"

UNITED ARCHITECTS RESERVE COPYRIGHT AND OTHER RIGHTS RESTRICTING THESE DRAWINGS FOR THE ORIGINAL SITE OR PURPOSE FOR WHICH THEY WERE PREPARED. REPRODUCTIONS, CHANGES OR OTHER ASSIGNMENTS ARE PROHIBITED. © 2026

ISSUED FOR CITY VARIANCE FEBRUARY 9, 2026

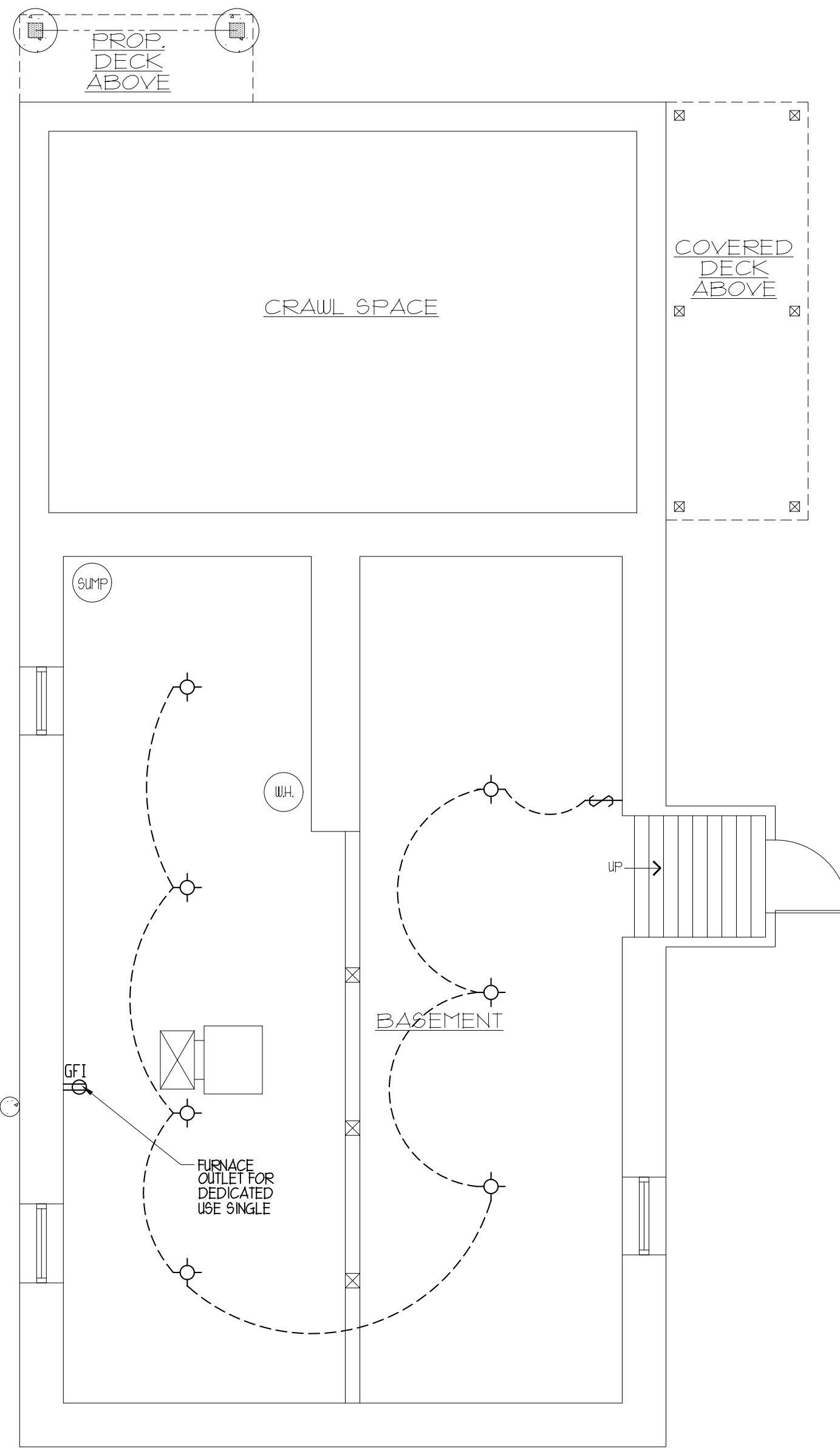
REVISION NO.	DATE	REMARKS

**PROPOSED 2ND FLOOR ADDITION**  
 FOR : GARCIA  
 540 N. BLUFF ST., JOLIET, IL, 60435

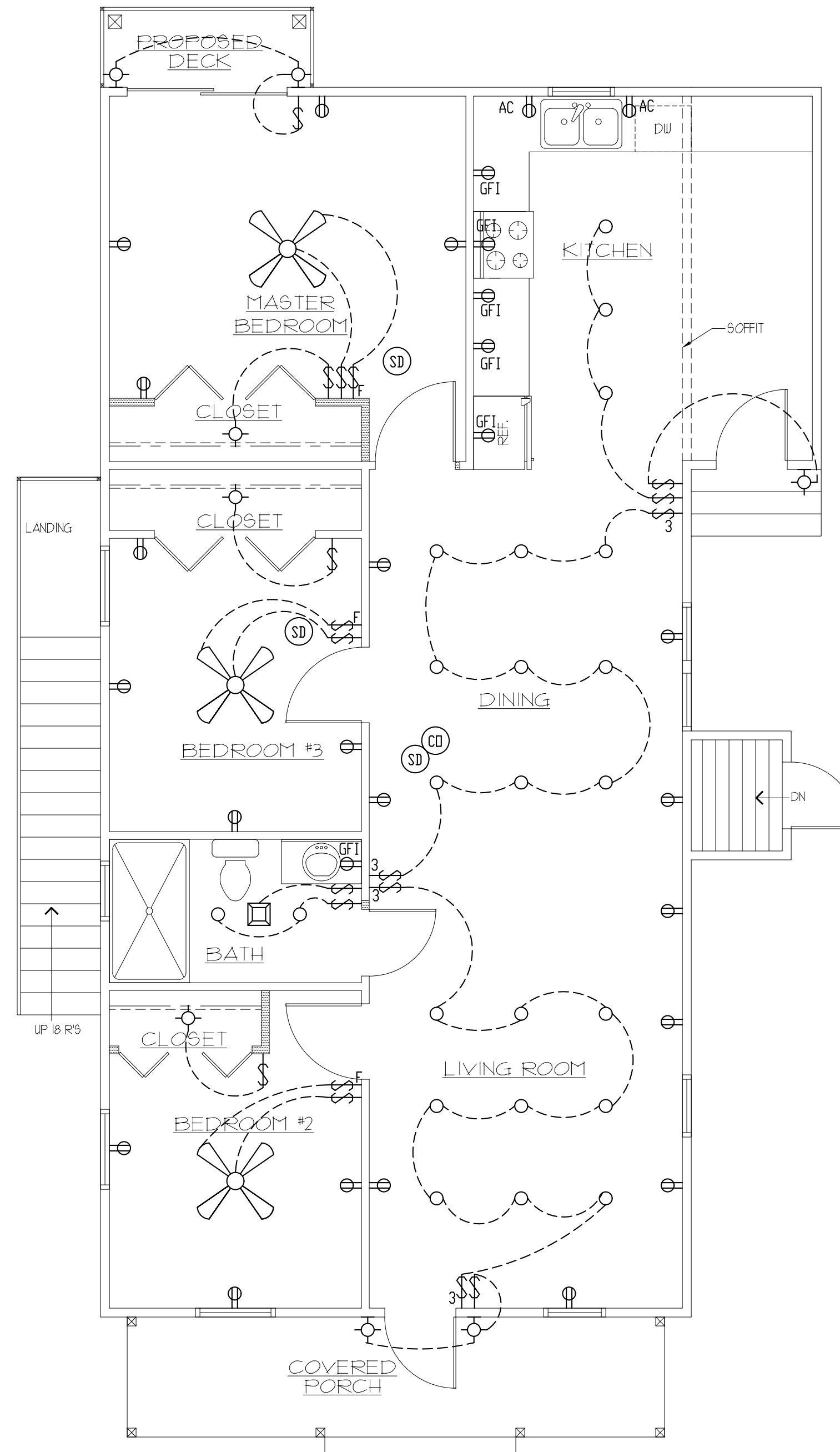
DRAWN BY: M. A.
CHECKED BY: BOB GEBEL
DATE : FEBRUARY 9, 2026
PROJECT NO: 26-02
TITLE: PROPOSED ELEVATIONS

**SHEET A-5**

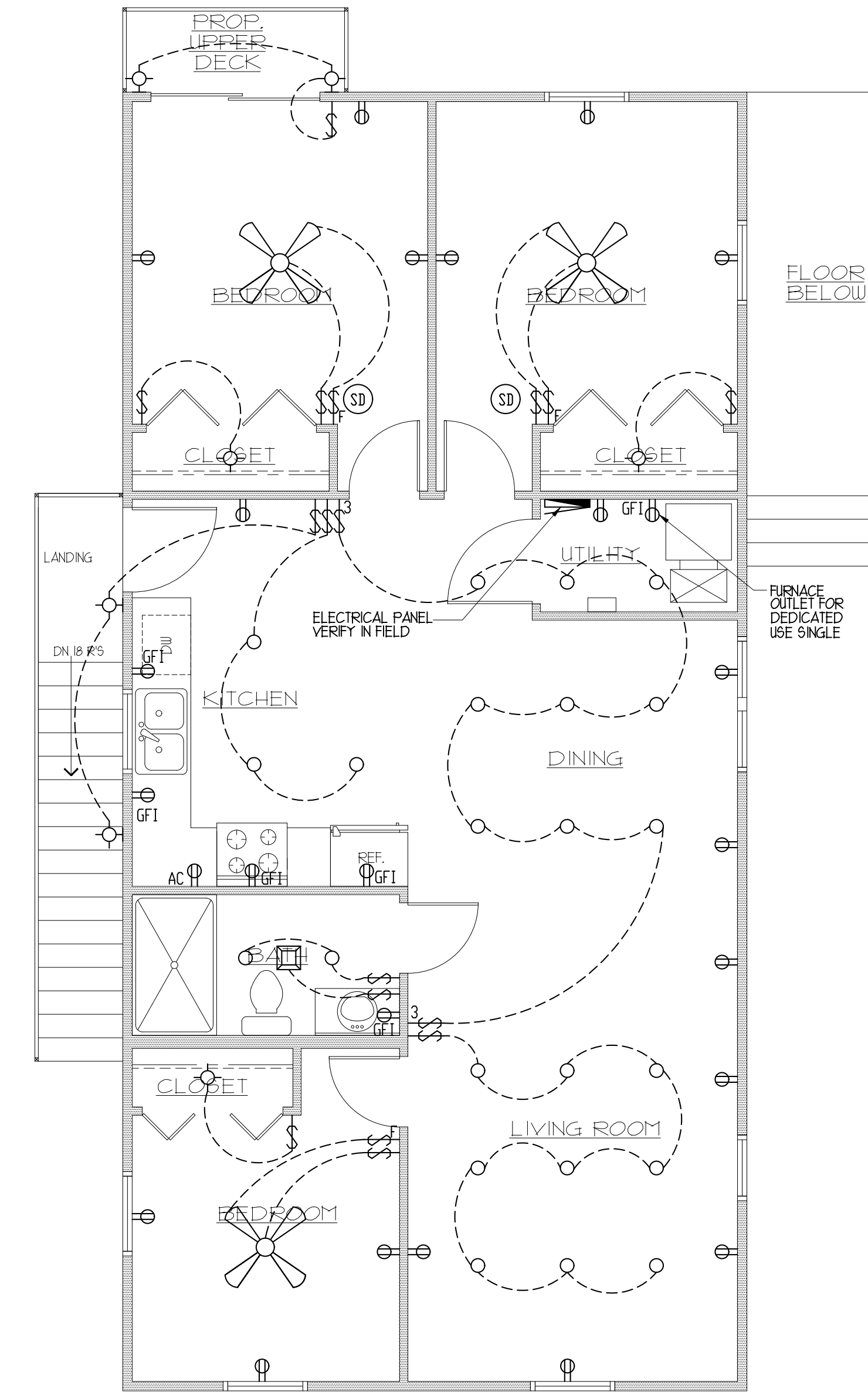
ELECTRICAL KEY	
	EXHAUST FAN LIGHT COMBINATION
	WALL SCONCE
	STANDARD LIGHT
	GROUND FAULT CIRCUIT INTERRUPTER
	DUPLEX OUTLET
	LIGHT SWITCH
	THREE WAY LIGHT SWITCH
	SMOKE DETECTOR
	FAN LIGHT
	6" CAN LIGHT
	COMBINATION SMOKE & CARBON MONOXIDE DETECTOR
	FAN LIGHT SWITCH
	OUTLET ABOVE THE COUNTER



**PROPOSED ELECTRICAL PLAN @ BASEMENT**  
SCALE: 1/4" = 1'-0"  
NORTH



**PROPOSED ELECTRICAL PLAN @ FIRST FLOOR**  
SCALE: 1/4" = 1'-0"  
NORTH

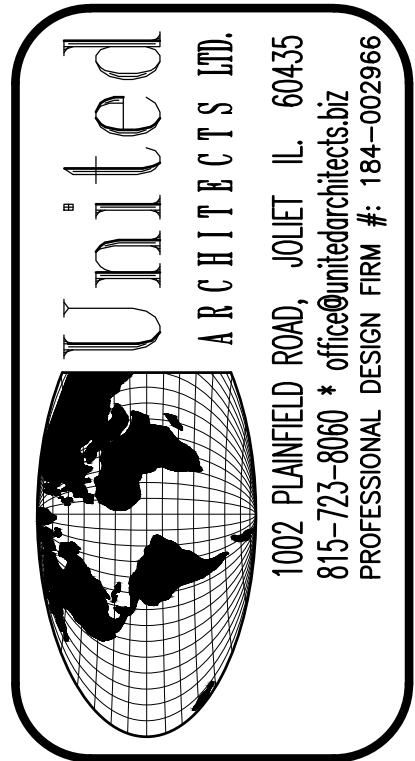


**PROPOSED ELECTRICAL PLAN @ SECOND FLOOR**  
SCALE: 1/4" = 1'-0"  
NORTH

- ### NOTES FOR ELECTRICAL PLAN
- ALL LIGHT FIXTURES ARE TO BE APPROVED BY OWNER PRIOR TO CONSTRUCTION.
  - A CARBON MONOXIDE DETECTOR SHALL BE REQUIRED AT EACH SLEEPING LEVEL.
  - PROVIDE A LISTED TYPE AFCI (ARC FAULT PROTECTION) FOR ALL CIRCUITS IN ALL LIVING AREAS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS, SUNROOM, REC ROOMS, CLOSETS, HALLWAYS, AND SIMILAR ROOMS.
  - 110 VOLT SMOKE DETECTOR W/ BATTERY BACK UP. TO BE INSTALLED IN EACH BEDROOM, INCLUDING EXISTING BEDROOM.
  - INTERCONNECT ALL DEVICES - SO THAT IF ONE ALARMS, ALL ALARM. A DEVICE MUST BE LOCATED WITHIN 15' OF EACH BEDROOM DOOR (TYP).
  - ALL BATHROOM EXHAUST FANS TO BE DIRECTLY VENTED THROUGH EXTERIOR WALL OR ROOF OPENINGS.
  - REQUIRED GROUND FAULT CIRCUIT INTERRUPTERS - (GFI) ARE REQUIRED IN EVERY BATHROOM, ALL GARAGE RECEPTACLES, ALL EXTERIOR RECEPTACLES, ALL KITCHEN COUNTERTOP RECEPTACLES, AND ALL BASEMENT RECEPTACLES.
  - WIRING SHALL BE IN RIGID METAL CONDUIT
  - ALL ELECTRICAL WORK SHALL BE DONE BY A LICENSED CONTRACTOR & ACCORDING TO THE NATIONAL ELECTRICAL CODE 2011 & AMENDMENTS
  - ONLY COOPER WIRE MAY BE USED.
  - ALL CLOSET LIGHTS SHALL BE:
    - A. RECESSED LIGHTS WITH 6" CLEARANCE BETWEEN FIXTURE AND NEAREST POINT OF STORAGE SPACE.
    - B. FLOURESCENT LIGHTS WITH 6" CLEARANCE BETWEEN FIXTURE AND NEAREST POINT OF STORAGE SPACE.
    - C. INCANDESCENT LIGHTS WITH 12" CLEARANCE BETWEEN FIXTURE AND NEAREST POINT OF STORAGE SPACE.
  - LIGHT FIXTURE ABOVE WHIRPOOL, TUBS AND SHOWERS SHALL BE GFI.
  - ALL OF NEW INSTALLED FIXTURES SHOW CONTAIN ONLY HIGH EFFICACY LAMPS- FOR EXAMPLE FLOURESCENT OR LED

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ISSUED FOR CITY VARIANCE FEBRUARY 9, 2026



United ARCHITECTS INC.  
1002 PLAINFIELD ROAD, JOLIET, IL 60435  
815-733-8060 • office@unitedarchitects.biz  
PROFESSIONAL DESIGN FIRM # 184-002966

PROPOSED 2ND FLOOR ADDITION  
FOR : GARCIA  
540 N. BLUFF ST., JOLIET, IL, 60435

DRAWN BY: M. A.  
CHECKED BY: BOB GEBEL  
DATE : FEBRUARY 9, 2026  
PROJECT NO: 26-02  
TITLE: PROPOSED ELECTRICAL PLANS

SHEET  
E-1

FOR OFFICE USE ONLY

\*\*\*Verified by Planner (please initial): \_\_\_\_\_\*\*\*

Payment received from: \_\_\_\_\_

Petition #: \_\_\_\_\_

Common Address: \_\_\_\_\_

Date filed: \_\_\_\_\_

Meeting date assigned: \_\_\_\_\_

ZONING BOARD OF APPEALS

JOLIET, ILLINOIS

**PETITION FOR VARIATION OF USE**

City of Joliet Planning Division, 150 W. Jefferson St., Joliet, IL 60432

Ph (815)724-4050 Fax (815)724-4056

ADDRESS FOR WHICH VARIATION IS REQUESTED: 540 Bluff St.

PETITIONER'S NAME: Abraham Garcia

HOME ADDRESS: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

BUSINESS ADDRESS: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

PHONE: (Primary) \_\_\_\_\_ (Secondary) \_\_\_\_\_

EMAIL ADDRESS: \_\_\_\_\_ FAX: \_\_\_\_\_

PROPERTY INTEREST OF PETITIONER: Owner

OWNER OF PROPERTY: Abraham Garcia

HOME ADDRESS: 3rd St ZIP CODE: \_\_\_\_\_

BUSINESS ADDRESS: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

EMAIL ADDRESS: \_\_\_\_\_ FAX: \_\_\_\_\_

**Any use requiring a business license shall concurrently apply for a business license and submit a copy with this petition. Additionally, if this request is for operation of a business, please provide the following information:**

BUSINESS REFERENCES (name, address, phone or email):

N/A

OTHER PROJECTS AND/OR DEVELOPMENTS:

N/A

PERMANENT INDEX NUMBER (TAX NO. OR P. I. N.): 30-07-09-220-010-0000 ; \_\_\_\_\_ ; \_\_\_\_\_ ; \_\_\_\_\_

*\*\*Property Index Number/P.I.N. can be found on tax bill or Will County Supervisor of Assessments website\*\**

LEGAL DESCRIPTION OF PROPERTY (an attached copy preferred):

See Survey Attached

LOT SIZE: WIDTH: 80' DEPTH: 100' AREA: 8,000 SF

PRESENT USE(S) OF PROPERTY: Single Family

PRESENT ZONING OF PROPERTY: R-2

VARIATION OF USE REQUESTED: Multi-Family/2 Unit.

To convert a one story single family house into a 2 story 2 unit house

**RESPONSE TO VARIATION OF USE CRITERIA**

The Zoning Board of Appeals is authorized to grant or recommend relief only when it has received adequate evidence to establish a practical difficulty or hardship. The evidence must support each of the following three conditions:

- (a) The property in question cannot yield a reasonable return by use permitted and subject to the conditions allowed by the regulations in the particular district or zone.
- (b) The plight of the owner is due to unique circumstances.
- (c) The variation, if granted, will not alter the essential character of the locality.

**Please describe how this request meets the criteria by responding to the following questions in your own words.**

*1. How do the applicable zoning regulations prevent the property in question from yielding a reasonable return?*

The zoning is for single family residences, with the addition of a second floor then there can be 2 units.

2. What unique circumstances exist which mandate a variance?

The zoning is R-2 single family, to be a 2 unit the zoning would need to be R-3

3. What impact would the granting of this variance have upon the essential character of the general area? Please include both positive and negative impacts.

Positive: The house will be fixed up and will bring a clean look to the neighborhood.  
negative: There should not be any negative impacts

**REQUIRED SUPPORTING ATTACHMENTS**

- Site plan / concept plan / floor plan / building elevation plan
- Joliet Ownership Disclosure form
- Business license application (if applicable)

**NOTARIZATION OF PETITION**

STATE OF ILLINOIS) ss  
COUNTY OF WILL)

I, Abraham Garcia, depose and say that the above statements are true and correct to the best of my knowledge and belief. I agree to be present in person or by representation when this petition is heard before the Zoning Board of Appeals.

[Redacted Signature]

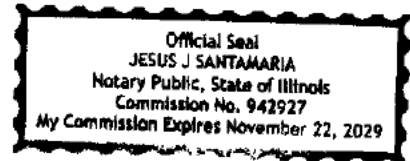
Petitioner's Signature

\_\_\_\_\_  
Owner's Signature  
(If other than petitioner)

Subscribed and sworn to before me

this 12<sup>th</sup> day of February, 2026

[Redacted Notary Signature]



FOR OFFICE USE ONLY

\*\*\*Verified by Planner (please initial): \_\_\_\_\_\*\*\*

Payment received from: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Petition #: \_\_\_\_\_

Common Address: \_\_\_\_\_

Date filed: \_\_\_\_\_

Meeting date assigned: \_\_\_\_\_

ZONING BOARD OF APPEALS  
JOLIET, ILLINOIS

**PETITION FOR VARIATION/APPEAL**

City of Joliet Planning Division, 150 W. Jefferson St., Joliet, IL 60432  
Ph (815)724-4050 Fax (815)724-4056

ADDRESS FOR WHICH VARIATION IS REQUESTED: 540 Bluff St.

PETITIONER'S NAME: Abraham Garcia

HOME ADDRESS: [REDACTED] ZIP CODE: [REDACTED]

BUSINESS ADDRESS: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

PHONE: (Primary) [REDACTED] (Secondary) \_\_\_\_\_

EMAIL ADDRESS: [REDACTED] FAX: \_\_\_\_\_

PROPERTY INTEREST OF PETITIONER: Owner

OWNER OF PROPERTY: Abraham Garcia

HOME ADDRESS: same ZIP CODE: \_\_\_\_\_

BUSINESS ADDRESS: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

EMAIL ADDRESS: [REDACTED] FAX: \_\_\_\_\_

**Any use requiring a business license shall concurrently apply for a business license and submit a copy with this petition. Additionally, if this request is for operation of a business, please provide the following information:**

BUSINESS REFERENCES (name, address, phone or email):

no.  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

OTHER PROJECTS AND/OR DEVELOPMENTS:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

PERMANENT INDEX NUMBER (TAX NO. OR P. I. N.): 30-07-09-220-010-0000;

\_\_\_\_\_; \_\_\_\_\_; \_\_\_\_\_  
\*\*Property Index Number/P.I.N. can be found on tax bill or Will County Supervisor of Assessments website\*\*

LEGAL DESCRIPTION OF PROPERTY (an attached copy preferred):

see attached survey

LOT SIZE: WIDTH: 80' DEPTH: 100' AREA: 8,000

PRESENT USE(S) OF PROPERTY: Single Family

PRESENT ZONING OF PROPERTY: Single Family B-2

VARIATION/APEAL REQUESTED: To reduce, the front yard setback from 30'-0" TO 12.93'

### **RESPONSE TO VARIATION CRITERIA**

The Zoning Board of Appeals is authorized to grant or recommend relief only when it has received adequate evidence to establish a practical difficulty or hardship. The evidence must support each of the following three conditions:

- (a) The property in question cannot yield a reasonable return by use permitted and subject to the conditions allowed by the regulations in the particular district or zone.
- (b) The plight of the owner is due to unique circumstances.
- (c) The variation, if granted, will not alter the essential character of the locality.

**Please describe how this request meets the criteria by responding to the following questions in your own words.**

1. How do the applicable zoning regulations prevent the property in question from yielding a reasonable return?  
The house was built close to the front property line. so it is about 13 feet to the house from the front property line. it would be very difficult to create a 30 foot setback.

2. What unique circumstances exist which mandate a variance?

The unique circumstance is that the house was built close to the front property line, making it nearly impossible to have a 30 foot front yard setback.

3. What impact would the granting of this variance have upon the essential character of the general area? Please include both positive and negative impacts.

Positive: The house will be fixed up and will bring a clean look to the neighborhood.

Negative: There should not be any negative impacts.

**REQUIRED SUPPORTING ATTACHMENTS**

- Site plan / concept plan / floor plan / building elevation plan
- Joliet Ownership Disclosure form
- Business license application (if applicable)

**NOTARIZATION OF PETITION**

STATE OF ILLINOIS) ss  
COUNTY OF WILL)

I, Abraham Garcia, depose and say that the above statements are true and correct to the best of my knowledge and belief. I agree to be present in person or by representation when this petition is heard before the Zoning Board of Appeals.

[Redacted Signature]

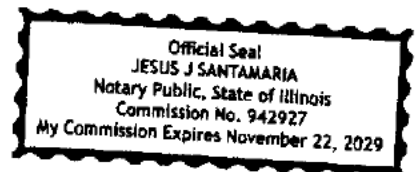
Petitioner's Signature

\_\_\_\_\_

Owner's Signature  
(If other than petitioner)

Subscribed and sworn to before me  
this 12<sup>th</sup> day of February, 2016

[Redacted Notary Signature]



## CITY OF JOLIET OWNERSHIP DISCLOSURE FORM

The City of Joliet requires that applicants for zoning relief, subdivision approval, building permits and business licenses disclose the identity of all persons having an ownership interest in the business and the real property associated with the application. A copy of this form must be completed and submitted with other application materials. Failure to properly complete and submit this form may result in the denial of the application.

### I. INFORMATION ABOUT THE APPLICATION

This form is submitted as part of an application for the following (check all that apply):

- Rezoning, Special Use Permit, Variation, or Other Zoning Relief (Complete Sections II and III)
- Preliminary Plat, Final Plat, or Record Plat of Subdivision (Complete Sections II and III)
- Building Permit (Complete Sections II and III)
- Business License (Complete All Sections)

### II. INFORMATION ABOUT THE PROPERTY

The address and PIN(s) of the real property associated with this application are:

540 Bluff Street


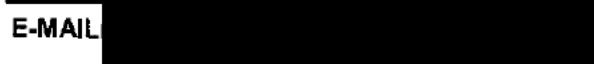
PIN(s): 30-07-09-220-010-0000

### III. PROPERTY OWNERSHIP

Select the type of owner of the real property associated with this application and fill in the appropriate contact information below:

- Individual:** State the names, addresses, and phone #'s of the individual owner(s)
- Corporation:** State the names, addresses, and phone #'s of all persons holding 3% or more of the stock of the corporation and the percentage of shares held by such stockholders
- Limited Liability Company:** State the names, addresses, and phone #'s of all members of the company along with the percentage of ownership held by each member
- Land Trust:** State the names, addresses, and phone #'s of the trustee(s) and all beneficiaries
- Partnership:** State the names, addresses, and phone #'s of all partners
- Other type of organization:** State the names, addresses, and phone #'s of all persons having a legal or equitable ownership interest in the organization or the right to direct the affairs of the organization

*Abraham Garcia*

	
	
<b>E-MAIL</b>	
	<b>FAX:</b>

**IV. BUSINESS OWNERSHIP**

If the owner of the business is different than the owner of the real property associated with the application, then the following information must be provided:

Select the type of business owner associated with this application and fill in the contact information below:

- Individual:** State the names, addresses, and phone #'s of the individual owner(s)
- Corporation:** State the names, addresses, and phone #'s of all persons holding 3% or more of the stock of the corporation and the percentage of shares held by such stockholders
- Limited Liability Company:** State the names, addresses, and phone #'s of all members of the company along with the percentage of ownership held by each member
- Partnership:** State the names, addresses, and phone #'s of all partners
- Other type of organization:** State the names, addresses, and phone #'s of all persons having a legal or equitable ownership interest in the organization

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E-MAIL: \_\_\_\_\_ FAX: \_\_\_\_\_

**NOTE:**  
If a stockholder, member, beneficiary or partner disclosed in Section III or Section IV is not an individual, then the individuals holding the legal or equitable title to the real property or business associated with the application must also be disclosed. For example, if the real property associated with an application is owned by a land trust, and the beneficiary of the land trust is a limited liability company, then the members of the limited liability company must be disclosed. If one of the members of the limited liability company is a partnership, then the identity of the partners must be disclosed. If one of the partners is a corporation, then all persons owning 3% or more of the issued stock must be disclosed.

**SIGNED:** \_\_\_\_\_

**DATE:** 2/12/2026

**Name, Title, and Telephone Numbers of Person Completing and Submitting This Form:**  
Abraham Garcia, owner, \_\_\_\_\_



**ZONING BOARD OF APPEALS**  
**CRITERIA FOR VARIATIONS**

Section 47-19.8 of the Zoning Ordinance states:

A variation shall not be granted in any case unless the Board shall find and clearly state in its record of the case that:

	Does the evidence presented sustain this criteria?	Comments
(1) Reasons sustaining the contention that strict enforcement of the Ordinance would involve practical difficulties or impose exceptional hardship were found as follows: (a) _____ (b) _____ (c) _____ (list of reasons)		
(2) Adequate evidence was submitted to establish practical difficulties or particular hardship so that, in the judgment of the Board, a variation is permitted because the evidence sustained the existence of each of the three following conditions:  (a) The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in the particular district or zone.  (b) The plight of the owner is due to unique circumstances.  (c) The variation, if granted, will not alter the essential character of the locality.		
(3) A public hearing was held on such variation of which at least 15 days and not more than 30 days notice was published in the _____ (name of newspaper) on _____ (date).		