



City of Joliet

Zoning Board of Appeals

Meeting Agenda

Board Members
Ralph Bias
Ed Hennessy
Bob Nachtrieb
Debbie Radakovich
Brigette Roehr
Jane McGrath Schmig
Jesse Stiff

Thursday, December 18, 2025

2:00 PM

City Hall, Council Chambers

Citizens who are unable to attend the meeting can email comments in advance of the meeting to publiccomment@joliet.gov.

CALL TO ORDER

ROLL CALL

APPROVAL OF MINUTES

Zoning Board of Appeals Meeting Minutes 11-20-25

Attachments: [Zoning Board of Appeals Meeting Minutes 11-20-25.pdf](#)

CITIZENS TO BE HEARD ON AGENDA ITEMS

This section is for anyone wanting to speak regarding agenda items and are allowed a maximum of 4 minutes. It is not a question and answer period and staff, and the Zoning Board of Appeals members do not generally respond to public comments. The City Clerk has a copy of the public speaking procedures; please note, speakers who engage in conduct injurious to the harmony of the meeting shall be called to order by the Presiding Officer and may forfeit the opportunity to speak.

OLD BUSINESS: PUBLIC HEARING

During the Public Hearing, members of the public will be allowed to present evidence and ask questions subject to the rules of the meeting.

PETITION 2025-51: A Special Use Permit to allow a self-storage facility, located at 1701 Drauden Road. (COUNCIL DISTRICT #3) **TO BE DEFERRED**

PETITION 2025-52: A Variation of Use to allow a B-3 (general business) use in the B-1 (neighborhood business) district, located at 1701 Drauden Road. (COUNCIL DISTRICT #3) **TO BE DEFERRED**

Attachments: [ZBA 2025-51&52 \(1701 Drauden Road\) Deferral Memo.pdf](#)

NEW BUSINESS: PUBLIC HEARING

During the Public Hearing, members of the public will be allowed to present evidence and ask questions subject to the rules of the meeting.

PETITION 2025-53: A Special Use Permit to allow a community center within an R-2 (single-family residential) zoning district, located at 111 McDonough Street. (COUNCIL DISTRICT #5)

Attachments: [ZBA2025-53\(111 McDonough St\) Staff Report Packet.pdf](#)

PETITION 2025-55: A Variation of Use to allow a laundromat, a B-1 (neighborhood business) use in an R-4 (multi-family residential) zoning district, located at 629 N. Hickory Street. (COUNCIL DISTRICT #4)

PETITION 2025-56: A Variation to reduce the required amount of off-street parking from 31 spaces to 19 spaces, located at 621-629 N. Hickory Street. (COUNCIL DISTRICT #4)

Attachments: [ZBA 2025-56 \(629 N. Hickory Street\) Staff Report v2 Packet Redacted.pdf](#)

PETITION 2025-57: A series of Variations to allow installation of a new ground sign, located at 2200 McDonough Street. (COUNCIL DISTRICT #5)

Attachments: [ZBA 2025-57 \(2200 McDonough St\) Staff Report Packet.pdf](#)

PETITION 2025-58: A Special Exception to allow a roof-mounted solar installation, located at 2114 Oak Leaf Street. (COUNCIL DISTRICT #5)

Attachments: [ZBA 2025-58 \(2114 Oak Leaf St\) Staff Report Packet.pdf](#)

PETITION 2025-59: A Variation to allow for reduced total side yard setbacks from the required 20' to 16', located at 6303 Brunswick Drive. (COUNCIL DISTRICT #1)

Attachments: [ZBA 2025-59 \(6303 Brunswick Drive\) Staff Report Packet.pdf](#)

PETITION 2025-60: A series of Variations to allow a reduced rear yard setback and to exceed maximum lot coverage, located at 424 W. Washington Street. (COUNCIL DISTRICT #5)

Attachments: [ZBA 2025-60 \(424 W. Washington\) Staff Report Packet.pdf](#)

PETITION 2025-61: A Variation to allow for decorative pea gravel in the front yard, located at 1137 Cathy Avenue. (COUNCIL DISTRICT #5)

Attachments: [ZBA2025-61\(1137 Cathy Drive\) Staff Report Packet.pdf](#)

OLD/NEW BUSINESS—NOT FOR FINAL ACTION OR RECOMMENDATION

PUBLIC COMMENT

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ADJOURNMENT

This meeting will be held in an accessible location. If you need a reasonable accommodation, please contact The City Clerk Office, 150 West Jefferson Street, Joliet, Illinois 60432 at (815) 724-3780.



City of Joliet

150 West Jefferson Street
Joliet, IL 60432

Memo

File #: TMP-9236

Agenda Date: 12/18/2025

City of Joliet

150 West Jefferson Street
Joliet, IL 60432



Meeting Minutes - Pending Approval

Thursday, November 20, 2025

2:00 PM

City Hall, Council Chambers

Zoning Board of Appeals

Board Members

Ralph Bias

Ed Hennessy

Bob Nachtrieb

Debbie Radakovich

Brigette Roehr

Jane McGrath Schmig

Jesse Stiff

Citizens who are unable to attend the meeting can email comments in advance of the meeting to publiccomment@joliet.gov.

CALL TO ORDER

ROLL CALL

Present	Ralph Bias, Ed Hennessy, Bob Nachtrieb, Brigitte Roehr, Jane McGrath Schmig and Jesse Stiff
Absent	Debbie Radakovich

ALSO PRESENT: Community Development Director Dustin Anderson, Planning Director Jayne Bernhard, Interim Corporation Counsel Todd Lenzie, Deputy Director of Engineering Sean Mikos, Planner Raymond Heitner, Planner Francisco Jimenez, Planner Helen Miller, and Community Development Administrative Assistant Lauren Helland

APPROVAL OF MINUTES

Zoning Board of Appeals Meeting Minutes 10-16-25

[TMP-9149](#)

Attachments: [Zoning Board of Appeals Meeting Minutes 10-16-25.pdf](#)

A motion was made by Jesse Stiff, seconded by Brigitte Roehr, to approve Zoning Board of Appeals Meeting Minutes 10-16-25. The motion carried by the following vote:

Aye: Bias, Hennessy, Nachtrieb, Roehr, McGrath Schmig and Stiff

Absent: Radakovich

CITIZENS TO BE HEARD ON AGENDA ITEMS

Planning Director Jayne Bernhard explained staff recommended Petitions 2025-51 and 2025-52 be deferred to the December meeting and that Petition 2025-54 be deferred indefinitely, informing the public that comments regarding those petitions should be made during Citizens to be Heard on Agenda Items.

Two members of the public spoke in opposition to Petitions 2025-51 and 2025-52.

OLD BUSINESS: PUBLIC HEARING

None

NEW BUSINESS: PUBLIC HEARING

PETITION 2025-50: A Special Use Permit to allow a day care facility at 580 Caton Farm Road, located at 580 Caton Farm Road. (COUNCIL DISTRICT #3)

[TMP-9150](#)

Attachments: [ZBA 2025-50 \(580 Caton Farm Rd\) Staff Report Packet.pdf](#)

Ms. Bernhard read the staff report into the record. Nathaniel Washburn with KGG, LLC appeared on behalf of the petition. Four members of the public spoke in opposition to the petition. Mr. Washburn responded to the public comments regarding traffic, access for future development, restaurant lot size, the daycare site plan, and site location choice. In response to Mr. Bias's question about ownership, Mr. Washburn explained the property was under contract pending the vote. Ms. Schmig questioned daycare demand, and Bill Caton mentioned Children of America's research showed a need due to nearby residential growth.

A motion was made by Brigitte Roehr, seconded by Ralph Bias, to approve PETITION 2025-50: A Special Use Permit to allow a day care facility at 580 Caton Farm Road, located at 580 Caton Farm Road. (COUNCIL DISTRICT #3). The motion carried by the following vote:

Aye: Bias, Hennessy, Nachtrieb, Roehr and Stiff

Nay: McGrath Schmig

Absent: Radakovich

PETITION 2025-51: A Special Use Permit to allow a self-storage facility, located at 1701 Drauden Road. (COUNCIL DISTRICT #3)

[TMP-9151](#)

PETITION 2025-52: A Variation of Use to allow a B-3 (general business) use in the B-1 (neighborhood business) district, located at 1701 Drauden Road. (COUNCIL DISTRICT #3)

Attachments: [ZBA 2025-5152 \(1701 Drauden Road\) Staff Report Packet Redacted.pdf](#)

Ms. Bernhard explained staff recommended Petitions 2025-51 and 2025-52 be deferred to the December 18th meeting.

A motion was made by Brigitte Roehr, seconded by Jesse Stiff, to defer PETITION 2025-51: A Special Use Permit to allow a self-storage facility, located at 1701 Drauden Road. (COUNCIL DISTRICT #3)

PETITION 2025-52: A Variation of Use to allow a B-3 (general business) use in the B-1 (neighborhood business) district, located at 1701 Drauden Road. (COUNCIL DISTRICT #3). The motion carried by the following vote:

Aye: Bias, Hennessy, Nachtrieb, Roehr, McGrath Schmig and Stiff

Absent: Radakovich

PETITION 2025-54: A series of Variations on signage to increase maximum area for a monument sign, located at 2219 W. Jefferson Street. (COUNCIL DISTRICT #2) **TO BE DEFERRED**

[TMP-9153](#)

Attachments: [ZBA 2025-54 \(2219 W Jefferson St\) deferral.pdf](#)

Ms. Bernhard explained staff recommended Petition 2025-54 be deferred indefinitely.

A motion was made by Bob Nachtrieb, seconded by Ralph Bias, to defer PETITION 2025-54: A series of Variations on signage to increase maximum area for a monument sign, located at 2219 W. Jefferson Street. (COUNCIL DISTRICT #2) ****TO BE DEFERRED****. The motion carried by the following vote:

Aye: Bias, Hennessy, Nachtrieb, Roehr, McGrath Schmig and Stiff

Absent: Radakovich

OLD/NEW BUSINESS—NOT FOR FINAL ACTION OR RECOMMENDATION

None

PUBLIC COMMENT

None

ADJOURNMENT

A motion was made by Ed Hennessy, seconded by Ralph Bias, to approve adjournment. The motion carried by the following vote:

Aye: Bias, Hennessy, Nachtrieb, Roehr, McGrath Schmig and Stiff

Absent: Radakovich

This meeting will be held in an accessible location. If you need a reasonable accommodation, please contact The City Clerk Office, 150 West Jefferson Street, Joliet, Illinois 60432 at (815) 724-3780.



City of Joliet

150 West Jefferson Street
Joliet, IL 60432

Memo

File #: TMP-9266

Agenda Date:12/18/2025

STAFF REPORT

DATE: December 18, 2025
TO: Zoning Board of Appeals
FROM: Ray Heitner, Planner
RE: Petition Number: 2025-51 & 2025-52
Applicant: Ronald Schelling
Status of Applicant: Developer
Property Owner: Timpanogas, LLC
Location: 1701 Drauden Road (Council District #3)
Request: 2025-51: A Special Use Permit to allow a self-storage facility, located at 1701 Drauden Road (COUNCIL DISTRICT #3)
2025-52: A Variation of Use to allow a B-3 (general business) use in the B-1 (neighborhood business) zoning district, located at 1701 Drauden Road (COUNCIL DISTRICT #3)

Deferral of Petitions

The applicant is requesting that the subject petitions be deferred to the January 15, 2025, Zoning Board of Appeals meeting to allow additional time for meeting preparation. Staff supports this deferral request.



City of Joliet

150 West Jefferson Street
Joliet, IL 60432

Memo

File #: TMP-9243

Agenda Date: 12/18/2025

STAFF REPORT

DATE: December 11, 2025
TO: Zoning Board of Appeals
FROM: Francisco Jimenez, Planner
RE: Petition Number: 2025-53
Applicant / Owner: Glenda McCullum
Location: 111 McDonough Street (Council District #5)
Request: A Special Use Permit to allow a community center within an R-2 (Single-Family Residential District)

Purpose

The applicant is requesting a Special Use Permit to allow a community center within an R-2 (Single-Family Residential) District at 111 McDonough Street. Per the City of Joliet Zoning Ordinance, social or recreational centers of a community nature may be allowed as special uses within a residential district provided that:

- The use is located not less than twenty (20) feet from any other lot located in a residential district.

The following use may be allowed as a special use by the Mayor and the City Council with the advice of the Board of Appeals.

Site Specific Information

The subject property is approximately 15,000 square feet in size and is zoned R-2 (Single-family Residential). The property contains a single-story commercial building that was built 1959. The zoning of the property appears to have changed numerous times over the past several decades. Its original zoning appears to have been B-1 (Neighborhood Business) according to the 1968 Zoning map. The property was rezoned to its current R-2 (Single-family residential) zoning designation in 2004 (Ord. 14713). The City of Joliet granted a variation of use (Ord. 16896) that allowed the property to be operated as a neighborhood store. Past uses of the building have been restaurants, convenience stores, and other businesses.

The property has adequate on-site parking to accommodate the use with 26 spaces. On-site utilities are present, and the property has ingress and egress from both McDonough Street and Des Plaines Street.

Surrounding Zoning, Land Use and Character

North – R-2 (Single-Family Residential), Single family dwellings

South – R-2 (Single-Family Residential), Single family dwellings
East – R-2 (Single-Family Residential), and B-1 (Neighborhood Business District)
West – R-5 (High Density), Residential (Townhomes, duplexes)

Applicable Regulations

- Section 47-5.2(B)(1) Special Uses

Discussion

The applicant is requesting a Special Use Permit to establish a community center at 111 McDonough Street. The Arise Impact Center will offer tutoring, mentoring, arts programs, and other services for the nearby community. Community centers such as this are allowed as a special use with recommendation from the Zoning Board of Appeals and approval from the City Council.

The maximum capacity of the community center would be 50 persons and would be staffed by volunteers or program leaders. The center would serve school-aged children, young adults, and parents. No commercial services will occur onsite. The proposed hours of operation will be from 10 a.m. to 7 p.m. Monday through Friday, and from 9 a.m. to 5 p.m. on Saturday. There is existing on-site parking that is sufficient for the proposed use. The applicant has also indicated that the building would undergo renovations to bring the building up to standard for the new use. Some of the repairs include, but are not limited to, new interior paint, new flooring, and exterior work. The exterior will receive a new coat of paint, and the fascia and roof will be repaired as well. The parking lot will also be repaired. Additional details on the programs and services to be offered at the Arise Impact Center as well as information on the site plan and floor plan can be found as attachments in the staff report packet.

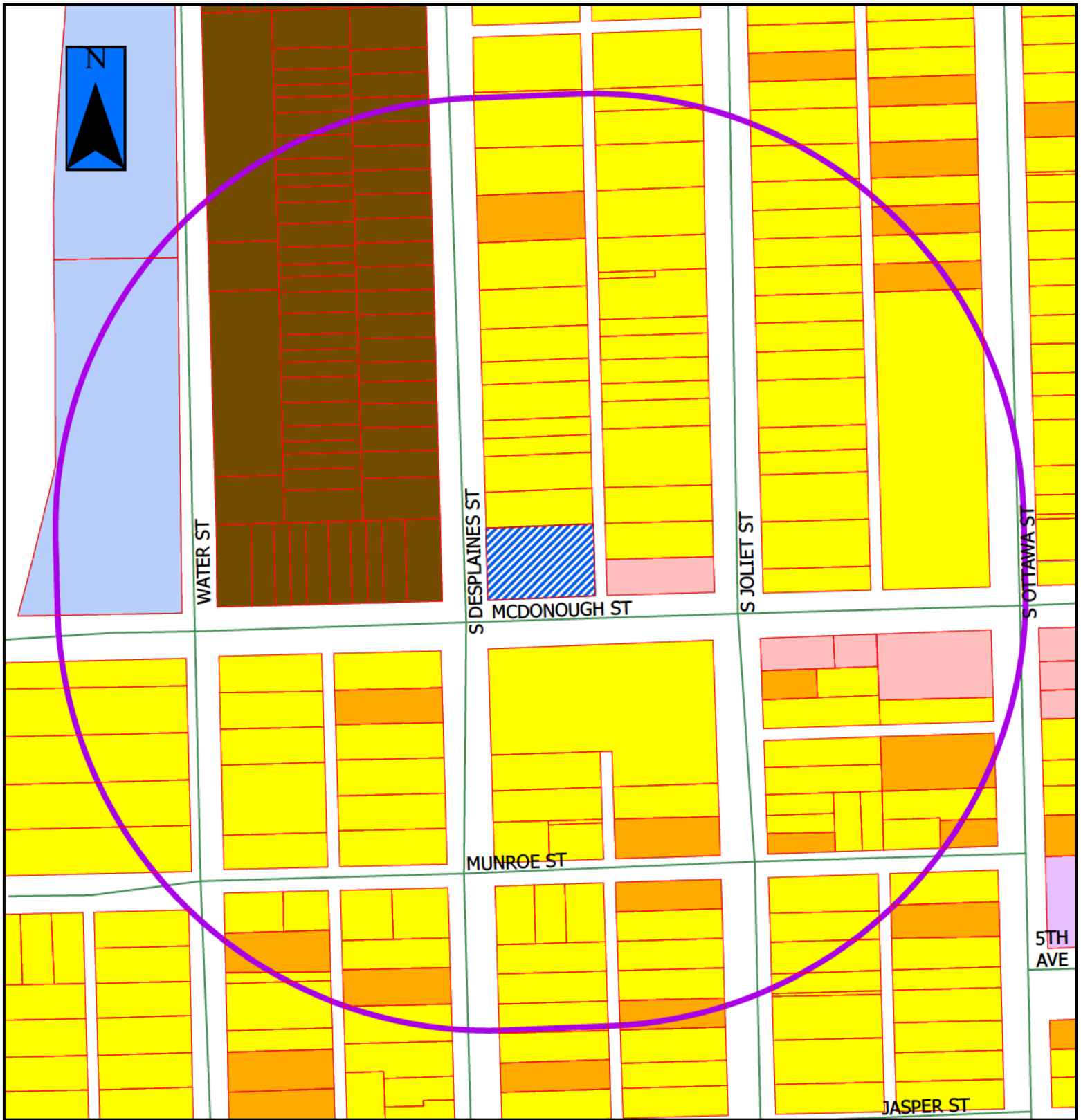
Recommended Action

A community center is an allowed use in the R-2 (Single-family zoning district) upon satisfaction of the City of Joliet's Special Use permit criteria. Staff finds that the special use request meets the criteria in that it will not be detrimental to public health and safety, it will not impede the development of the surrounding area, and the property provides adequate access. The building has sat vacant for some time, and the proposed use will activate this property as well as result in property improvements.

Conditions

If the Zoning Board desires to approve the Special Use Permit to allow a community center, the following conditions should be included:

1. That a building permit shall be obtained prior to any renovations;
2. That the ingress / egress at the southwest corner of the site on Des Plaines Street be removed and returned to grass within 6 months of ordinance approval.
3. That the facility shall not be leased for banquets or parties;
4. Should the property be declared a public nuisance, it shall be subject to rehearing and possible revocation of the Special Use Permit;
5. That the Special Use granted shall herein terminate and lapse unless a building permit or certificate of occupancy is obtained not later than 180 days of the effective date of this ordinance and the erection or alteration of a building is started or the use is commenced within such period. The Board may grant an extension of this period, valid for no more than one hundred and eighty (180) additional days, upon written application and good cause shown without notice or hearing. Whether or not there is an intention to abandon the Special Use, if any special use is discontinued for a continuous period of one year, or if an intent to abandon the Special Use is evident in a shorter period of time, the Special Use for such use shall become void, and such use shall not thereafter be reestablished unless a new Special Use Permit is obtained;



2025-53



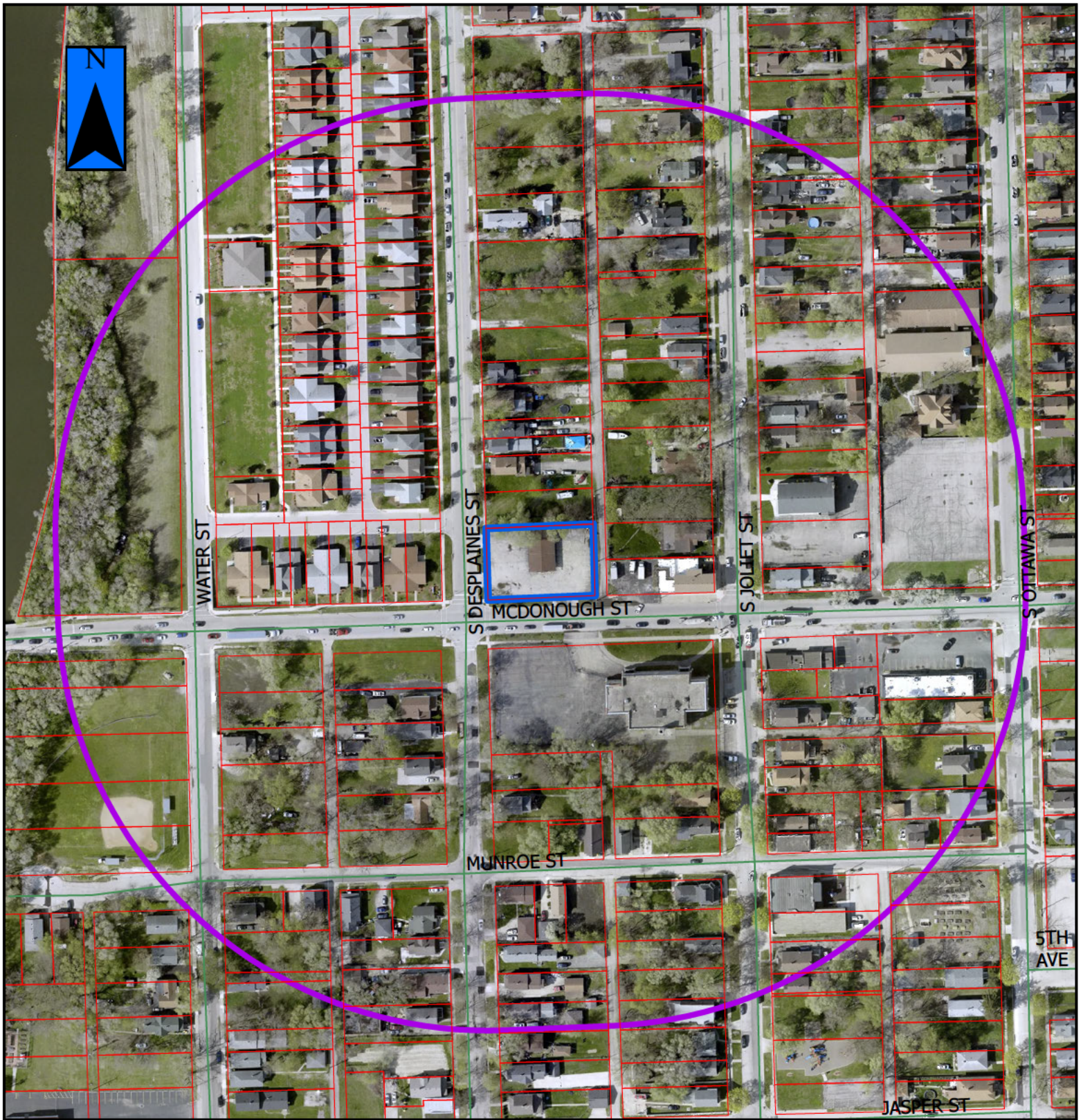
= Property in Question



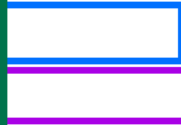
= 600' Public Notification Boundary

Legend

B-1	I-TA	R-2
B-2	I-TB	R-2A
B-3	I-TC	R-3
I-1	R-1	R-4
I-2	R-1A	R-5
I-T	R-1B	R-B



2025-53a



= Property in Question / Propiedad en cuestión

= 600' Public Notification Boundary /
Límite de notificación pública de 600 ft (180 m)



Joey's Food Market
Full line of Groceries & Snacks
615-726-2876



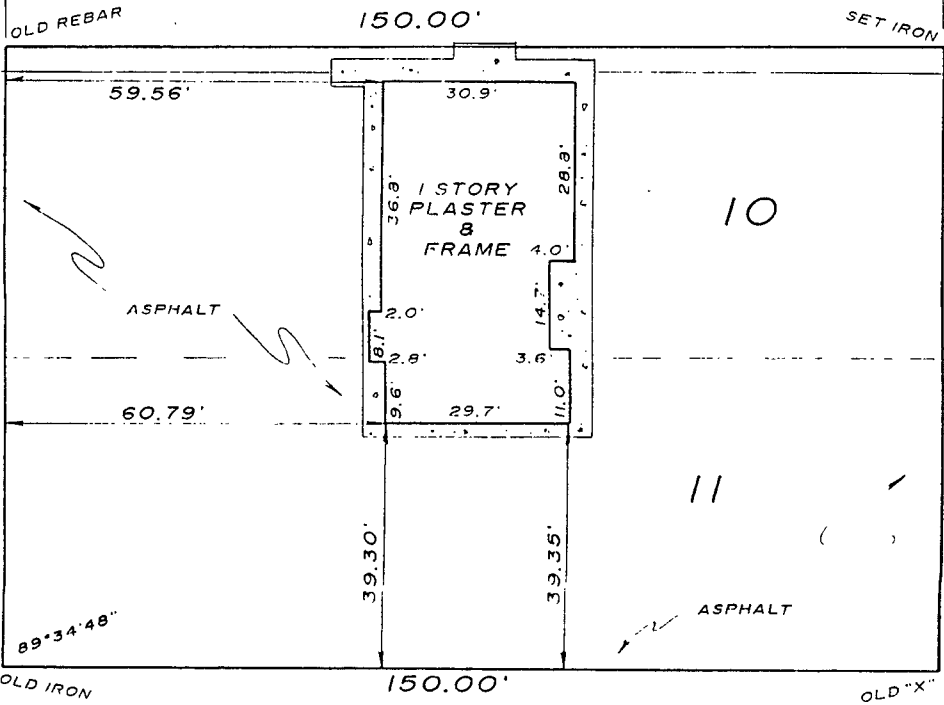
Site Plan

94-105

SCALE: 1" = 20'

DES PLAINES STREET

100.00' (RECD)
99.97' (MEAS)



N



COMMUNITY DEVELOPMENT CENTER

Glenda McCullum, Executive Director
Arise Community Development Center



October 14, 2025

City of Joliet
Planning & Zoning Division
150 W. Jefferson Street
Joliet, IL 60432

RE: Submission of Special Use Permit Application
111 McDonough Street
Joliet, IL 60436

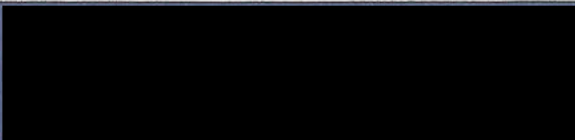
Dear Members of the Planning and Zoning Commission:

On behalf of Arise Community Development Center, NFP, I respectfully submit the enclosed Special Use Permit for the property located at 111 McDonough Street, Joliet, IL 60436. PIN: 30-07-16-234-017-0000. The request seeks approval to allow a non-profit community resource center within the R2 zoning district in accordance with the City of Joliet zoning ordinance.

This Special Use Permit is being requested to provide essential community services, improve neighborhood development, enhance the quality of life for youth and families, through educational opportunities and programs, and will operate in a manner that is consistent with the character of the surrounding area and compatible with the City's Comprehensive Plan of revitalization.

Enclosed with this submission are the following required materials

- Completed Special Use Permit Application
- Filing Fee Receipt
- Legal Description of Property
- Site Plan/Floor Plan/Site Photos
- Project Narrative & Statement of Purpose
- Ownership Disclosure Form
- Renovation Timeline and Monthly Activity Plan
- Mission Statement & Proposed Use
- Articles of Incorporation and IRS 501c3
- Photo ID





COMMUNITY DEVELOPMENT CENTER

We believe this project will:

- Enhance neighborhood revitalization and community engagement
- Promote safe and productive property utilization
- Support economic and social stability within the area
- Align with the City of Joliet's growth and redevelopment goals

Should you require any additional information or supporting documents to complete the review, please do not hesitate to contact me at [REDACTED]. We appreciate your time and consideration, and we look forward to presenting this petition at the upcoming Planning and Zoning Commission hearing.

Sincerely,
Dr. Glenda McCullum

FOR OFFICE USE ONLY

Verified by Planner (please initial): _____

Payment received from: _____

Petition #: _____

Common Address: _____

Date filed: _____

Meeting date requested: _____

ZONING BOARD OF APPEALS

JOLIET, ILLINOIS

PETITION FOR SPECIAL USE PERMIT

City of Joliet Planning Division, 150 W. Jefferson St., First Floor, South Wing, Joliet, IL 60432
Phone (815)724-4050 Fax (815)724-4056

ADDRESS FOR WHICH SPECIAL USE IS REQUESTED: 111 McDonough Street, 60436

PETITIONER'S NAME: Glenda McCullum

HOME ADDRESS: _____ ZIP CODE: 60431

BUSINESS ADDRESS: _____ ZIP CODE: _____

PHONE: (Primary) _____ (Secondary) _____

EMAIL ADDRESS: _____ FAX: _____

PROPERTY INTEREST OF PETITIONER: Community Development Center

OWNER OF PROPERTY: Amani Albadawi

HOME ADDRESS: _____ ZIP CODE: 60914

BUSINESS ADDRESS: _____ ZIP CODE: _____

EMAIL ADDRESS: _____ FAX: _____

Any use requiring a business license shall concurrently apply for a business license and submit a copy with this petition. Additionally, if this request is for operation of a business, please provide the following information:

BUSINESS REFERENCES (name, address, phone):

OTHER PROJECTS AND/OR DEVELOPMENTS:

PERMANENT INDEX NUMBER (TAX NO. OR P. I. N.): 30-07-16-234-017-0000 ;
_____ ; _____ ; _____.

Property Index Number/P.I.N. can be found on tax bill or Will County Supervisor of Assessments website

LEGAL DESCRIPTION OF PROPERTY (attached copy preferred):

Lot 10 and 11, Block 75 1/2 in Merrill and Osborn's Subdivision of Block 75 and 78 in School Section Addition of Joliet, in Section 16, in Township 35 North, and in Range 10, East of the Third Principal Meridian according to the plat thereto recorded April 25, 1835, in Plat book 1, Page 169: PIN 11-04-33-328-013 thru 171 in Will County Illinois

LOT SIZE: WIDTH: 230' DEPTH: 215.8' AREA : 49,634 sq. ft.

PRESENT USE(S) OF PROPERTY: Vacant

PRESENT ZONING OF PROPERTY: R2

SPECIAL USE REQUESTED: Special Use Requested for Arise Non-Profit Community Center that will provide programs to promote social responsibility, character development, economic self-sufficiency, contributing to the moral and civic fabric of the community. Through financial literacy workshops, mental health counseling, and revitalization efforts, we create a safe and empowering environment that uplifts individuals and communities.

The Zoning Board of Appeals is authorized to grant a special use permit provided the applicant establishes by clear and convincing evidence:

- (1) That the establishment, maintenance, or operation of the special use will not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare; and
- (2) That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood; and
- (3) That the establishment of the special use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district; and
- (4) That adequate utilities, access roads, drainage, and/or other necessary facilities have been or will be provided; and
- (5) That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets; and
- (6) That the special use shall in all other respects conform to the applicable land use regulations of the district in which it is located and shall not be in violation of any other applicable law, ordinance or regulation; and
- (7) At least one (1) year has elapsed since any denial of any prior application for a special use permit that would have authorized substantially the same as all or part of the sites, unless conditions in the area have substantially changed.

Please describe how this request meets the criteria by responding to the following questions in your own words.

1. How will the establishment, maintenance, or operation of the special use affect the public health, safety, morals, comfort, or general welfare?

The establishment, maintenance and operation of this special use will positively contribute to the public health, safety, morals, comfort, and general welfare by offering holistic wraparound support to underserved youth and families.

2. How will the special use impact properties in the immediate area? The special use permit will have a transformative and positive impact on communities in the area by providing accessible, community-based services that address both immediate and long-term needs.

3. Will the use impede the normal/orderly development/improvement of surrounding property?

No, the proposed special use will not impede the normal /orderly development /improvement of the surrounding properties. On the contrary, the non-profit's presence is expected to enhance neighborhood vitality and support surrounding property values by promoting safety, stability, and community engagement.

4. Are adequate utilities, access roads, drainage, and/or other necessary facilities provided?

Yes, adequate utilities, access roads, drainage, and other necessary facilities are currently in place. The proposed site is located in an area already equipped with essential infrastructure, including water, sewer, electricity and stormwater drainage.

5. Have adequate measures been taken to provide ingress/egress design to minimize traffic congestion in public streets?

Yes, adequate measures have been taken to ensure that ingress/egress are designed to minimize traffic congestion on public streets.

6. Does the use conform to the applicable land use regulations of the district in which it is located and does it violate any other applicable law, ordinance or regulation?

Yes, the use conforms to applicable land use regulations of the district with the exception of the necessity of a special use permit. The use does not violate any other applicable laws, ordinances or regulations.

7. Has at least one (1) year elapsed since any denial of any prior application for a special use permit that would have authorized substantially the same as all or part of the sites (unless conditions in the area have changed substantially)?

There have been no prior applications, within a 1 year timeline for a special use permit that would have authorized substantially the same as all or part of the sites.

REQUIRED SUPPORTING ATTACHMENTS

- ☐ Site plan / concept plan / floor plan / building elevation plan
- ☐ Joliet Ownership Disclosure form
- ☐ Business license application (if applicable)

NOTARIZATION OF PETITION

STATE OF ILLINOIS) ss
COUNTY OF WILL)

[REDACTED] depose and say that the above statements are true and correct to the best of my knowledge and belief. I agree to be present in person or by representation when this petition is heard before the Zoning Board of Appeals.

[REDACTED]

(If other than petitioner)



Subscribed and sworn to before me
this 7th day of October, 2025

[REDACTED]

CITY OF JOLIET OWNERSHIP DISCLOSURE FORM

The City of Joliet requires that applicants for zoning relief, subdivision approval, building permits and business licenses disclose the identity of all persons having an ownership interest in the business and the real property associated with the application. A copy of this form must be completed and submitted with other application materials. Failure to properly complete and submit this form may result in the denial of the application.

I. INFORMATION ABOUT THE APPLICATION

This form is submitted as part of an application for the following (check all that apply):

- ☒ Rezoning, Special Use Permit, Variation, or Other Zoning Relief (Complete Sections II and III)
- ☐ Preliminary Plat, Final Plat, or Record Plat of Subdivision (Complete Sections II and III)
- ☐ Building Permit (Complete Sections II and III)
- ☐ Business License (Complete All Sections)

II. INFORMATION ABOUT THE PROPERTY

The address and PIN(s) of the real property associated with this application are:

111 McDonough Street, Joliet, IL 60436

PIN(s): 30-07-16-234-017-0000

III. PROPERTY OWNERSHIP

Select the type of owner of the real property associated with this application and fill in the appropriate contact information below:

- | | |
|---|--|
| <input checked="" type="checkbox"/> Individual: | State the names, addresses, and phone #'s of the individual owner(s) |
| <input type="checkbox"/> Corporation: | State the names, addresses, and phone #'s of all persons holding 3% or more of the stock of the corporation and the percentage of shares held by such stockholders |
| <input type="checkbox"/> Limited Liability Company: | State the names, addresses, and phone #'s of all members of the company along with the percentage of ownership held by each member |
| <input type="checkbox"/> Land Trust: | State the names, addresses, and phone #'s of the trustee(s) and all beneficiaries |
| <input type="checkbox"/> Partnership: | State the names, addresses, and phone #'s of all partners |
| <input type="checkbox"/> Other type of organization: | State the names, addresses, and phone #'s of all persons having a legal or equitable ownership interest in the organization or the right to direct the affairs of the organization |

E-MAIL

FAX:

IV. BUSINESS OWNERSHIP

If the owner of the business is different than the owner of the real property associated with the application, then the following information must be provided:

Select the type of business owner associated with this application and fill in the contact information below:

- ☐ **Individual:** State the names, addresses, and phone #'s of the individual owner(s)
- ☐ **Corporation:** State the names, addresses, and phone #'s of all persons holding 3% or more of the stock of the corporation and the percentage of shares held by such stockholders
- ☐ **Limited Liability Company:** State the names, addresses, and phone #'s of all members of the company along with the percentage of ownership held by each member
- ☐ **Partnership:** State the names, addresses, and phone #'s of all partners
- ☒ **Other type of organization:** State the names, addresses, and phone #'s of all persons having a legal or equitable ownership interest in the organization

E-MAIL

FAX:

NOTE:

If a stockholder, member, beneficiary or partner disclosed in Section III or Section IV is not an individual, then the individuals holding the legal or equitable title to the real property or business associated with the application must also be disclosed. For example, if the real property associated with an application is owned by a land trust, and the beneficiary of the land trust is a limited liability company, then the members of the limited liability company must be disclosed. If one of the members of the limited liability company is a partnership, then the identity of the partners must be disclosed. If one of the partners is a corporation, then all persons owning 3% or more of the issued stock must be disclosed.

SIGNED

DATE: 10/07/2025

Name, Title, and Telephone Numbers of Person Completing and Submitting This Form:

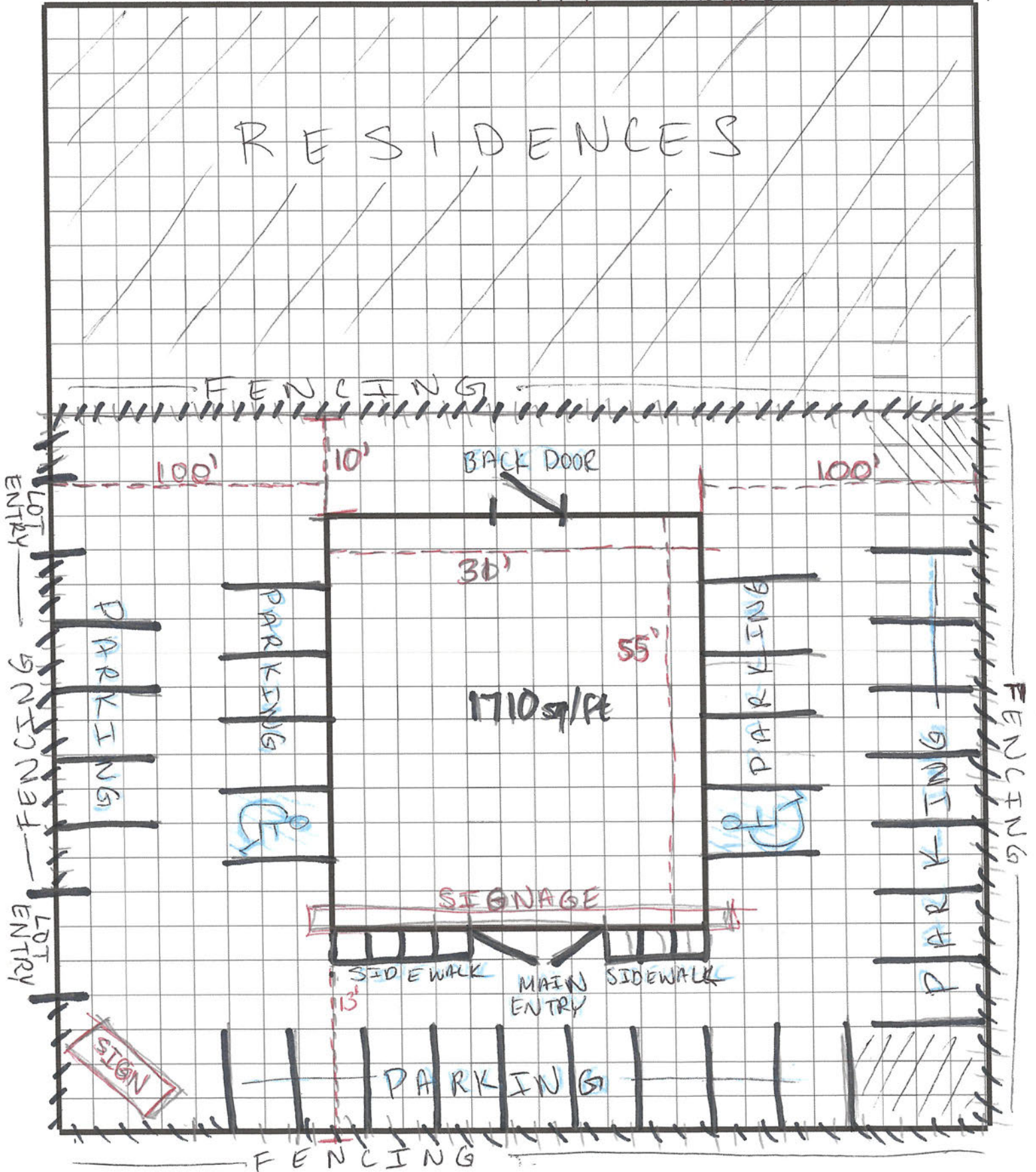
PRINT

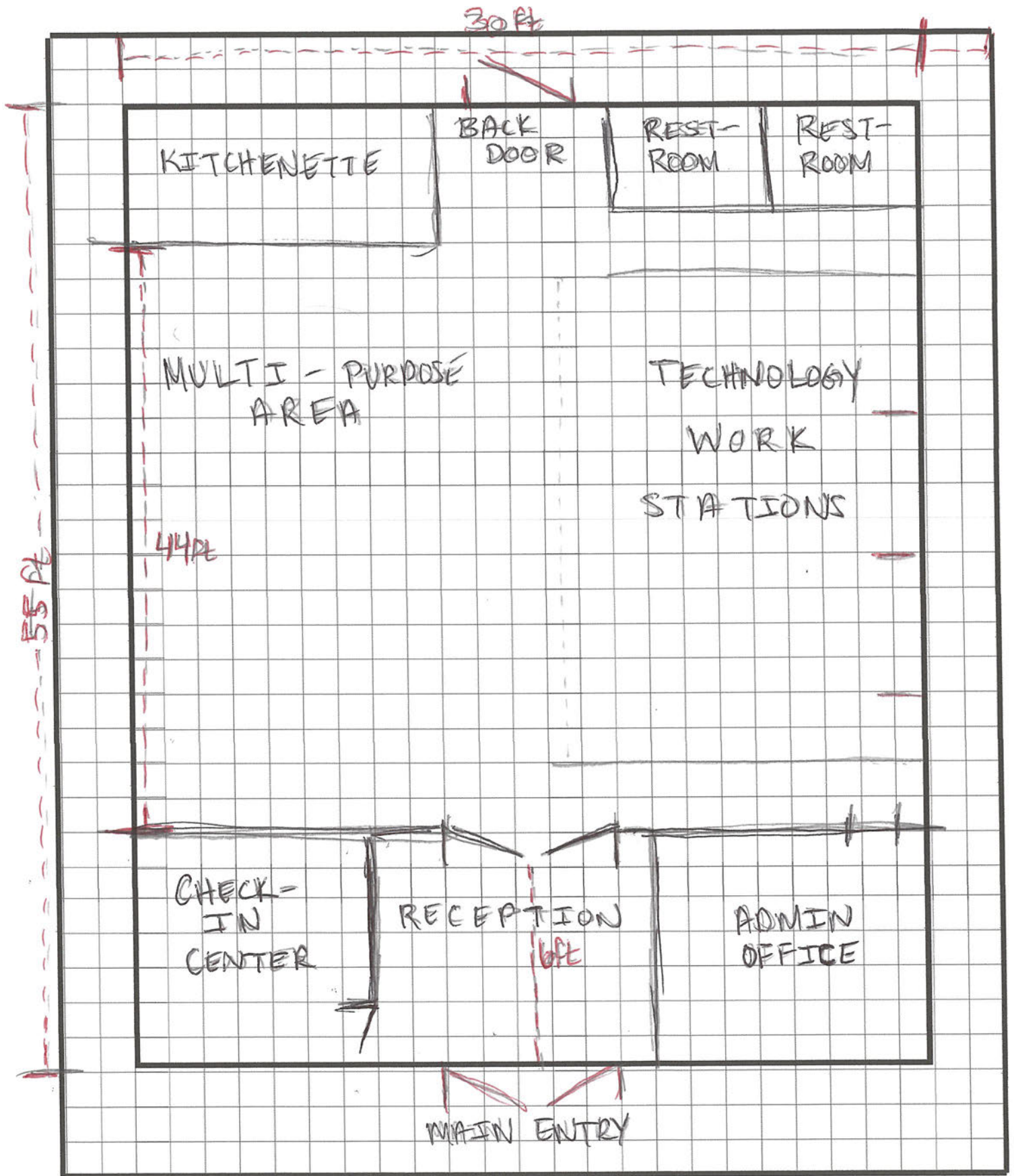
ARISE IMPACT CENTER
SAMPLE SITE PLAN

— EXTERIOR —

111 McDONOUGH ST JOLIET, IL

RESIDENCES





ARISE IMPACT CENTER
SAMPLE FLOOR PLAN

— INTERIOR —

111 McDONOUGH ST. JOLIET, IL

SITE DATA

ADDRESS: 111 McDonough Street

CITY: Joliet

COUNTY: Will

STATE: Illinois

LOCATION: The subject site is at the northeast corner of McDonough Street and Des Plaines Street.

SITE CHARACTERISTICS: Will County public records indicate that the subject site is rectangular in shape with 150 feet of frontage on McDonough Street and 100 feet of frontage on Des Plaines Street. Based on these dimensions, the site area was estimated to be approximately 15,000 square feet. The topography is primarily level.

Verification of the exact size and dimensions of the parcel is subject to a survey that is beyond the scope of this appraisal assignment. Opinions expressed in this report are contingent upon the extraordinary assumption that this estimate of land area is substantially correct. If a more detailed analysis was to reveal a significant variation, any opinion of market value expressed in this report could be affected.

ADJACENT USES: An adult day care center and a residence are immediately east of the subject property. There is a residence immediately north.

FLOOD PLAIN: Flood Insurance Rate Map Panel No. 17197C0164G dated February 15, 2019 indicates that the entire property is in an area of special flood hazard (Zone "AE"). This is generally considered a high-risk flood zone.

WETLANDS: Data provided by the U.S. Fish and Wildlife Service does not indicate any portion of the parcel being designated as wetland area. Verification is subject to analysis by a qualified engineer.

SITE DATA
(continued)

- DRAINAGE:** As noted, the property appears to be subject to occasional flooding. Verification of the subject's status is subject to analysis by a qualified engineer. Opinions expressed in this report are contingent upon the assumption that no adverse conditions exist that would preclude continued use of the property in the prior commercial capacity.
- STREET IMPROVEMENTS:** McDonough Street and Des Plaines Street are two-lane, asphalt-paved roadways with concrete curbing and storm sewers. There is pole-mounted lighting at the corner.
- ACCESS:** There are two entryways on Des Plaines Street and one entryway on McDonough Street.
- UTILITIES:** Natural gas and electrical services are in place. The City of Joliet provides water and sanitary sewer services.
- ZONING:** The City of Joliet zoning map indicates that the subject property is zoned R-2 / Single-Family Residence District. Recording document R2011-108481 indicates that the City of Joliet granted a variation of use (Ordinance No. 16896) allowing the property to be operated as a "neighborhood store." Conditions of this variation include maintaining a minimum of 11 parking spaces and a restriction on hours of operation (6:00 AM to 8:00 PM Monday through Saturday / 8:00 AM to 7:00 PM Sundays).
- ENCROACHMENTS:** No encroachments were noted by visual inspection. Verification would require analysis by a qualified surveyor that is beyond the scope of this appraisal assignment. Opinions expressed in this report are contingent upon the extraordinary assumption that no adverse encroachments are in existence.

SITE DATA
(continued)

DEED RESTRICTIONS:	<p>The appraiser is unaware of any adverse deed restrictions being in effect. Verification would require a title search that is beyond the scope of this appraisal assignment. Opinions expressed in this report are contingent upon the assumption that no extraordinary restrictions regarding the use of the subject property are in existence.</p>
SOIL CONDITIONS:	<p>Visual inspection did not reveal evidence of adverse soil conditions; however, verification would require analysis by a qualified engineer that is beyond the scope of this appraisal. Opinions expressed in this report are contingent upon the assumption that no adverse soil conditions exist that would preclude continued use of the property in the current capacity.</p>
MINERAL RIGHTS:	<p>No extraordinary restrictions regarding mineral rights are known to be in effect. Verification is subject to a title search that is beyond the scope of this appraisal assignment. If any atypical restrictions were found to be in effect, any opinion of market value expressed in this report could be affected.</p>
ADDITIONAL COMMENTS:	<p>The Illinois Department of Transportation estimated the average daily traffic along the subject's frontage to be 9,800 vehicles as of the valuation date.</p> <p>As noted, the site area was estimated based on data available in public records. Visual inspection did not reveal any detrimental conditions regarding access, wetlands, encroachments, use restrictions, soil conditions, or mineral rights. This valuation is being performed based on the extraordinary assumptions that no such detrimental conditions exist. If any variations from these extraordinary assumptions were revealed by a more detailed study, any opinion of market value expressed in this report could be affected.</p>

DESCRIPTION OF IMPROVEMENTS

TYPE AND DESIGN:	One-story, masonry building with a primarily open interior best suited for retail display. There are some partitioned rooms in the rear.
AGE:	Records obtained from the Joliet Township Assessor's Office indicate that the subject was built in 1959.
EXTERIOR:	The building has painted brick / concrete walls, a metal gutter / downspout system, an asphalt-shingle roof cover, fixed-glass / glass block windows, and two entry doors.
INTERIOR:	Most of the interior is open with tile flooring, painted walls, and a suspended-tile ceiling. There is a washroom, a storage room, and a mechanical room in the rear. A partitioned sales area is located in the front portion of the building.
BUILDING SIZE:	The Appraiser field measured the building. Based on these measurements, the floor area was estimated to be approximately 1,710 square feet.
HEATING / COOLING:	A gas-fired furnace was noted in the rear of the building. A central air conditioner was noted behind the structure.
WATER HEATER:	A 40-gallon, gas-fired water heater was noted in the rear mechanical room.
ELECTRICAL SERVICE:	The main service is labeled as having 200-amp capacity.

DESCRIPTION OF IMPROVEMENTS

(continued)

LOADING FACILITIES:	There are no loading facilities in place.
DRIVE-IN DOORS:	There are no drive-in doors.
DRIVE / PARKING:	There is an asphalt-paved parking lot with one access from McDonough Street and two access driveways from Des Plaines Street.
LANDSCAPING:	There is minimal landscaping in place.
REQUIRED REPAIRS:	<p>The interior walls need paint and repairs. The floor covering exhibits wear. Some ceiling tiles are missing. The exterior needs paint, fascia, gutters, and roof repair or replacement. The parking lot needs repairs.</p> <p>Visual inspection did not reveal the need for structural repairs. A building inspection by a qualified professional is recommended given the subject's advanced age and the need for some renovations. The appraiser is not qualified to perform an inspection of this type, and the observations noted in this report should not be relied on in lieu of a more detailed analysis by a qualified inspector.</p> <p>This valuation is subject to the extraordinary assumption that no structural repairs are needed and that no adverse structural conditions exist. If adverse conditions were to be revealed, any opinion of value expressed in this report could be affected.</p>
ADDITIONAL COMMENTS:	The subject is in below average condition as compared to similar properties in the area. It appears to be of average overall quality. The ceiling height is approximately 10 feet. The ratio of land to building area is approximately 8.77 to 1.

AERIAL VIEW



Comment: The site boundaries indicated are approximated. This aerial view should not be utilized in lieu of a property survey nor relied on for any other purpose.

LEGAL DESCRIPTION

Lot 10 and 11, Block 75 1/2, in Merrill and Osborn's Subdivision of Blocks 75 and 78 in School Section Addition of Joliet, in Section 16, in Township 35 North, and in Range 10, East of the Third Principal Meridian, according to the plat thereto recorded April 25, 1835, in Plat book 1, Page 169 PIN: 11-04-33-328-013 thru 171, in Will County, Illinois

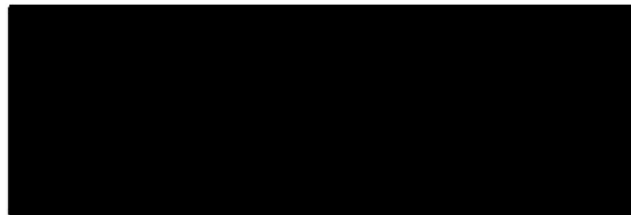
COMMENT: This legal description was obtained from Will County public records (recording document R2020-088685). Verification of the accuracy is beyond the Appraiser's expertise and would require a title search that is beyond the scope of this appraisal assignment. The Appraiser cannot guarantee accuracy and recommends that a thorough title search be conducted in lieu of relying on the description included in this report for any purpose.

PROPERTY TAX DATA

**A MARKET VALUE APPRAISAL REPORT
OF A COMMERCIAL FACILITY
LOCATED AT
111 MCDONOUGH STREET
JOLIET, ILLINOIS**

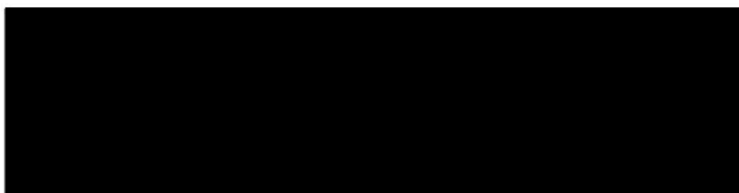


PREPARED FOR



PREPARED BY

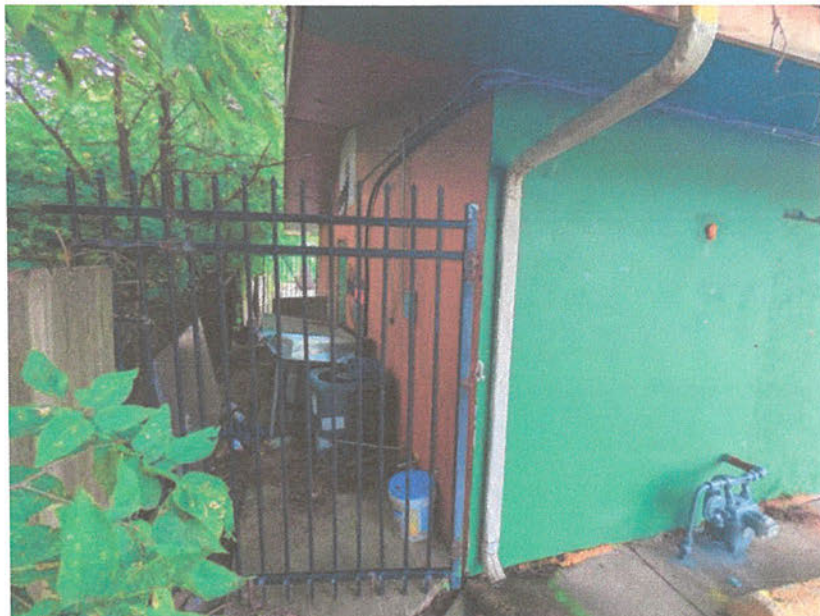
VALUATION DATE: August 18, 2025



PHOTOGRAPHS
(continued)



Subject Viewing East

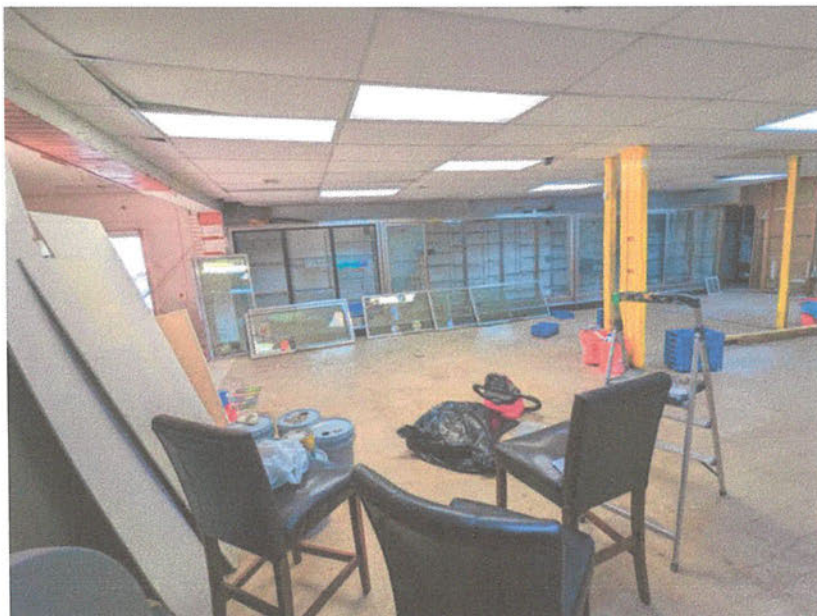


Subject Viewing Southeast

PHOTOGRAPHS
(continued)



Interior View



Interior View

PHOTOGRAPHS



Subject Viewing North



Subject Viewing West

AERIAL VIEW



Comment: The site boundaries indicated are approximated. This aerial view should not be utilized in lieu of a property survey nor relied on for any other purpose.



COMMUNITY DEVELOPMENT CENTER

October 10, 2025

To: City of Joliet – Planning & Zoning Department
150 W. Jefferson Street
Joliet, IL 60432

Re: Zoning Use Description – Arise Impact Center, 111 McDonough Street

Dear Planning & Zoning Department:

Arise Impact Center is a faith-based, nonprofit community organization seeking to operate at 111 McDonough Street, Joliet, IL 60436. The Center's purpose is to serve youth and families in the Joliet community through educational and enrichment programs that promote leadership, creativity, and personal development.

Our Mission

Arise Impact Center empowers youth and families through mentoring, academic support, leadership development, and creative arts programs that build confidence, develop purpose, and strengthen community impact. At Arise, we believe in the power of people and places. Our mission is to revitalize communities through equitable development, creative placemaking, and grassroots collaboration. We work side-by-side with residents, artists, and local leaders to reimagine underused spaces and create vibrant, inclusive neighborhoods where everyone can thrive.

Proposed Use

The facility will serve as a community education and enrichment center offering tutoring, mentoring, leadership classes, and poetry/creative arts programs for school-aged children, young adults, and parents. All activities are free to participants and designed to provide safe, positive, and educational engagement for youth and families.

No commercial retail, daycare, or residential services will occur onsite. No food service or kitchen operations are planned, aside from light refreshments during events.

Hours of Operation

- Monday–Friday: 10:00 a.m. – 7:00 p.m.
- Saturday: 9:00 a.m. – 5:00 p.m.
- Occasional evening programs or workshops as scheduled.

Occupancy & Staffing

- Anticipated maximum occupancy: 50 persons
- Staffed by a combination of volunteers and program leaders.



COMMUNITY DEVELOPMENT CENTER

Arise Impact Center

Revitalization Timeline & Monthly Activity Plan
(Sample 12-Month Roadmap)

Phase 1: Foundation & Mobilization (Months 1–3)

Month 1

- Conduct community survey and listening sessions to gather input from residents, churches, and local businesses.
- Launch volunteer recruitment drive and assign roles (outreach, events, cleanup teams).
- Begin branding and communication rollout, including flyers, social media presence, and local newspaper announcement.

Month 2

- Host neighborhood cleanup and beautification day.
- Convene stakeholder roundtable with city leaders, nonprofit partners, schools, and churches.
- Initiate fundraising campaign through grant applications and sponsorship packet distribution.

Month 3

- Present “Arise Vision Event” to introduce the Impact Center’s mission, goals, and community plans.
- Pilot small group programs (e.g., youth arts workshop, senior fellowship hour).
- Establish monthly Prayer & Vision Circle to maintain spiritual and community alignment.

Phase 2: Activation & Engagement (Months 4–6)

Month 4

- Organize community mural or public art installation to foster neighborhood pride.
- Conduct job-readiness and skills training workshop in partnership with workforce agencies.
- Launch Youth Leadership Council.



COMMUNITY DEVELOPMENT CENTER

Month 5

- Host Health & Wellness Fair including fitness sessions, health screenings, and nutrition classes.
- Facilitate Family Movie Night or outdoor community performance in available lot space.
- Hold resident roundtable for community feedback and mid-phase evaluation.

Month 6

- Implement Entrepreneur Pop-Up Market featuring local vendors and food trucks.
- Present "Arise Talks" — community dialogue panels addressing housing, safety, and education.
- Launch intergenerational mentorship program connecting youth and adults.

Phase 3: Growth & Expansion (Months 7–9)

Month 7

- Designate Senior Engagement Month featuring luncheons, tech workshops, and social outings.
- Begin infrastructure improvements at the Impact Center site (repairs, design upgrades).
- Publish mid-year Impact Report and host community celebration.

Month 8

- Coordinate Back-to-School Rally with supply giveaways and prayer over students and educators.
- Host Arts & Culture Festival highlighting local music, dance, and storytelling.
- Continue monthly service initiatives with local partner organizations.

Month 9

- Organize Workforce & Small Business Expo for entrepreneurs and job seekers.
- Facilitate Neighborhood Night of Worship & Unity Celebration.
- Begin Parent Empowerment Series with classes on financial literacy and advocacy.



COMMUNITY DEVELOPMENT CENTER

Phase 4:

Sustainability & Legacy (Months 10–12)

Month 10

- Launch Community Garden Project promoting sustainability and healthy living.
- Host Volunteer Appreciation Banquet.
- Offer ongoing education programs (ESL, financial literacy, homeownership).

Month 11

- Provide Thanksgiving Community Dinner for local families.
- Present Youth & Young Adult Showcase featuring art, music, and innovation projects.
- Publish next-year's vision statement and program calendar.

Month 12

- Host Annual Impact Gala & Fundraiser to celebrate progress, partnerships, and community testimonies.
- Hold Year-End Worship & Vision Night ("Looking Ahead Together").
- Release Annual Report summarizing metrics, stories, and growth outcomes.



COMMUNITY DEVELOPMENT CENTER

Programs Offered:

- Tutoring & academic support for K-12 students
- Mentoring & leadership development for youth and teens
- Creative arts programs including poetry, music, and visual arts
- Life skills and career readiness workshops
- Family and community engagement events

Funding Sources:

- Grants: Federal, state, and local government grants for youth services, arts education, and community development; foundations like the Illinois Arts Council, CDBG, and local community foundations.
- Donations: Contributions from individuals, churches, and businesses; online fundraising campaigns and annual giving programs.
- Corporate Sponsorships: Partnerships with local businesses to sponsor programs, events, or facility improvements.
- Fundraising Events: Community events such as poetry nights, art shows, or benefit concerts to raise funds and engage the local community.
- Program Fees (Optional / Sliding Scale): While programs are free, optional donation-based contributions from families may be accepted to support sustainability.
- Faith-Based Partnerships: Partnering with local churches and ministries for program support, volunteers, and shared resources.

Renovation & Phased Opening

Arise Impact Center renovation plans include exterior painting, roof and gutter repair, seal coat parking lot, install fencing on east side of property, repair existing fencing, moderate interior renovations (painting, flooring, and minor layout improvements). We request approval for a phased opening, allowing community programming to begin in designated finished areas while ongoing improvements continue under appropriate inspection and safety compliance.

Community Impact

The Center will provide a safe, accessible space for mentoring, youth empowerment, and leadership training. The programs directly support the City of Joliet's goals of community revitalization, youth engagement, and neighborhood development.

We appreciate your consideration and look forward to collaborating with the Planning & Zoning staff to ensure full compliance with city requirements.

Sincerely,
Dr. Glenda Wright-McCullum





City of Joliet

150 West Jefferson Street
Joliet, IL 60432

Memo

File #: TMP-9237

Agenda Date: 12/18/2025

STAFF REPORT

DATE: December 18, 2025
TO: Zoning Board of Appeals
FROM: Ray Heitner, Planner
RE: Petition Number: 2025-55 and 2025-56
Applicant: Jose Luis Rojas Sr.
Status of Applicant: Developer
Location: 621-629 N. Hickory Street (Council District #4)
Request: A Variation of Use to allow a laundromat, a B-1 (neighborhood business) use in an R-4 (multi-family residential) zoning district, located at 629 N. Hickory Street.
A Variation to reduce the required amount of off-street parking from 31 spaces to 19 spaces, located at 621-629 N. Hickory Street.

Purpose

The applicant is requesting the following Variations to allow conversion of an existing vacant commercial tenant space into a laundromat at 629 N. Hickory Street:

- Variation of Use to allow a laundromat, a B-1 (neighborhood business) use in an R-4 (multi-family residential) zoning district.
- Variation to reduce the required amount of off-street parking from 31 spaces to 19 spaces.

The City Council will make the final decision on the requested Variation of Use petition. The Zoning Board of Appeals makes the final decision on the Variation request pertaining to the amount of required off-street parking.

Site Specific Information

The subject property contains a mixed-use, two-story, brick building that was constructed in 1916 and maintains its original layout with seven upper-level apartment dwelling units and three commercial units on the main floor. The subject property contained B-2 (local business) zoning between 1939 and 1969 but has been zoned R-4 (low density multi-family residential) zoning since 1969. Due to the property's zoning classification, commercial uses are prohibited. The R-4 Zoning classification appears to have never

matched the historic and current land uses. Past commercial uses included taverns, grocery stores, and offices, that were historically accessed by walking.

The applicant is requesting to put in a laundromat at 629 N. Hickory Street, which is the northernmost ground-floor commercial unit in the subject building. In 2019, the City Council approved an amended Variation of Use to allow the existing grocery store at 625 N. Hickory Street, which is the middle ground-floor commercial unit. A salon is located at 621 N. Hickory Street, which is the southernmost commercial unit.

The proposed laundromat would contain 20 washing machines and 20 dryers and would operate between 6 a.m. and 10 p.m. The laundromat would have two entrances, one from the building's northeast corner, and one along the north side of the building. There would be no internal access between the laundromat and the residences on the second floor. A conceptual floor plan of the proposed laundromat business has been included in the staff report packet.

The site contains 19 off-street parking spaces, as shown in the attached parking lot exhibit. Twelve parking spaces are located west of the subject building, with two additional spaces in a detached garage that is adjacent to the main parking lot. Five angled parking spaces are located just south of Lime Street, along the building's north side. The entirety of the site is covered by the building, existing off-street parking, or access drives that are needed for site circulation. There is no room for additional off-street parking.

Surrounding Zoning, Land Use and Character

The zoning and land use for the adjacent properties are as follows:

- North: R-4 (low multi-family residential), multi-family residential
- South: R-4 (low multi-family residential), multi-family residential
- East: R-2 (single-family residential), single-family residential
- West: R-2 (single-family residential), single-family residential

Applicable Regulations

- Section 47-8.1 – Permitted Principal Uses (R-4)
- Section 47-8.8 – Prohibited Uses (R-4)
- Section 47-17.17(N)(8) and (N)(28) – Off-Street Parking Regulations – Retail and Laundromats
- Section 47-17.28 – Variation of Use
- Section 47-19.8 - Findings of Facts Supporting a Variation (refer to attachment)

A "**Variation of Use**" shall be defined to mean relief from strict compliance with the use limitations of this Ordinance regarding the classification, regulation, and restriction of the

location where trades, industries, businesses, and residences may exist.

Analysis

The applicant's proposal for a laundromat is not an allowable use within the subject property's R-4 (low density multi-family residential) zoning district. Therefore, a Variation of Use to allow the proposed use is required. Section 47-19.8 of the City's Zoning Ordinance details the conditions that must be met for a Variation to be granted. The building predates both the City's Zoning Ordinance and the applicable R-4 zoning designation and has operated as a mixed-use commercial and residential building since its inception. Since the subject property has R-4 (low density multi-family residential) zoning, commercial uses cannot operate within the ground floor area without a Variation of Use. Therefore, the property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the zoning's district's regulations. Staff views the misaligned zoning designation as a unique circumstance causing the owner plight in filling the vacant commercial space. Due to the building's history as a mixed-use building within the context of the Bicentennial Bluffs neighborhood, staff does not believe that an additional neighborhood business-oriented use will alter the essential character of the neighborhood.

The proposed laundromat use comes with an off-street parking requirement of one parking space for every two washing machines. Since the applicant has stated that the laundromat would contain a maximum of 20 washing machines, 10 parking spaces are required. An additional 10 parking spaces are required for the existing salon and grocery store uses in the building. The residential units on the top floor each require 1.5 parking spaces per dwelling unit. Therefore, the off-street parking total that is required for the entire building is 31 parking spaces. The attached parking lot exhibit shows how the site can accommodate no more than 19 off-street parking spaces.

While there is little on-site parking to accommodate the proposed business, ample street parking in the surrounding neighborhood is available at most times throughout the day. Staff observed this location at several times throughout the day and found parking available on Hickory Street and Lime Street, adjacent to the proposed business. Furthermore, due to the building's centrality within the Bicentennial Bluffs neighborhood, the subject building is easily accessible by walking or biking to many of its patrons.

Regarding the proposed Variation to reduce the required amount of off-street parking from 31 spaces to 19 spaces, staff finds that the property in question cannot yield a reasonable return if permitted to follow the Zoning Ordinance's applicable parking regulations, due to site constraints. The size of the building relative to the overall lot size presents a plight of the owner due to unique circumstances. Since the building has functioned as an established mixed-use building within the context of the Bicentennial Bluffs neighborhood

for over 100 years, staff does not believe the Variation, if granted, will alter the essential character of the locality.

Recommended Action

Staff recommends the Zoning Board of Appeals recommend the City Council approve both the requested Variation of Use to allow a laundromat, a B-1 (neighborhood business) use in an R-4 (multi-family residential) zoning district and a Variation to reduce the required amount of off-street parking from 31 spaces to 19 spaces. The requested Variation of Use should be recommended subject to the conditions listed below.

Conditions

1. That the structure is not expanded to accommodate additional dwelling units or commercial units.
2. That the existing off-street parking arrangement, which includes 19 total off-street parking spaces, remain in place while the three commercial units are occupied.
3. That the City may initiate a repeal process for the Variation of Use if the required conditions are not satisfied.
4. Should the property be declared a public nuisance by the City Council, the Variation of Use shall be subject to a rehearing and possible revocation.

FOR OFFICE USE ONLY

Verified by Planner (please initial): _____

Payment received from: _____

Petition #: _____

Common Address: _____

Date filed: _____

Meeting date assigned: _____

ZONING BOARD OF APPEALS

JOLIET, ILLINOIS

PETITION FOR VARIATION OF USE

City of Joliet Planning Division, 150 W. Jefferson St., Joliet, IL 60432
Ph (815)724-4050 Fax (815)724-4056

ADDRESS FOR WHICH VARIATION IS REQUESTED: 629 Hickory Street, Joliet, Illinois 60435

PETITIONER'S NAME: Jose Luis Rojas Sr

HOME ADDRESS: _____ ZIP CODE: _____

BUSINESS ADDRESS: _____ ZIP CODE: _____

PHONE: (Primary) _____ (Secondary) _____

EMAIL ADDRESS: _____ FAX: _____

PROPERTY INTEREST OF PETITIONER: 629 Hickory Street Joliet, Illinois 60435

OWNER OF PROPERTY: Uriel C. Rojas Sr

HOME ADDRESS: _____ ZIP CODE: _____

BUSINESS ADDRESS: _____ ZIP CODE: _____

EMAIL ADDRESS: _____ FAX: _____

Any use requiring a business license shall concurrently apply for a business license and submit a copy with this petition. Additionally, if this request is for operation of a business, please provide the following information:

BUSINESS REFERENCES (name, address, phone or email):

None

OTHER PROJECTS AND/OR DEVELOPMENTS:

None at this moment

PERMANENT INDEX NUMBER (TAX NO. OR P. I. N.): 30-07-09-217-008-000;
_____; _____; _____.

Property Index Number/P.I.N. can be found on tax bill or Will County Supervisor of Assessments website

LEGAL DESCRIPTION OF PROPERTY (an attached copy preferred):

Commercial / Apartment unit, location 621-629 N Hickory Street Joliet, Illinois 60435

LOT SIZE: WIDTH: _____ DEPTH: _____ AREA: 2400 square feet

PRESENT USE(S) OF PROPERTY: Vacant

PRESENT ZONING OF PROPERTY: Commercial

VARIATION OF USE REQUESTED: Requesting to open a laundrymat for the apartments and neighborhood

RESPONSE TO VARIATION OF USE CRITERIA

The Zoning Board of Appeals is authorized to grant or recommend relief only when it has received adequate evidence to establish a practical difficulty or hardship. The evidence must support each of the following three conditions:

- (a) The property in question cannot yield a reasonable return by use permitted and subject to the conditions allowed by the regulations in the particular district or zone.
- (b) The plight of the owner is due to unique circumstances.
- (c) The variation, if granted, will not alter the essential character of the locality.

Please describe how this request meets the criteria by responding to the following questions in your own words.

1. How do the applicable zoning regulations prevent the property in question from yielding a reasonable return?

I do not believe that the applicable zoning regulations prevent the property in question from yielding a reasonable return.

I believe that the existing establishment already meets the criteria for having the business that I wish to open and it would greatly benefit the community,

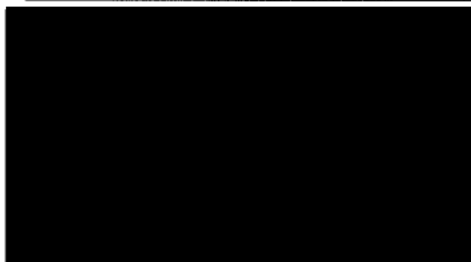
IV. BUSINESS OWNERSHIP

If the owner of the business is different than the owner of the real property associated with the application, then the following information must be provided:

Select the type of business owner associated with this application and fill in the contact information below:

- ☒ **Individual:** State the names, addresses, and phone #'s of the individual owner(s)
- ☐ **Corporation:** State the names, addresses, and phone #'s of all persons holding 3% or more of the stock of the corporation and the percentage of shares held by such stockholders
- ☐ **Limited Liability Company:** State the names, addresses, and phone #'s of all members of the company along with the percentage of ownership held by each member
- ☐ **Partnership:** State the names, addresses, and phone #'s of all partners
- ☐ **Other type of organization:** State the names, addresses, and phone #'s of all persons having a legal or equitable ownership interest in the organization

Jose Luis Rojas Sr

	_____

	_____ FAX: _____

NOTE:

If a stockholder, member, beneficiary or partner disclosed in Section III or Section IV is not an individual, then the individuals holding the legal or equitable title to the real property or business associated with the application must also be disclosed. For example, if the real property associated with an application is owned by a land trust, and the beneficiary of the land trust is a limited liability company, then the members of the limited liability company must be disclosed. If one of the members of the limited liability company is a partnership, then the identity of the partners must be disclosed. If one of the partners is a corporation, then all persons owning 3% or more of the issued stock must be disclosed.

SIGNED:

DATE:

Name, Title, and Telephone Numbers of Person Completing and Submitting This Form:

PRINT

How to Post a Sign for any Land Use Change

In an effort to increase the awareness of neighborhoods of potential land use changes in their areas, the City of Joliet requires posting of a sign giving notice of a hearing on a proposed land use change. All petitions filed for review by the Zoning Board of Appeals and Plan Commission must follow these procedures:

1. At least one sign for every 500 feet of street frontage, with a minimum of one sign on each street abutting the property shall be posted. If the property in question is more than 1 acre please refer to page 2 for information.
2. The sign shall be posted at least 15 days but not more than 30 days before the hearing date.
3. The sign shall contain the time and place of the public hearing and the nature of the land use change being requested. It shall be placed in a conspicuous location on the property so it may be observed and read from the street.
4. The sign shall be provided by the City of Joliet Planning Division upon the applicant's payment of a \$50.00 deposit for each sign.
5. It shall be the applicant's responsibility to post the sign. Written certification of the posting of the sign shall be provided by the applicant to the City with the date and location of the posting of the sign.
6. Upon completion of the public hearing, the sign shall be removed and returned to the City within ten days. The applicant's deposit shall be refunded upon return of the sign.
7. Failure to post the sign as required may result in the deferral of action on, or the denial of, the applicant's petition.

CITY OF JOLIET OWNERSHIP DISCLOSURE FORM

The City of Joliet requires that applicants for zoning relief, subdivision approval, building permits and business licenses disclose the identity of all persons having an ownership interest in the business and the real property associated with the application. A copy of this form must be completed and submitted with other application materials. Failure to properly complete and submit this form may result in the denial of the application.

I. INFORMATION ABOUT THE APPLICATION

This form is submitted as part of an application for the following (check all that apply):

- ☐ Rezoning, Special Use Permit, Variation, or Other Zoning Relief (Complete Sections II and III)
- ☒ Preliminary Plat, Final Plat, or Record Plat of Subdivision (Complete Sections II and III)
- ☐ Building Permit (Complete Sections II and III)
- ☐ Business License (Complete All Sections)

II. INFORMATION ABOUT THE PROPERTY

The address and PIN(s) of the real property associated with this application are:

629 N. Hickory Street Joliet, Illinois 60435

PIN(s): 30-07-09-217-008-000

III. PROPERTY OWNERSHIP

Select the type of owner of the real property associated with this application and fill in the appropriate contact information below:

- ☒ **Individual:** State the names, addresses, and phone #'s of the individual owner(s)
- ☐ **Corporation:** State the names, addresses, and phone #'s of all persons holding 3% or more of the stock of the corporation and the percentage of shares held by such stockholders
- ☐ **Limited Liability Company:** State the names, addresses, and phone #'s of all members of the company along with the percentage of ownership held by each member
- ☐ **Land Trust:** State the names, addresses, and phone #'s of the trustee(s) and all beneficiaries
- ☐ **Partnership:** State the names, addresses, and phone #'s of all partners
- ☐ **Other type of organization:** State the names, addresses, and phone #'s of all persons having a legal or equitable ownership interest in the organization or the right to direct the affairs of the organization

Uriel C. Rojas

E-MAIL

FAX:

2. *What unique circumstances exist which mandate a variance?*

I don't believe that there is any unique circumstances that exist which mandates a variance. Other than having the commercial unit upgraded and updated. If allow to proceed with my plan of opening this business, I will remodel and update the unit according to code.

3. *What impact would the granting of this variance have upon the essential character of the general area? Please include both positive and negative impacts.*

The impact that this variance would have upon the essential character of this general area would be that would provide them convenience of having a place to wash laundry for the apartment building nearby and the neighborhood that don't have washer and dryer in the convenience of their own home.

The only down side that it might arise from having a business in this area would be that it would have more vehicle traffic and people coming and going from the establishment.

REQUIRED SUPPORTING ATTACHMENTS

- ☐ Site plan / concept plan / floor plan / building elevation plan
- ☐ Joliet Ownership Disclosure form
- ☐ Business license application (if applicable)

NOTARIZATION OF PETITION

STATE OF ILLINOIS) ss
COUNTY OF WILL)

I, [REDACTED] depose and say that the above statements are true and correct to the best of my knowledge and belief. I agree to be present in person or by representation when this petition is heard before the Zoning Board of Appeals.

[REDACTED]

Petitioner's Signature

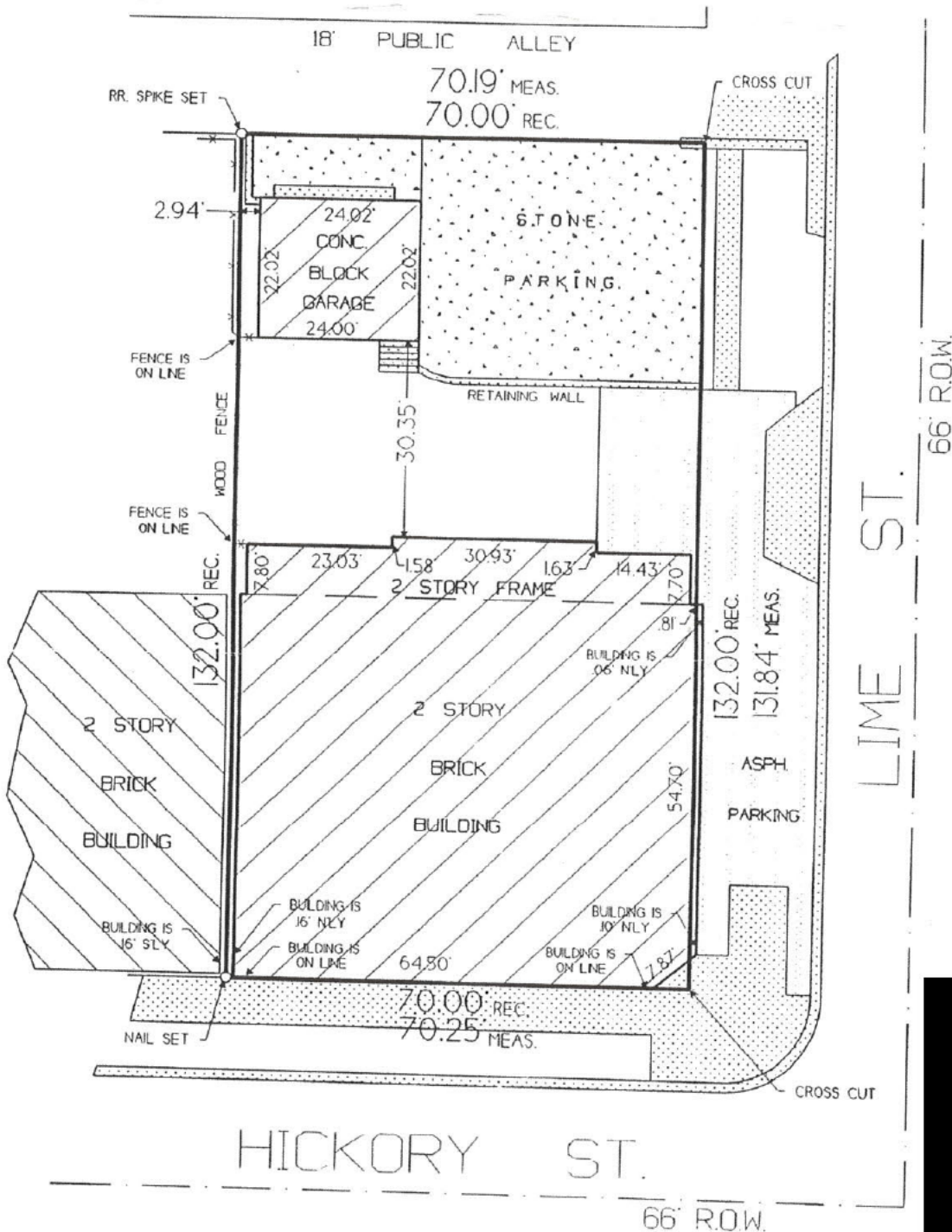
Owner's Signature
(If other than petitioner)

[REDACTED]

PLAT OF SURVEY

LOT 1 IN BLOCK 21, IN THAT PART OF THE CITY OF JOLIET, LAID OUT AND PLATTED BY THE BOARD OF TRUSTEES OF THE ILLINOIS AND MICHIGAN CANAL AS NORTH JOLIET AND LOCATED ON THE NORTHEAST QUARTER OF SECTION 9, IN TOWNSHIP 35 NORTH, AND IN RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN WILL COUNTY, ILLINOIS.

621 - 629 HICKORY STREET
JOLIET, IL



SCALE: 0 10' 20'

18' PUBLIC ALLEY

70.19' MEAS.
70.00' REC.

CROSS CUT

RR. SPOKE SET

2.94'

24.02'
CONC.
BLOCK
GARAGE
24.00'

6.TONE
PARKING.

FENCE IS
ON LINE

WOOD FENCE

FENCE IS
ON LINE

RETAINING WALL

30.35'

23.03' 15.8' 30.93' 16.3' 14.43' 7.80'
2 STORY FRAME

BUILDING IS
ON NLY

2 STORY
BRICK
BUILDING

2 STORY
BRICK
BUILDING

ASPH.
PARKING

BUILDING IS
ON NLY

BUILDING IS
ON NLY
BUILDING IS
ON LINE

BUILDING IS
ON NLY
BUILDING IS
ON LINE

70.00' REC.
70.25' MEAS.

NAIL SET

CROSS CUT

HICKORY ST.

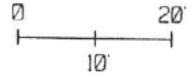
66' R.O.W.

LIME ST.

66' R.O.W.



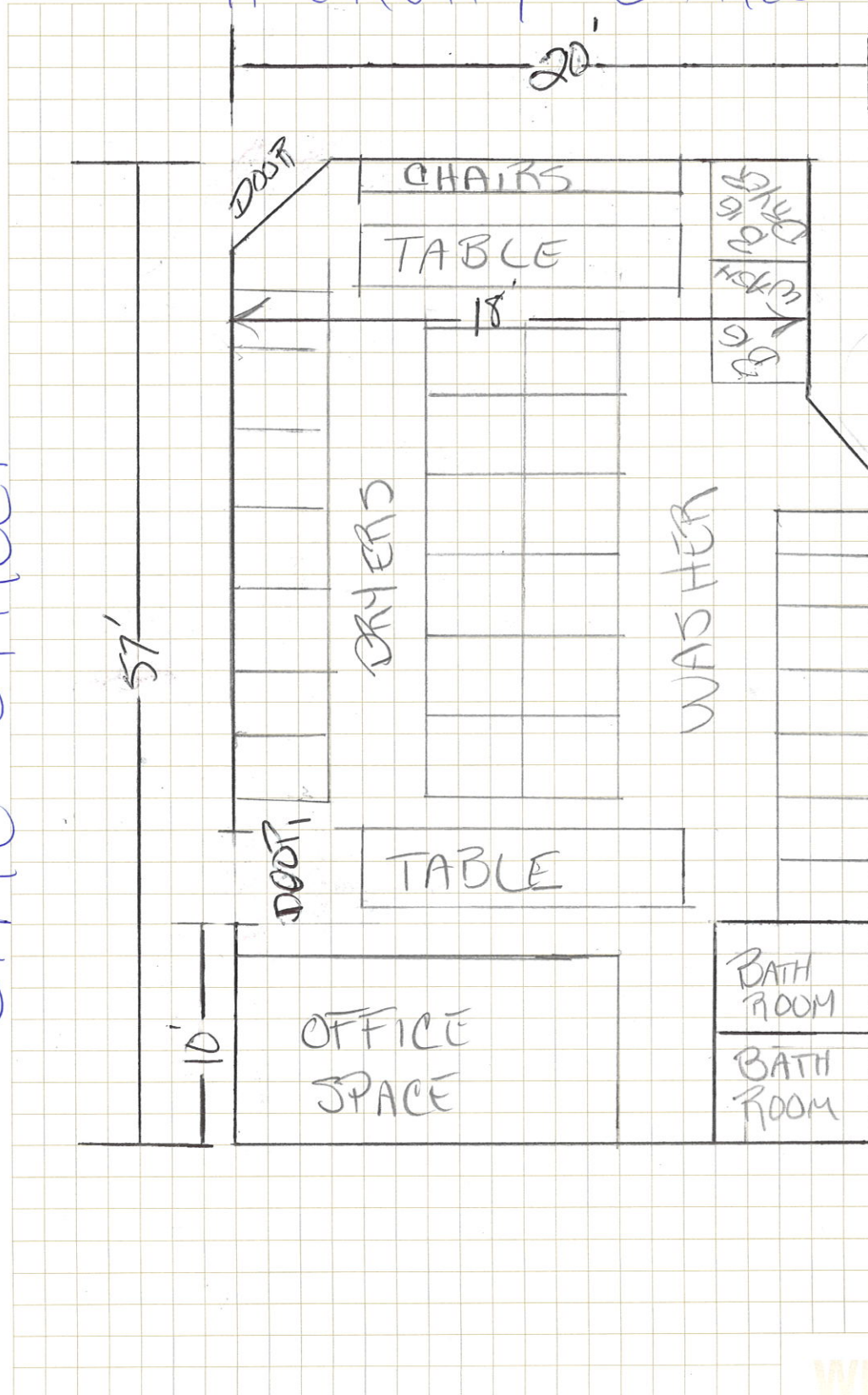
SCALE:



HICKORY STREET

TOTAL
SQUARE
FOOT
\$1,140

LIME STREET



621 - 629 N. Hickory St

LIME ST

N HICKORY ST

- | | | | | | | | | | | | | | | | | | | |
|---|---|---|---|---|---|---|---|---|----|----|----|----|----|----|----|----|----|----|
| 1 | 2 | 3 | 4 | 5 | 6 | 7 | 8 | 9 | 10 | 11 | 12 | 13 | 14 | 15 | 16 | 17 | 18 | 19 |
|---|---|---|---|---|---|---|---|---|----|----|----|----|----|----|----|----|----|----|





TIENDITA Y CARNITAS
CRUZITO

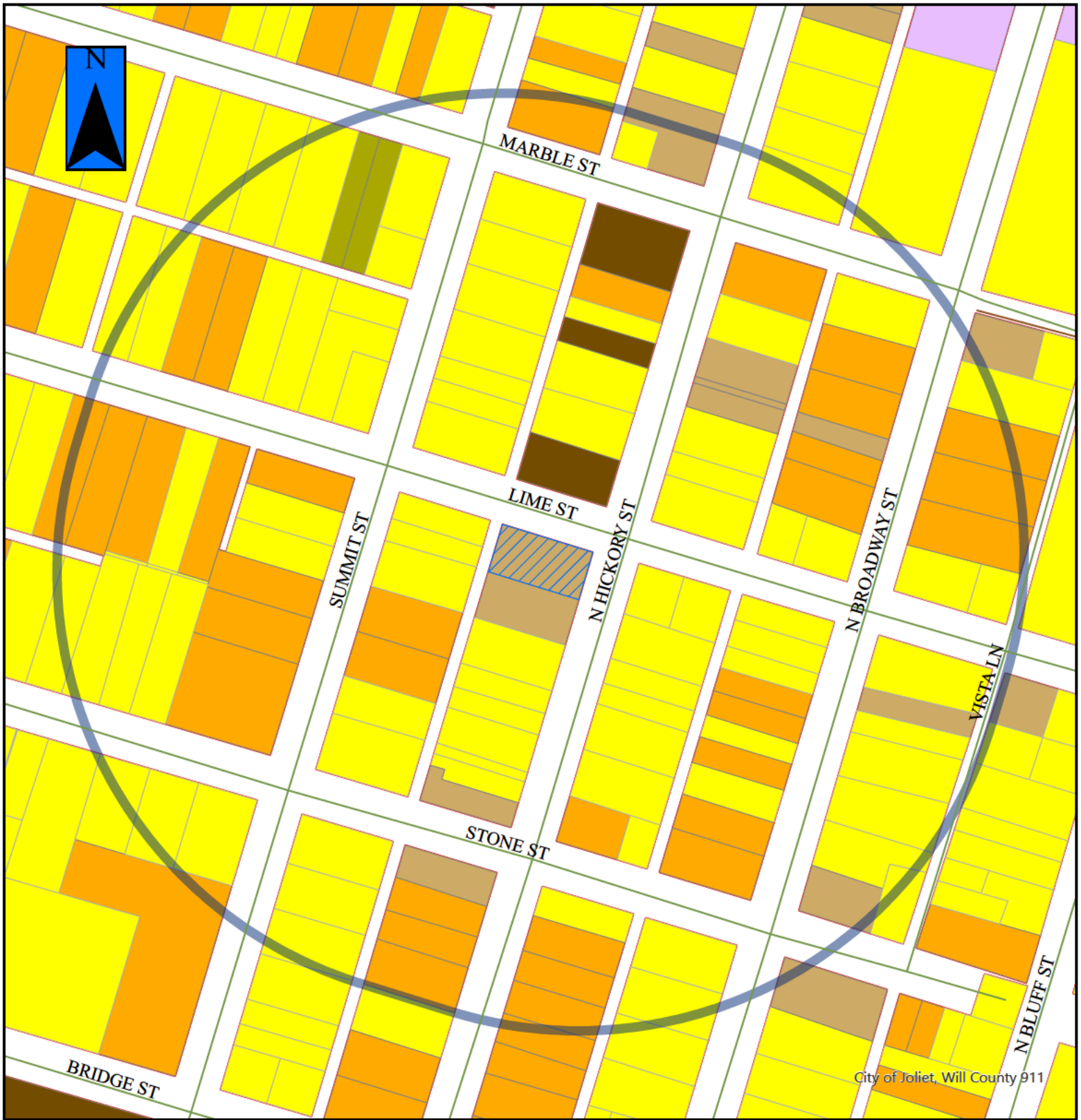












City of Joliet, Will County 911

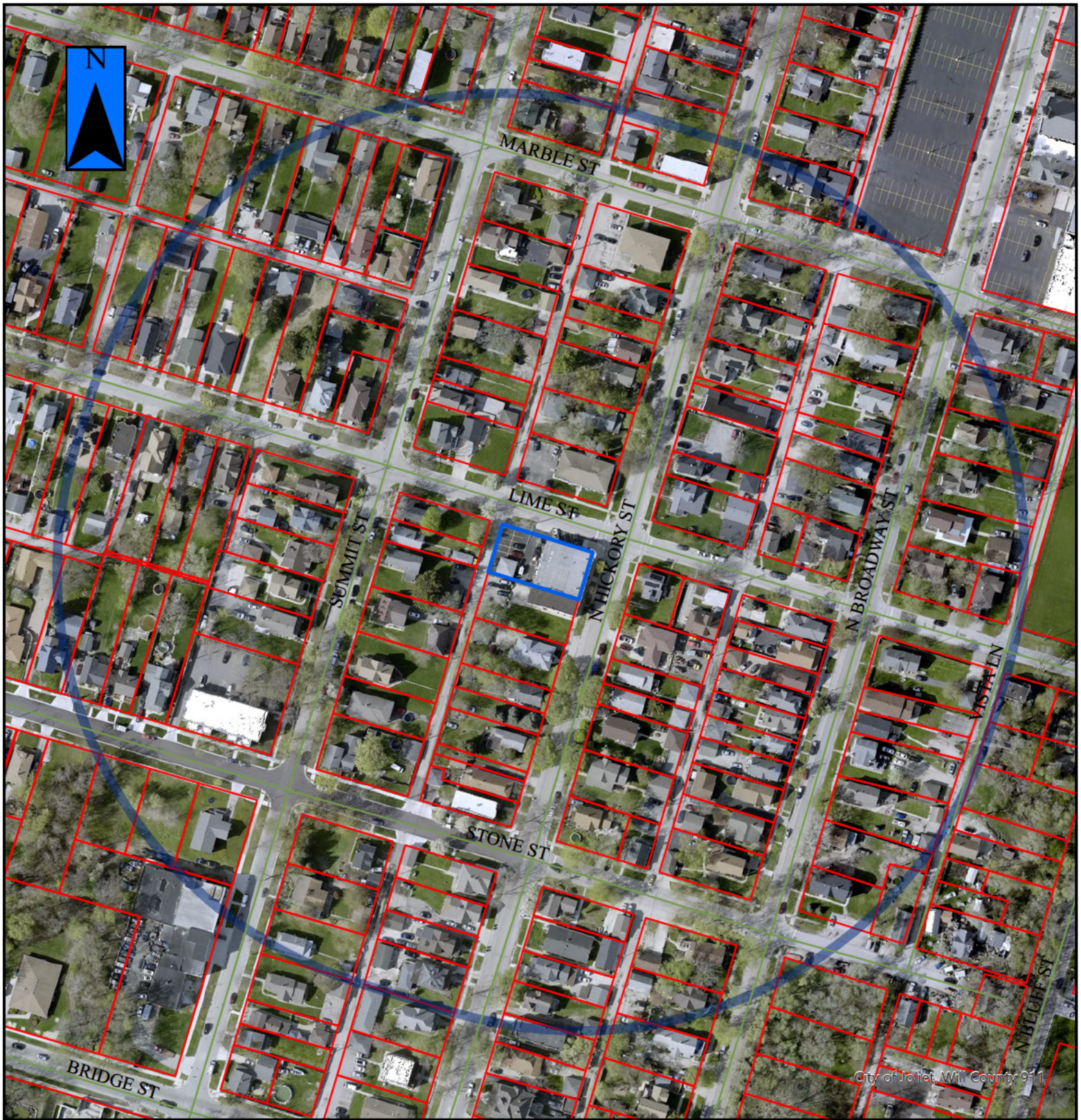
2025-55 & 2025-56



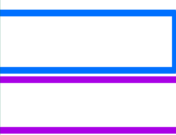
= Property in Question
= 600' Public Notification Boundary

Legend

B-1	I-TA	R-2
B-2	I-TB	R-2A
B-3	I-TC	R-3
I-1	R-1	R-4
I-2	R-1A	R-5
I-T	R-1B	R-B



2025-55a & 2025-56a



= Property in Question / Propiedad en cuestión
 = 600' Public Notification Boundary /
 Límite de notificación pública de 600 ft (180 m)



City of Joliet

150 West Jefferson Street
Joliet, IL 60432

Memo

File #: TMP-9238

Agenda Date: 12/18/2025

STAFF REPORT

DATE: December 8, 2025
TO: Zoning Board of Appeals
FROM: Helen Miller, Planner
RE: Petition Number: 2025-57
Applicant: Victory City Church (Rusty Railey)
Status of Applicant: Property Owner
Location: 2200 McDonough Street (Council District #5)
Request: A series of Variations to allow installation of a new ground sign

Purpose

The applicant is requesting the following Variations on signage to install a new ground sign for a non-residential use in the R-2 (single-family residential) zoning district at 2200 McDonough Street:

- Variation to increase maximum sign area for a ground sign from 12 square feet to 72 square feet
- Variation to increase maximum height for a ground sign from 11 feet to 16 feet 3 inches
- Variation to reduce the required setback to a pole sign from 15 feet to 0 feet (based on the property line as shown on the attached survey)

The Zoning Board of Appeals makes the final decision on these Variation requests.

Site Specific Information

The subject property is 7 acres and contains a church and school campus for Victory City Church. The current owner purchased the property in January 2025; the site was formerly occupied by the St. Jude Roman Catholic Church and St Jude School. The site was developed as a religious campus for St. Jude in the 1950s and was annexed in 1956. The property is zoned R-2 (single-family residential) and has had that zoning designation since at least 1971 when the city-wide zoning maps were established.

In 2002, the Zoning Board of Appeals approved a series of variations to allow construction of the existing ground sign on the property. The request included the following:

- Variation to increase maximum height of a ground sign from 11 feet to 15 feet 8 inches

- Variation to increase maximum area of a ground sign from 12 square feet to 32 square feet
- Variation to allow illumination in a residential zoning district
- Variation for an electronic message center

The staff report from 2002 states that the existing sign would be constructed with a 10-foot setback, which was considered the permitted setback at that time. Staff considers the proposed sign to be a pole sign which would require a 15-foot setback to the leading edge of the sign.

Surrounding Zoning, Land Use and Character

- North: R-2 (single-family residential), residential (Marycrest subdivision)
- South: I-1 (light industrial), industrial
- East: B-1 (neighborhood business) and B-3 (general business), commercial
- West: B-3 (general business), health care facility

Applicable Regulations

- Section 47-17.21 Signs
- Section 47-17.21(3)(bb) Criteria for Granting a Sign Variation
(refer to attachment)

Discussion

The petitioner, Victory City Church, seeks to install a new ground sign to replace the existing sign that was installed for St. Jude Church in 2002. The proposed sign would be 16 feet 3 inches in height to its peak and have a sign area of approximately 72 feet. The sign would contain an approximately 37-square-foot upper cabinet with illuminated letters and a 32-square-foot electronic message center.

The previously approved variation from 2002 allows an illuminated sign in the R-2 (single-family residential) district. Electronic message centers are now permitted wherever illuminated signs are permitted as long as they are 50 square feet or smaller. The proposed sign exceeds the height and area permitted with the 2002 request, so the petitioner seeks additional variations on height and sign area at this time.

Additionally, the petitioner is requesting a sign setback of 0 feet from the north property line. The Will County parcel maps show that the right-of-way width for McDonough Street varies adjacent to this property, with the north property line around 10 feet closer to the sidewalk on the east side of the property where the sign is located. The existing sign was installed based on this property line layout. However, the survey prepared for the owner in 2024 shows a straight property line across the north, which places the pole of the existing sign directly on the property line. The petitioner has prepared their plans based

on the 2024 survey and has moved the sign several feet to the south so that the sign falls entirely on private property. Therefore, even with a 0-foot setback from the property line as shown on the survey, the new sign will be located around three feet farther from the sidewalk than the existing sign.

Recommended Action

Staff finds that these variation requests meet the criteria for sign variations: enforcement of the ordinance would cause hardship due to unique attributes of the property; the proposed use would not be detrimental to the use or development of other property in the area; ownership of the property has been demonstrated; and approval of the variation would not be contrary to the objective of improving the overall appearance of the City.

The Zoning Ordinance limits the height and area of signs for non-residential uses in residential zoning districts without accounting for differences in property size. The property in question, at 7 acres, is much larger than a typical residential lot and is located on a major collector street alongside other commercial and institutional uses. Staff finds that the proposed sign dimensions are suitable for a property of this size. The proposed sign is a similar height to the existing illuminated ground sign that has been in place for over 20 years. Additionally, the property slopes down from the sidewalk toward the parking lot at the location of the sign, so the sign will not appear as tall from the street. The proposed sign location, while it requires a reduced setback, actually moves the sign farther away from the street and ensures that the sign is located entirely on private property.

Conditions

None

Figure 1: Subject site and existing sign at 2200 McDonough Street (2025)



Figure 2: Existing ground sign at 2200 McDonough Street (right), view east down McDonough Street (July 2025)



Figure 3: North property line and existing sign on Will County parcel layer (2025)



Figure 4: North property line and existing sign on 2024 survey

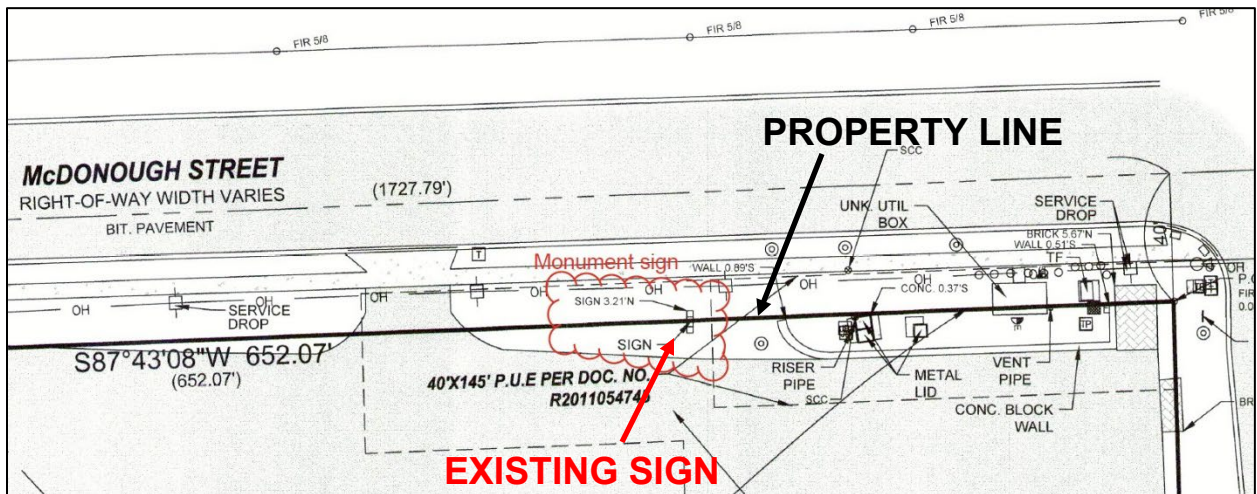


Figure 5: Location of new sign based on 2024 survey

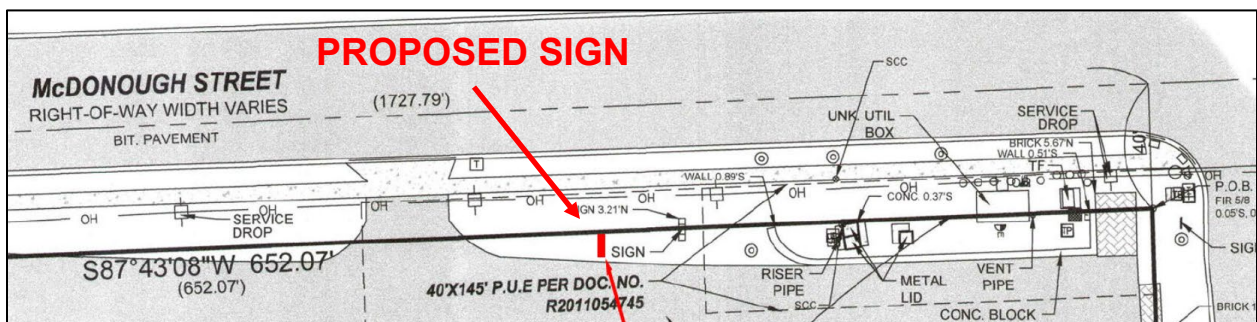


Figure 6: Existing ground sign at 2200 McDonough Street, view northwest from Hammes Avenue (May 2025)





ACCOUNT:
VICTORY CITY CHURCH
REFERENCE | LOCATION:
2200 McDonough st Joliet Illinois
DATE:
10/28/25
DESCRIPTION:
(X1) NEW DOUBLE FACED MONUMENT SIGN
with push thru lettering on the front & side

MATERIALS:
VINYL, ALUMINUM, ACRYLIC
COLORS:
AS SHOWN
ILLUMINATION:
LED-ILLUMINATED
INSTALLATION:
EXISTING FOUNDATION & ELECTRICAL

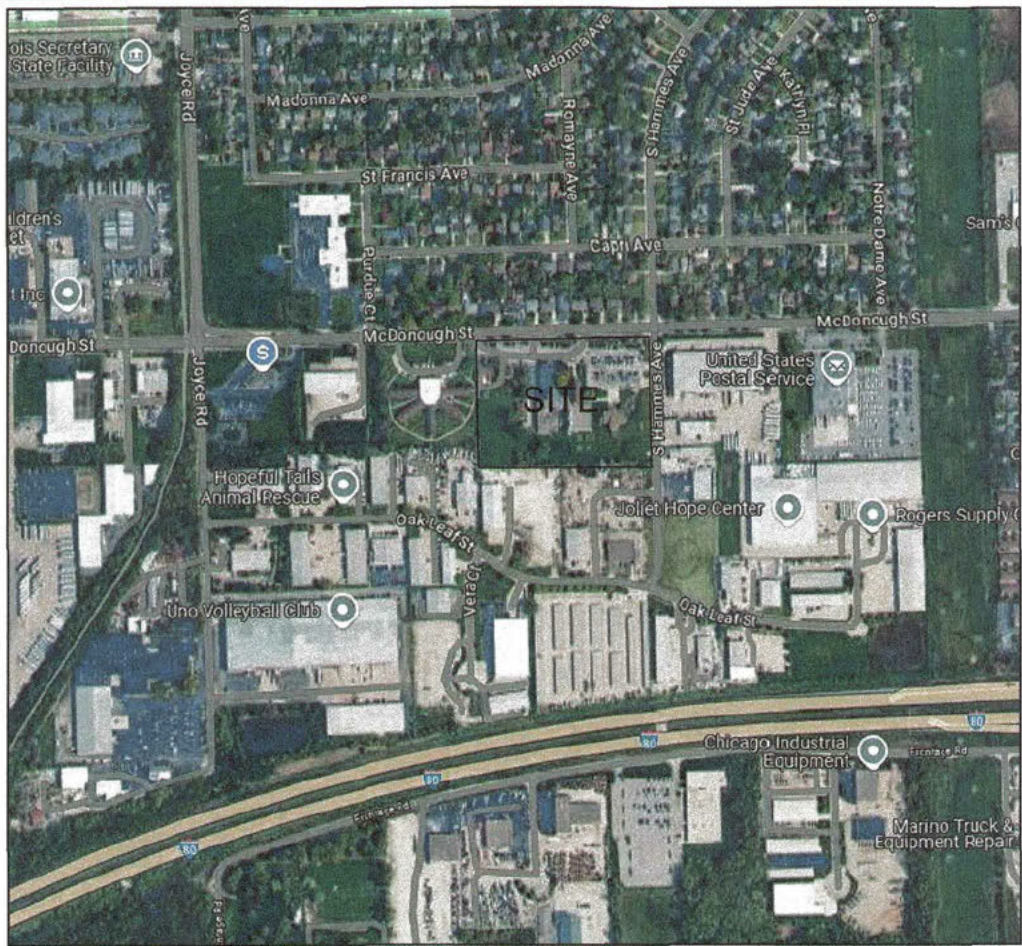
Please Check Carefully

Although every effort is made to ensure that this artwork is correct, errors and omissions do occur. Vision Sign & Design cannot assume liability beyond the corrections needed.

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final
option



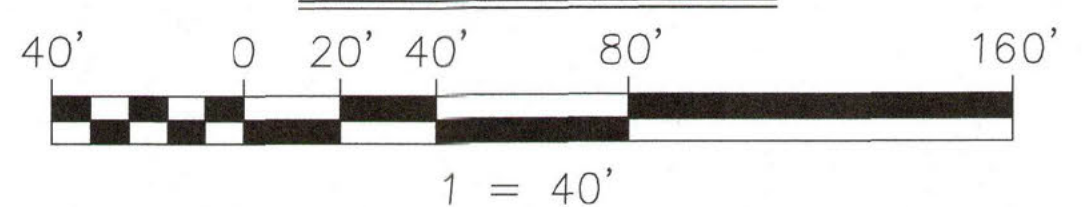
VICINITY MAP
NOT TO SCALE

ALTA/NSPS LAND TITLE SURVEY
OF
2200 MCDONOUGH ST
JOLIET, ILLINOIS

LEGAL DESCRIPTION

THAT PART OF LOTS 5 AND 6 OF ASSESSOR'S SUBDIVISION OF THE WEST 1/2 OF SECTION 18, TOWNSHIP 35 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT THE NORTHWEST CORNER OF THE SOUTHWEST 1/4 OF SAID SECTION 18; THENCE EAST ALONG THE NORTH LINE OF THE SOUTHWEST 1/4 OF SECTION 18, A DISTANCE OF 1727.79 FEET TO THE WEST LINE OF HAMMES AVENUE EXTENDED SOUTH, IN MARVCREST SUBDIVISION, EXTENDED SOUTH, THENCE SOUTH 40 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE SOUTH ALONG THE WEST LINE OF HAMMES AVENUE EXTENDED SOUTH, A DISTANCE OF 466.69 FEET TO A POINT; THENCE WEST ON A LINE PARALLEL TO THE NORTH LINE OF SECTION 18, A DISTANCE OF 652.07 FEET; THENCE NORTH ON A LINE PARALLEL TO THE WEST LINE OF HAMMES AVENUE EXTENDED SOUTH, A DISTANCE OF 1727.79 FEET TO THE WEST LINE OF HAMMES AVENUE EXTENDED SOUTH, A DISTANCE OF 466.69 FEET TO THE SOUTH LINE OF SAID STREET, A DISTANCE OF 652.07 FEET TO THE POINT OF BEGINNING, IN WILL COUNTY, ILLINOIS.

GRAPHIC SCALE



BASIS OF BEARINGS

THE BASIS OF BEARINGS IS THE STATE PLANE
COORDINATE SYSTEM (SPCS) NAD 83 (2011) ZONE
1201 (ILLINOIS EAST) WITH PROJECT ORIGIN AT
LATITUDE: 41° 30' 53.87483" N
LONGITUDE: 88° 08' 04.48810" W
ELLIPSOIDAL HEIGHT: 531.078 SFT
GROUND SCALE FACTOR: 1.00004770048
ALL MEASUREMENTS ARE ON THE GROUND.

NOTES FROM SCHEDULE B PART II

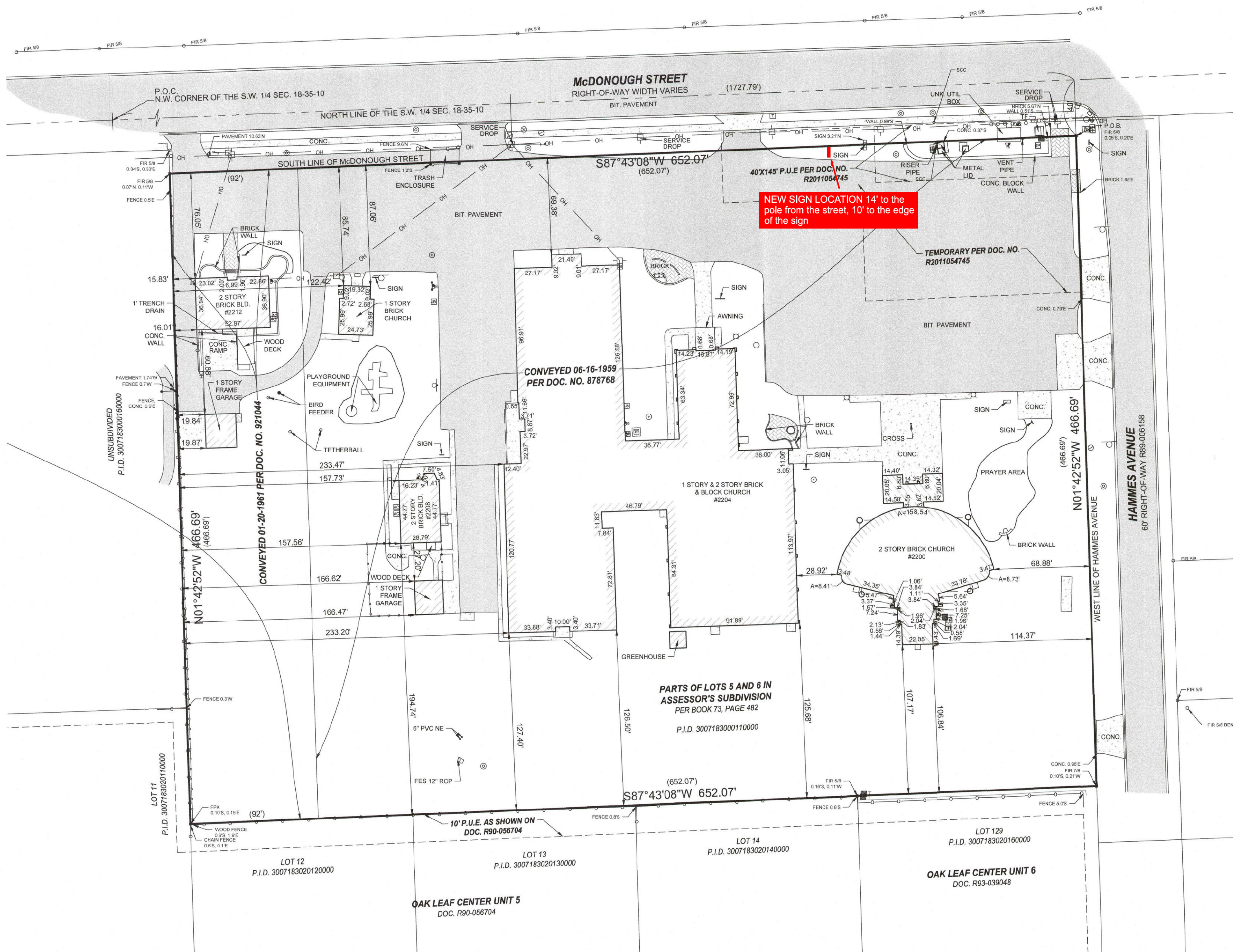
A CURRENT TITLE COMMITMENT PREPARED BY FIDELITY NATIONAL TITLE COMPANY HAVING A COMMITMENT NO. OF WJ24020060 AND DATE OF 12/30/2024 WAS PROVIDED FOR SURVEYOR'S USE AT THE TIME OF PREPARATION OF THIS SURVEY.

EXCEPTIONS		NOTE
H.	R2011-54745 EASEMENT	(a)

EXCEPTIONS NOT SHOWN ABOVE AFFECT THE PROPERTY BUT ARE NOT PLOTTABLE OR NOT A SURVEY MATTER

CLARIFICATION STATEMENTS

- a. its location is shown;
- b. its location cannot be determined from the record document;
- c. there was no observed evidence at the time of the fieldwork;
- d. it is a blanket easement;
- e. it is not on, does not touch, and/or - based on the description contained in the record document - does not affect, the surveyed property;
- f. it limits access to an otherwise abutting right of way;
- g. the documents are illegible; or
- h. the surveyor has information indicating that it may have been released or otherwise terminated



GENERAL NOTES

1. COMPARE THIS PLAT, LEGAL DESCRIPTION AND ALL SURVEY POINTS AND MONUMENTS BEFORE ANY CONSTRUCTION, AND IMMEDIATELY REPORT ANY DISCREPANCIES TO SURVEYOR.
2. DO NOT SCALE DIMENSIONS FROM THIS PLAT.
3. THE LOCATION OF THE PROPERTY LINES SHOWN ON THE FACE OF THIS PLAT ARE BASED UPON THE DESCRIPTION AND INFORMATION FURNISHED BY THE CLIENT, TOGETHER WITH THE TITLE COMMITMENT. THE PARCEL WHICH IS DEFINED MAY NOT REFLECT ACTUAL OWNERSHIP, BUT REFLECTS WHAT WAS SURVEYED. FOR OWNERSHIP, CONSULT YOUR TITLE COMPANY.
4. MANHOLES, INLETS AND OTHER UTILITY RIMS OR GRATES SHOWN HEREON ARE FROM FIELD LOCATION OF SUCH, AND ONLY REPRESENT SUCH UTILITY IMPROVEMENTS WHICH ARE VISIBLE FROM ABOVE GROUND AT TIME OF SURVEY. TOGETHER WITH A NORMAL SEARCH AND WALK THROUGH OF THE SITE, THE LABELING OF THESE MANHOLES (SANITARY, WATER, ETC.) IS BASED SOLELY ON THE "STAMPED" MARKINGS OF THE RIM. NO UNDERGROUND OBSERVATIONS HAVE BEEN MADE TO VERIFY THE ACTUAL USE OR EXISTENCE OF UNDERGROUND UTILITIES. UNDERGROUND UTILITY LINES SHOWN HEREON, IF ANY, ARE BASED ON FIELD LOCATED STRUCTURES IN COORDINATION WITH ATLAS INFORMATION PROVIDED BY UTILITY COMPANIES THROUGH J.U.L.I.E.'S DESIGN STAGE PROCESS. SEE "UTILITY ATLAS NOTES" HEREON FOR SPECIFICS.
5. NO UNDERGROUND UTILITIES, OR DRAIN LINES, IF ANY EXIST, SHOWN HEREON.
7. THIS SURVEY MAY NOT REFLECT ALL UTILITIES OR IMPROVEMENTS IF SUCH ITEMS ARE HIDDEN BY LANDSCAPING OR ARE COVERED BY SUCH ITEMS AS DUMPSTERS, TRAILERS, CARS, DIRT, PAVING OR SNOW. AT THE TIME OF THIS SURVEY, SNOW DID NOT COVER THE SITE. LAWN SPRINKLER SYSTEMS, IF ANY, ARE NOT SHOWN ON THIS SURVEY.
7. OTHER THAN VISIBLE OBSERVATIONS NOTED HEREON, THIS SURVEY MAKES NO STATEMENT REGARDING THE ACTUAL PRESENCE OR ABSENCE OF ANY SERVICE.
8. CALL J.U.L.I.E. AT 1-800-892-0123 FOR FIELD LOCATION OF UNDERGROUND UTILITIES PRIOR TO ANY DIGGING OR CONSTRUCTION.
9. PUBLIC AND/OR PRIVATE RECORDS HAVE NOT BEEN SEARCHED TO PROVIDE ADDITIONAL INFORMATION, OVERHEAD WIRES AND POLES (IF ANY EXIST) ARE SHOWN HEREON, HOWEVER THEIR FUNCTION AND DIMENSIONS HAVE NOT BEEN SHOWN.
10. THERE IS NO OBSERVABLE EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS.
11. THE SURVEYOR IS NOT AWARE OF ANY NEW OR PROPOSED RIGHT OF WAY CHANGES. UNLESS SHOWN OR NOTED HEREON, THERE WAS NO EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK.
12. WETLAND FLAGS WERE NOT OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK.
13. PARKING STRIPES WERE TOO FADED TO LOCATE AT TIME OF SURVEY ON 11/22/2024, AND THEREFORE ARE NOT SHOWN HEREON.

ABBREVIATIONS

AP ACCESSIBLE PARKING
 F.F. FINISHED FLOOR
 T.F. TOP OF FOUNDATION
 C.C. CORRUGATED METAL PIPE
 RCP REINFORCED CONCRETE PIPE
 VCP VITRIFIED CLAY PIPE
 RM FRAME
 BRK. BRICK
 TC TOP OF CURB
 DP DEPRESSIONED CURB
 GU GUTTER
 EP EDGE OF PAVEMENT
 FL FLOW LINE
 CONC. CONCRETE
 BT BITUMENITE
 MH MANHOLE
 CC CONCRETE WALL
 TW TOP OF WALL
 BW BOTTOM OF WALL
 TP TOP OF PIPE
 BW BACK OF WALL
 FES FLEAS FLED ONE SECTION
 INV INVERT
 DR DUCTILE IRON PIPE
 SD STORM DRAIN
 SAN SANITARY DRAIN
 N NORTH
 S SOUTH
 E EAST
 W WEST
 CB CHORD BEARING
 A ARC LENGTH
 R RADIUS
 U UTILITY EASEMENT
 P PUBLIC UTILITY EASEMENT
 D DRAINAGE EASEMENT
 U MUNICIPAL UTILITY EASEMENT
 IE INGRESS & EGRESS EASEMENT
 P POINT OF CURVATURE
 PCP POINT OF COMPOUND CURVATURE
 PCP POINT OF REVERSE CURVATURE
 P POINT OF TANGENCY
 EC EASEMENT DATUM
 AS ASSURED DATUM
 C CALCULATED EASEMENT
 I INFORMATION TAKEN FROM DEED
 B EXCEPTION TO BLANKET EASEMENT

LEGEND

	CABLE TV PEDESTAL		PAINTED GAS LINE		HEADWALL
	TRAFFIC LIGHT POLE		GAS VALVE		CURB INLET
	TRAFFIC CONTROL BOX		GAS METER		STORM INLET
	TRAFFIC CONTROL VAULT		GAS VALVE VAULT		STORM MANHOLE
	TRAFFIC LIGHT		GAS METER		FLARED END SECTION
	TELEPHONE PEDESTAL		PIPELINE MARKER		CLEANOUT
	TELEPHONE MANHOLE		MONITORING WELL		SANITARY MANHOLE
	PAINTED TELEPHONE LINE		POST INDICATOR VALVE		HOSE BIB
	FIBER OPTIC CABLE LINE		WELL HEAD		B-BOX
	ANCHOR		FLAGPOLE		HYDRANT
	GUY POLE		MAILBOX		WATER VALVE
	UTILITY POLE		SGN		WATER VALVE VAULT
	POWER POLE		POST		PAINTED WATER LINE
	LIGHT STANDARD		PUBLIC PAY TELEPHONE		IRRIGATION HEAD
	ELECTRIC MANHOLE		PARKING METER		IRRIGATION CONTROL VALVE
	ELECTRIC PEDESTAL		WETLAND MARKER		WATER METER
	ELECTRIC TRANSFORMER PAD		BASKETBALL HOOP		FOUND DISK IN CONCRETE
	ELECTRIC METER		AIR CONDITIONER PADUNIT		FOUND BRASS DISC
	HANDHOLE		DECIDUOUS TREE		FOUND ROW MARKER
	ELECTRICAL JUNCTION BOX		W TRUNK SIZE		FOUND IRON ROD
	ELECTRIC VAULT		NON DECIDUOUS TREE		FOUND RAILROAD SPIKE
	ELECTRIC SERVICE OUTLET BOX		W TRUNK SIZE		FOUND FIRE PIT
	PAINTED ELECTRIC LINE		BUSH		FOUND FLAG
	TRANSFORMER PAD		SOIL BORING HOLE		FOUND CUT CROSS
			W NUMBER		FOUND IRON PIPE
			W NUMBER		FOUND IRON BAR
	SECTION CORNER		QUARTER SECTION CORNER		SET TRAVERSE POINT
					SET FIRE PIT
					SET FLAG
					SET FLAG
					SET FLAG

PARKING STALLS

STANDARD PARKING STALLS= 166
ACCESSIBLE PARKING STALLS=11
TOTAL PARKING STALLS=177

AREA

304,295 SQ. FT.
6.98566 ACRES

FLOOD HAZARD NOTE

THIS PROPERTY IS IN AN AREA OF MINIMAL FLOOD HAZARD (ZONE X) AS DEFINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP OF CITY OF JOLIET, WILL COUNTY, ILLINOIS (COMMUNITY PANEL NO. 17197C0144G) EFFECTIVE DATE 02/15/2019.

SURVEYOR CERTIFICATE

STATE OF ILLINOIS)
)SS
COUNTY OF WILL)

TO:

- VICTORY CITY CHURCH
- AG FINANCIAL
- FIDELITY NATIONAL TITLE COMPANY

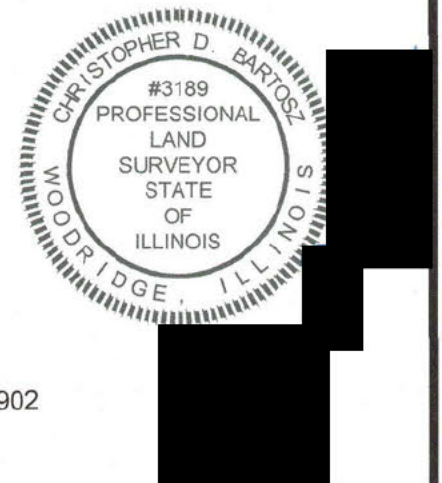
THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2022 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 7(A), 8 AND 9 OF TABLE A THEREOF.

THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS
FOR BOUNDARY SURVEYS.

THE FIELD WORK WAS COMPLETED ON NOVEMBER 11, 2024.

DATED THIS 5TH DAY OF DECEMBER, A.D., 2024.

CHRISTOPHER D. BARTOSZ
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 35-3189
MY LICENSE EXPIRES ON NOVEMBER 30, 2026.
V3 COMPANIES, LTD. PROFESSIONAL DESIGN FIRM NO. 184000902
THIS DESIGN FIRM NUMBER EXPIRES APRIL 30, 2025
CDBARTOSZ@V3CO.COM



Engineers
Scientists
Surveyors

7325 Janes Avenue, Suite 100
Woodridge, IL 60517
630.724.9200 voice
630.724.0384 fax
v3co.com

PREPARED FOR:
Roman Catholic Diocese of Joliet
16555 Weber Road
Crest Hill, IL 60403
815-221-6100

REVISIONS		
NO.	DATE	DESCRIPTION
1.	01/22/25	RECEIPT OF TITLE COMMITMENT

ALTA/NSPS LAND TITLE SURVEY

DRAFTING COMPLETED:	12/05/2024	DRAWN BY:	ADS	PROJECT MANAGER:	CD
FIELD WORK COMPLETED:	11/02/2024	CHECKED BY:	RRB	SCALE:	1" = 50'

Project No: 240428

Group No: VP01.1

SHEET NO. 1 of 1

FOR OFFICE USE ONLY

Verified by Planner (please initial):_____

Payment received from:

Petition #: _____

Common Address: _____

Date filed: _____

Meeting date assigned: _____

ZONING BOARD OF APPEALS

JOLIET, ILLINOIS

PETITION FOR VARIATION/APPEAL

City of Joliet Planning Division, 150 W. Jefferson St., Joliet, IL 60432
Ph (815)724-4050 Fax (815)724-4056

ADDRESS FOR WHICH VARIATION IS REQUESTED: 2200 McDonough Street, Joliet, IL 60436

PETITIONER'S NAME: Rusty Railey

HOME ADDRESS: _____ ZIP CODE: _____

BUSINESS ADDRESS: 1741 Essington Road, Joliet, IL ZIP CODE: 60435

PHONE: (Primary) _____ (Secondary) _____

EMAIL ADDRESS: _____ FAX: _____

PROPERTY INTEREST OF PETITIONER: Owner

OWNER OF PROPERTY: First Assembly of God Church of Joliet DBA Victory City Church

HOME ADDRESS: 2200 McDonough Street, Joliet IL 60436 ZIP CODE: 60436

BUSINESS ADDRESS: 1741 Essington Road, Joliet IL ZIP CODE: 60435

EMAIL ADDRESS: _____ FAX: _____

Any use requiring a business license shall concurrently apply for a business license and submit a copy with this petition. Additionally, if this request is for operation of a business, please provide the following information:

BUSINESS REFERENCES (*name, address, phone or email*):

OTHER PROJECTS AND/OR DEVELOPMENTS:

PERMANENT INDEX NUMBER (TAX NO. OR P. I. N.): 30-07-18-300-011-0000 ; _____ ; _____ .

Property Index Number/P.I.N. can be found on tax bill or Will County Supervisor of Assessments website

LEGAL DESCRIPTION OF PROPERTY (an attached copy preferred):

Attached land survey

LOT SIZE: WIDTH: _____ DEPTH: _____ AREA: _____

PRESENT USE(S) OF PROPERTY: Church/School

PRESENT ZONING OF PROPERTY: Residential

VARIATION/APPEAL REQUESTED: Digital Sign Installation

RESPONSE TO VARIATION CRITERIA

The Zoning Board of Appeals is authorized to grant or recommend relief only when it has received adequate evidence to establish a practical difficulty or hardship. The evidence must support each of the following three conditions:

- (a) The property in question cannot yield a reasonable return by use permitted and subject to the conditions allowed by the regulations in the particular district or zone.
- (b) The plight of the owner is due to unique circumstances.
- (c) The variation, if granted, will not alter the essential character of the locality.

Please describe how this request meets the criteria by responding to the following questions in your own words.

1. How do the applicable zoning regulations prevent the property in question from yielding a reasonable return?

The zoning regulations restrict our ability to install a digital sign on the property, which significantly limits visibility to the public.

Because the property is located along a high-traffic roadway, a static sign is not sufficient to communicate service times, school information, and community events to passing motorists.

The lack of visibility directly impacts our ability to grow and sustain ministry and educational operations, which are dependent on community engagement and enrollment.

A digital sign will provide the visibility needed to sustain operations and allow the property to serve its intended community purpose effectively.

2. *What unique circumstances exist which mandate a variance?*

The property is under new ownership and is being re-purposed as a church and school to serve the surrounding community.

While the site is well positioned for this use, its existing signage limitations were established under previous ownership and are no longer suitable for the current operational needs.

Unlike larger commercial developments, the site has limited frontage and minimal existing sign visibility, which creates a unique hardship.

These factors - the change in ownership, limited visibility due to site configuration, and the need for increased community awareness, create unique circumstances that make a variance reasonable.

3. *What impact would the granting of this variance have upon the essential character of the general area? Please include both positive and negative impacts.*

Granting this variance to allow a digital sign will have a positive impact on the area by enhancing communication, improving aesthetics, and support community engagement.

The sign will be professionally designed and appropriately scaled to complement the existing streetscape.

The variance is not expected to cause any adverse effect on neighboring properties or the overall curb appeal of the area.

REQUIRED SUPPORTING ATTACHMENTS

- ☐ Site plan / concept plan / floor plan / building elevation plan
- ☐ Joliet Ownership Disclosure form
- ☐ Business license application (if applicable)

NOTARIZATION OF PETITION

STATE OF ILLINOIS) ss
COUNTY OF WILL)

I, RUSTY BAILEY, depose and say that the above statements are true and correct to the best of my knowledge and belief. I agree to be present in person or by representation when this petition is heard before the Zoning Board of Appeals.

Petitioner's Signature

Owner's Signature
(If other than petitioner)

Subscribed and sworn to before me
this 30 day of OCTOBER, 2025



CITY OF JOLIET OWNERSHIP DISCLOSURE FORM

The City of Joliet requires that applicants for zoning relief, subdivision approval, building permits and business licenses disclose the identity of all persons having an ownership interest in the business and the real property associated with the application. A copy of this form must be completed and submitted with other application materials. Failure to properly complete and submit this form may result in the denial of the application.

I. INFORMATION ABOUT THE APPLICATION

This form is submitted as part of an application for the following (check all that apply):

- ☒ Rezoning, Special Use Permit, Variation, or Other Zoning Relief (Complete Sections II and III)
- ☐ Preliminary Plat, Final Plat, or Record Plat of Subdivision (Complete Sections II and III)
- ☐ Building Permit (Complete Sections II and III)
- ☐ Business License (Complete All Sections)

II. INFORMATION ABOUT THE PROPERTY

The address and PIN(s) of the real property associated with this application are:

2200 McDonough Street, Joliet, IL 60436

PIN(s): _____

III. PROPERTY OWNERSHIP

Select the type of owner of the real property associated with this application and fill in the appropriate contact information below:

- ☐ **Individual:** State the names, addresses, and phone #'s of the individual owner(s)
- ☐ **Corporation:** State the names, addresses, and phone #'s of all persons holding 3% or more of the stock of the corporation and the percentage of shares held by such stockholders
- ☐ **Limited Liability Company:** State the names, addresses, and phone #'s of all members of the company along with the percentage of ownership held by each member
- ☐ **Land Trust:** State the names, addresses, and phone #'s of the trustee(s) and all beneficiaries
- ☐ **Partnership:** State the names, addresses, and phone #'s of all partners
- ☒ **Other type of organization:** State the names, addresses, and phone #'s of all persons having a legal or equitable ownership interest in the organization or the right to direct the affairs of the organization

501c3 - First Assembly of God Church of Joliet DBA Victory City Church

1741 Essington Road, Joliet, IL 60435

E-MAIL: _____ FAX: _____

IV. BUSINESS OWNERSHIP

If the owner of the business is different than the owner of the real property associated with the application, then the following information must be provided:

Select the type of business owner associated with this application and fill in the contact information below:

- ☐ **Individual:** State the names, addresses, and phone #'s of the individual owner(s)
- ☐ **Corporation:** State the names, addresses, and phone #'s of all persons holding 3% or more of the stock of the corporation and the percentage of shares held by such stockholders
- ☐ **Limited Liability Company:** State the names, addresses, and phone #'s of all members of the company along with the percentage of ownership held by each member
- ☐ **Partnership:** State the names, addresses, and phone #'s of all partners
- ☐ **Other type of organization:** State the names, addresses, and phone #'s of all persons having a legal or equitable ownership interest in the organization

E-MAIL: _____ FAX: _____

NOTE:

If a stockholder, member, beneficiary or partner disclosed in Section III or Section IV is not an individual, then the individuals holding the legal or equitable title to the real property or business associated with the application must also be disclosed. For example, if the real property associated with an application is owned by a land trust, and the beneficiary of the land trust is a limited liability company, then the members of the limited liability company must be disclosed. If one of the members of the limited liability company is a partnership, then the identity of the partners must be disclosed. If one of the partners is a corporation, then all persons owning 3% or more of the issued stock must be disclosed.

SIGNED _____

DATE: October 27, 2025

Name, Title, and Telephone Numbers of Person Completing and Submitting This Form:

Rusty Railey, PhD - Lead Pastor

ZONING BOARD OF APPEALS
CRITERIA FOR SIGN VARIATIONS

Section 47-17.21(3)(bb) of the Zoning Ordinance states:

Any sign which is not specifically permitted in any zoning district shall require the granting of a variation, obtained from the Zoning Board of Appeals. This includes signs that have flashing or pulsating illumination, animation, rotation, or overall dimensions which exceed the maximum dimensions permitted in any district.

Variation Criteria: A variation may be granted by the Zoning Board of Appeals based on all of the following criteria:

	Does the evidence presented sustain this criteria?	Comments
(a) That strict enforcement of the ordinance would cause undue hardship to the property owner due to circumstances unique to the individual property in question.		
(b) That the proposed use would not be detrimental to the use, orderly development and enjoyment of other property in the immediate vicinity for the purposes permitted under the zoning ordinance, nor substantially diminish the property value within the neighborhood.		
(c) That ownership or lease of the property in question can be demonstrated.		
(d) That approval of the variation would not be contrary to the objective of improving the overall appearance of the City.		



City of Joliet

150 West Jefferson Street
Joliet, IL 60432

Memo

File #: TMP-9239

Agenda Date: 12/18/2025

STAFF REPORT

DATE: December 8, 2025
TO: Zoning Board of Appeals
FROM: Helen Miller, Planner
RE: Petition Number: 2025-58
Applicant: Solar Landscape LLC (ILCS 2114 Oak Leaf LLC)
Status of Applicant: Lessee
Property Owner: CubeSmart, LP
Location: 2114 Oak Leaf Street (Council District #5)
Request: Special Exception to allow a roof-mounted
community solar installation

Purpose

The applicant is requesting a Special Exception to allow a roof-mounted solar installation for community supply on the existing self-storage facility at 2114 Oak Leaf Street. Community solar is generally defined as a solar project where the benefits from an off-site solar array are shared by multiple customers, including individuals, businesses, and other groups. Customers typically receive monetary credits on their electric bill based on their subscription to the project. Because a community solar installation supplies power back to the utility grid and not solely to onsite facilities, it is considered a principal use and not an accessory use. The Zoning Ordinance does not include provisions for solar installations as a principal use. Therefore, this request must be considered as a Special Exception.

The City Council makes the final decision on this Special Exception request, with a recommendation from the Zoning Board of Appeals.

Site Specific Information

The subject site is 4.7 acres and contains a CubeSmart self-storage facility comprised of 14 buildings. The site is in the middle of Oak Leaf Center Subdivision, which contains heavy commercial and light industrial uses, and is bordered on the south by Interstate 80. The property is zoned I-1 (light industrial).

Surrounding Zoning, Land Use and Character

- North: I-1 (light industrial), industrial
- South: Interstate 80 and Village of Rockdale I-1 (heavy commercial and light industry), industrial

- East: B-3 (general business), commercial / industrial
- West: I-1 (light industrial), commercial / industrial

Applicable Regulations

- Section 47-3.9(BB) Miscellaneous Terms – Zoning Exceptions and Variances

Section 47-3.9(BB)(1) Exception: *An exception is a use permitted only after review of an application by the Board of Appeals or Commission other than the Administrative Official (Building Inspector), such review being necessary because the provisions of this Ordinance covering conditions, precedent or subsequent, are not precise enough to all applications without interpretation and such review is required by the Ordinance.*

The “exception” differs from the “variance” in several respects. An exception does not require “undue hardship” in order to be allowable. The exceptions that are found in this Ordinance appear as “special approval” or review by Plan Commission, Legislative Body, or Board of Appeals. These land uses could not be conveniently allocated to one zone or another or the effects of such uses could not be definitely foreseen as of a given time. The general characteristics of these uses include one or more of the following:

- a. They require large areas;*
- b. They are infrequent;*
- c. They sometimes create an unusual amount of traffic;*
- d. They are sometimes obnoxious or hazardous; and*
- e. They are required for public safety and convenience.*

Discussion

The petitioner, Solar Landscape, is a national solar developer that develops, installs, and operates commercial and community solar projects, including commercial and industrial rooftop installations. They currently have around 20 solar projects under construction in Illinois. They are requesting approval of a special exception to allow a roof-mounted community solar installation and associated ground equipment at 2114 Oak Leaf Street. The solar array would be located on the rooftops of the 14 existing self-storage buildings. The solar installation would be owned and operated by Solar Landscape, who would lease the roof and ground space from the property owner. Solar Landscape would be responsible for the installation, maintenance, and removal of the solar panels. The company would have a lease agreement with the property owner for an initial 20-year period.

The proposed solar installation would be for community supply, not a behind-the-meter system that generates electricity for onsite use. The installation would be connected to ComEd equipment and would supply power back to the utility grid for use by properties served by that system. A community solar project is supported by subscribers who receive

credits on their energy bill for their share of the program; they do not receive electricity directly from the solar installation. Subscribers can be individuals, businesses, municipalities, nonprofits, and other groups. For this project, subscribers could be located anywhere in Will County.

The physical arrangement and appearance of the installation would be very similar to an accessory solar installation that serves the building. The rooftop panels would not be visible from the ground, as they would be set back from the edge of the building and only rise about 10 inches above the roof surface. The ground equipment is similar to the equipment used for a building's electrical service. The ComEd equipment, which includes a switchgear cabinet and meter cabinet, would be at northeast corner of the site between the front property line and the eastmost building. The customer-owned equipment would be in the east side yard behind the front wall of the building. There is no proposed fence enclosure.

Recommended Action

Staff does not believe that the proposed solar installation will have a negative effect on the area. The physical appearance is similar to a permitted accessory installation and is not out of character with an industrial site. The petitioner will have a lease agreement with the property owner that addresses maintenance, installation, and decommissioning of the solar array. The petitioner will be required to obtain all necessary building permits for the proposed project.

Conditions

If the Zoning Board desires to approve the Special Exception to allow a roof-mounted community solar installation at 2114 Oak Leaf Street, the following conditions would be included:

1. That a building permit shall be obtained.

Figure 1: Subject site at 2114 Oak Leaf Street (2025)



Figure 2: Subject site, view south from Hammes Avenue at Oak Leaf Street (May 2025)



Figure 3: Proposed location for ground equipment in east side yard (May 2025)



Figure 4: Examples of completed community solar arrays by Solar Landscape on similar property types

Gaithersburg, MD

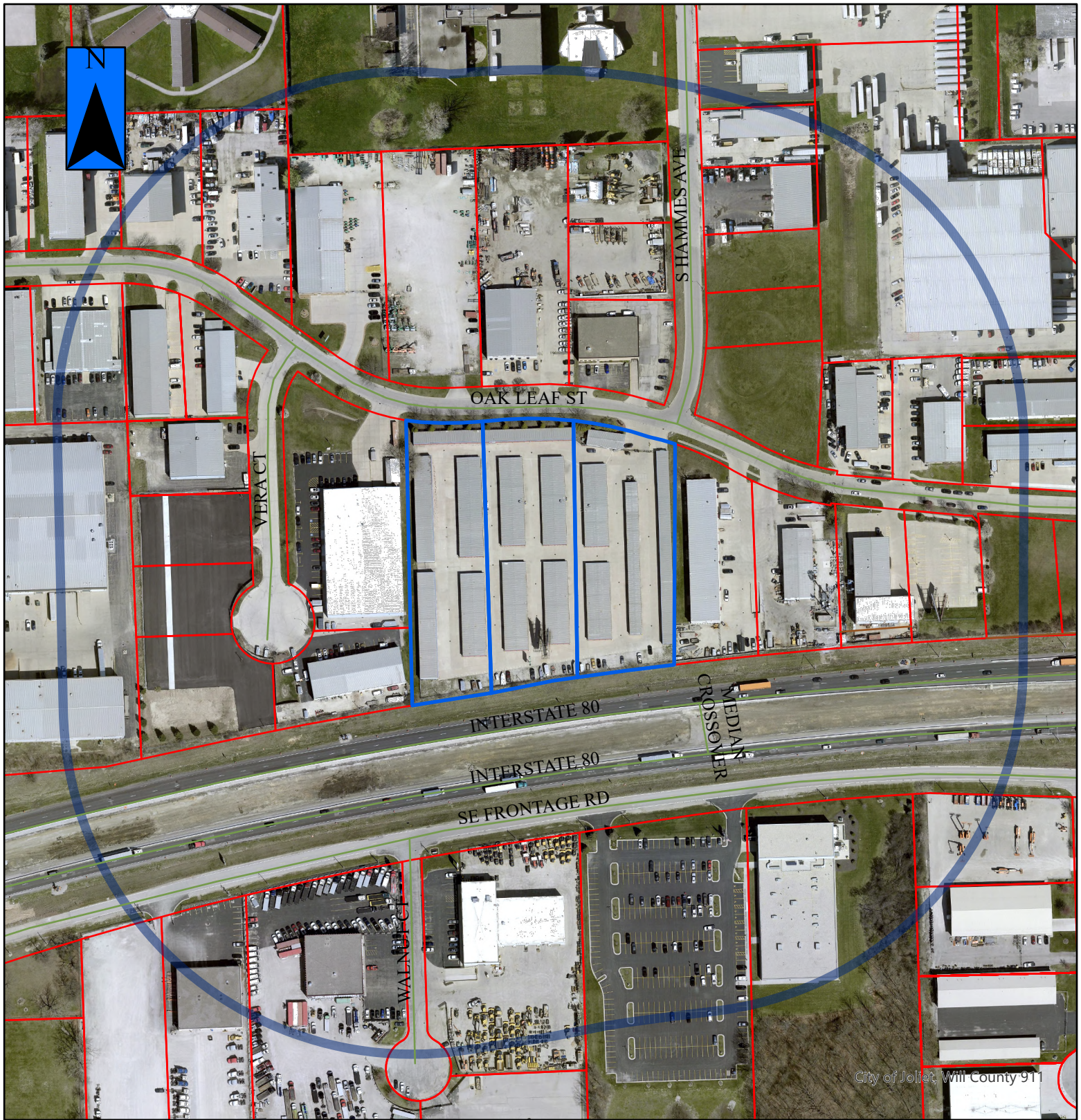


Iselin, NJ



Neptune, NJ





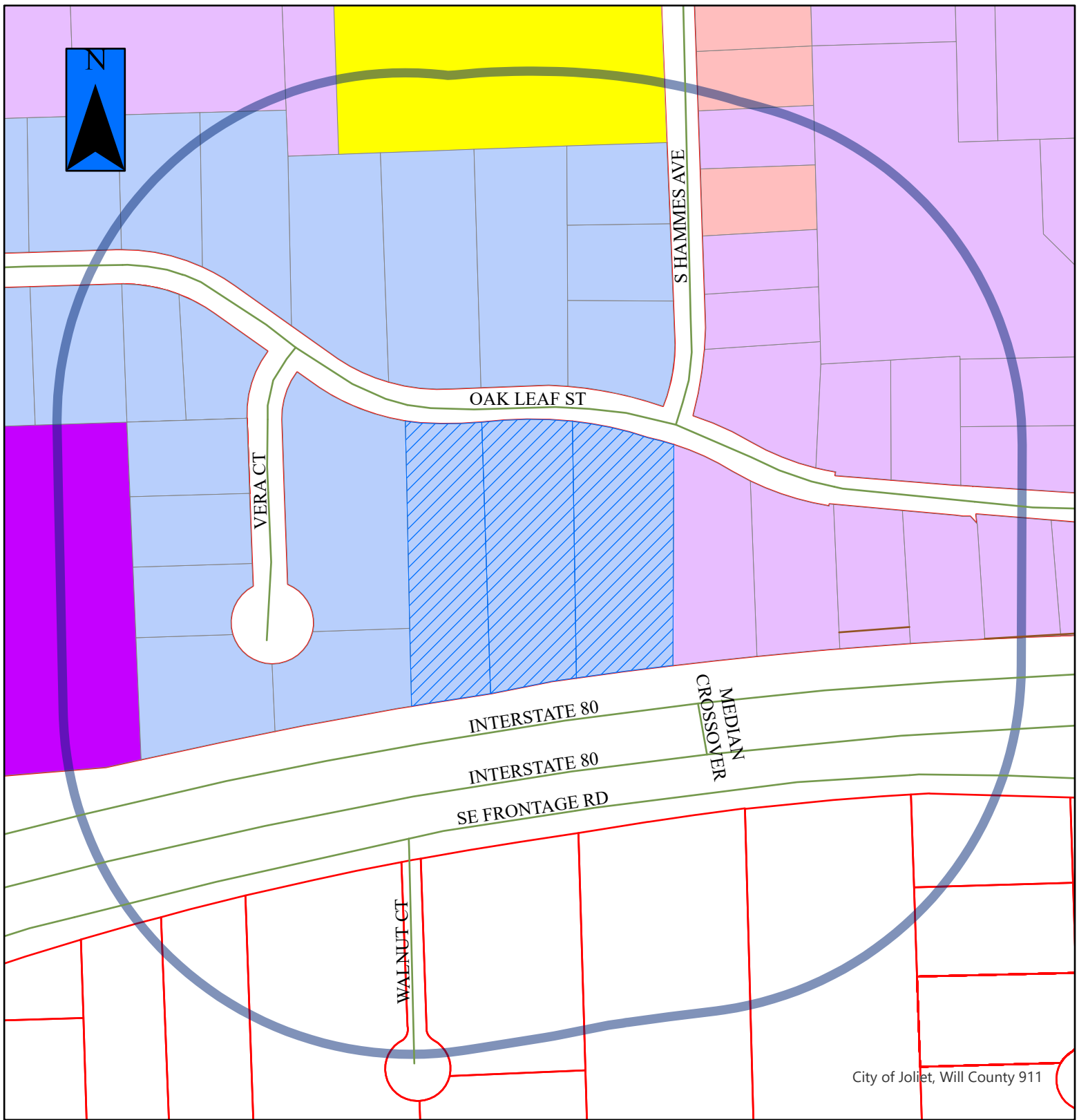
2025-58a



= Property in Question / Propiedad en cuestión





= 600' Public Notification Boundary /
Límite de notificación pública de 600 ft (180 m)



2025-58



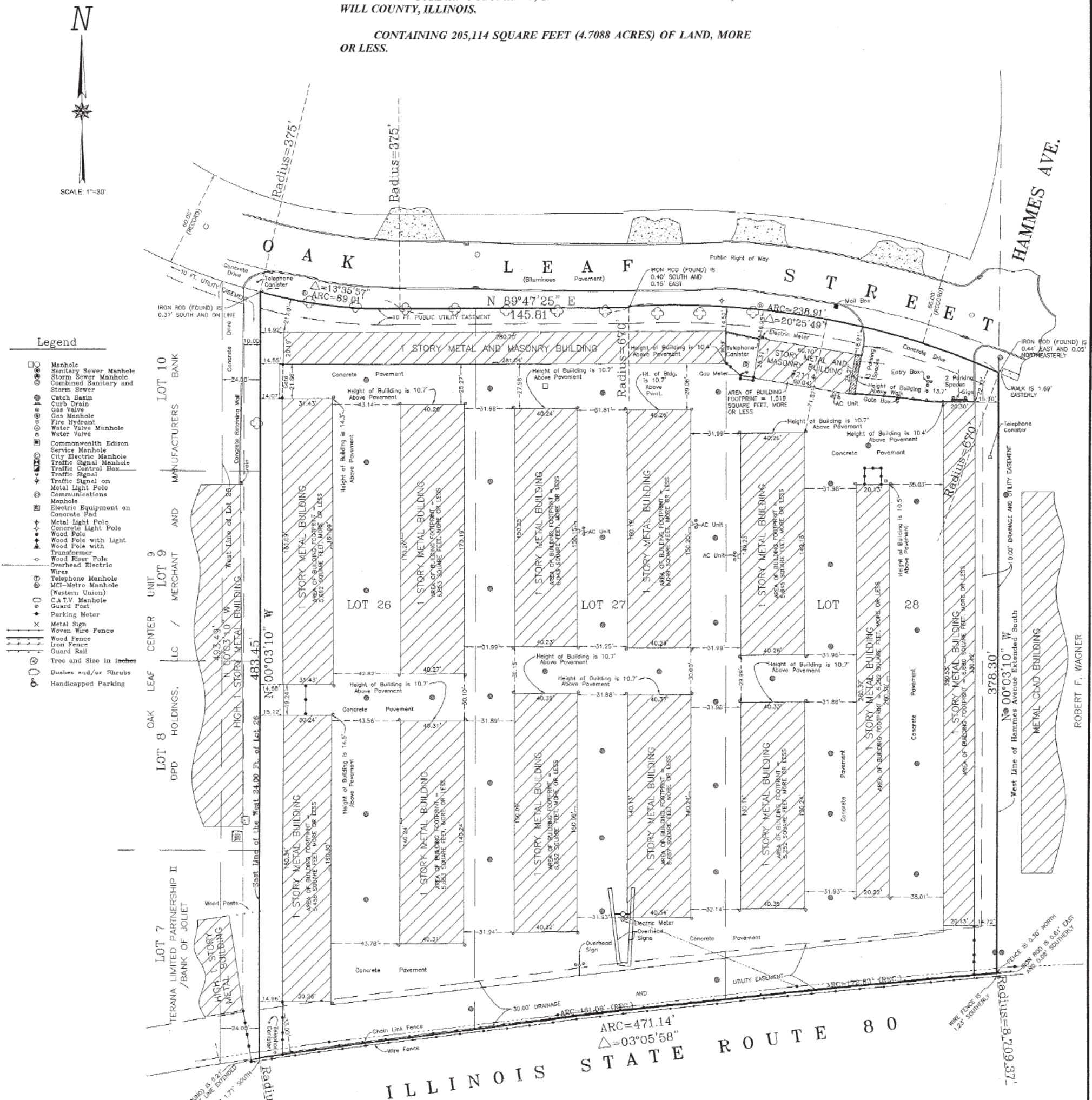
 = Property in Question
 = 600' Public Notification Boundary

Legend					
	B-1		I-TA		R-2
	B-2		I-TB		R-2A
	B-3		I-TC		R-3
	I-1		R-1		R-4
	I-2		R-1A		R-5
	I-T		R-1B		R-B

PLAT of SURVEY

LOT 26 (EXCEPT THE WEST 24.00 FEET THEREOF), LOT 27 AND LOT 28, IN OAK LEAF CENTER UNIT FIVE, A SUBDIVISION OF PART OF THE SOUTHWEST QUARTER OF SECTION 18, TOWNSHIP 35 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED OCTOBER 11, 1990 AS DOCUMENT NO. R90-56704, IN WILL COUNTY, ILLINOIS.

CONTAINING 205,114 SQUARE FEET (4.7088 ACRES) OF LAND, MORE OR LESS.



NOTE: FIELD VERIFY ALL COMPUTER GENERATED DIMENSIONS.

THERE ARE 5 PARKING SPACES ON THE PROPERTY, INCLUDING 0 HANDICAP SPACES.

FOR BUILDING LINE AND OTHER RESTRICTIONS NOT SHOWN HEREON REFER TO YOUR ABSTRACT, DEED, CONTRACT, AND LOCAL BUILDING LINE REGULATION.

COMPARE YOUR POINTS BEFORE BUILDING AND AT ONCE REPORT ANY DIFFERENCE.

UNDERGROUND UTILITIES NOT SHOWN HEREON.

THE BEARING BASE FOR THE NORTH ARROW SHOWN HEREON IS ASSUMED NORTH.

CHICAGO GUARANTEE SURVEY COMPANY HEREBY CERTIFIES THAT THE PROPERTY SHOWN HEREON LIES WITHIN ZONE "X", AREAS DETERMINED TO BE OUTSIDE OF THE 500-YEAR FLOODPLAIN AS DELINEATED ON THE NATIONAL FLOOD INSURANCE PROGRAMS FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NUMBER 17197C0144E, EFFECTIVE DATE SEPTEMBER 6, 1995.

DATE OF COMPLETION OF FIELD WORK: SEPTEMBER 15th, 2004.

THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.

DISTANCES ARE MARKED IN FEET AND DECIMALS.

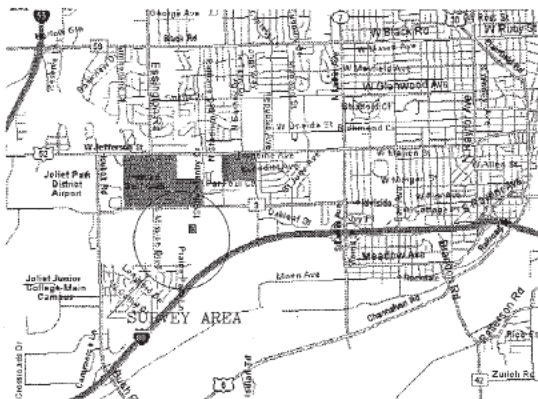
ORDER NO.: 0408007
ORDERED BY: BOCK & CLARK

© 2004, CHICAGO GUARANTEE SURVEY COMPANY. ALL RIGHTS RESERVED. THIS WORK OR ANY PORTION THEREOF MAY NOT BE COPIED, PHOTOCOPIED, TRANSLATED, REDUCED TO ANY ELECTRONIC OR DIGITAL MEDIUM OR MACHINE READABLE FORM, DOWNLOADED, STORED IN A RETRIEVABLE MEDIUM, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM.

SCHEDULE D EXCEPTIONS

13. Utility and drainage easements created by the Plat of Subdivision of Oak Leaf Center Unit Five, recorded as Document R90-56704, as follows:

Affects the South 30 feet of each lot
Affects the North 10 feet of each lot



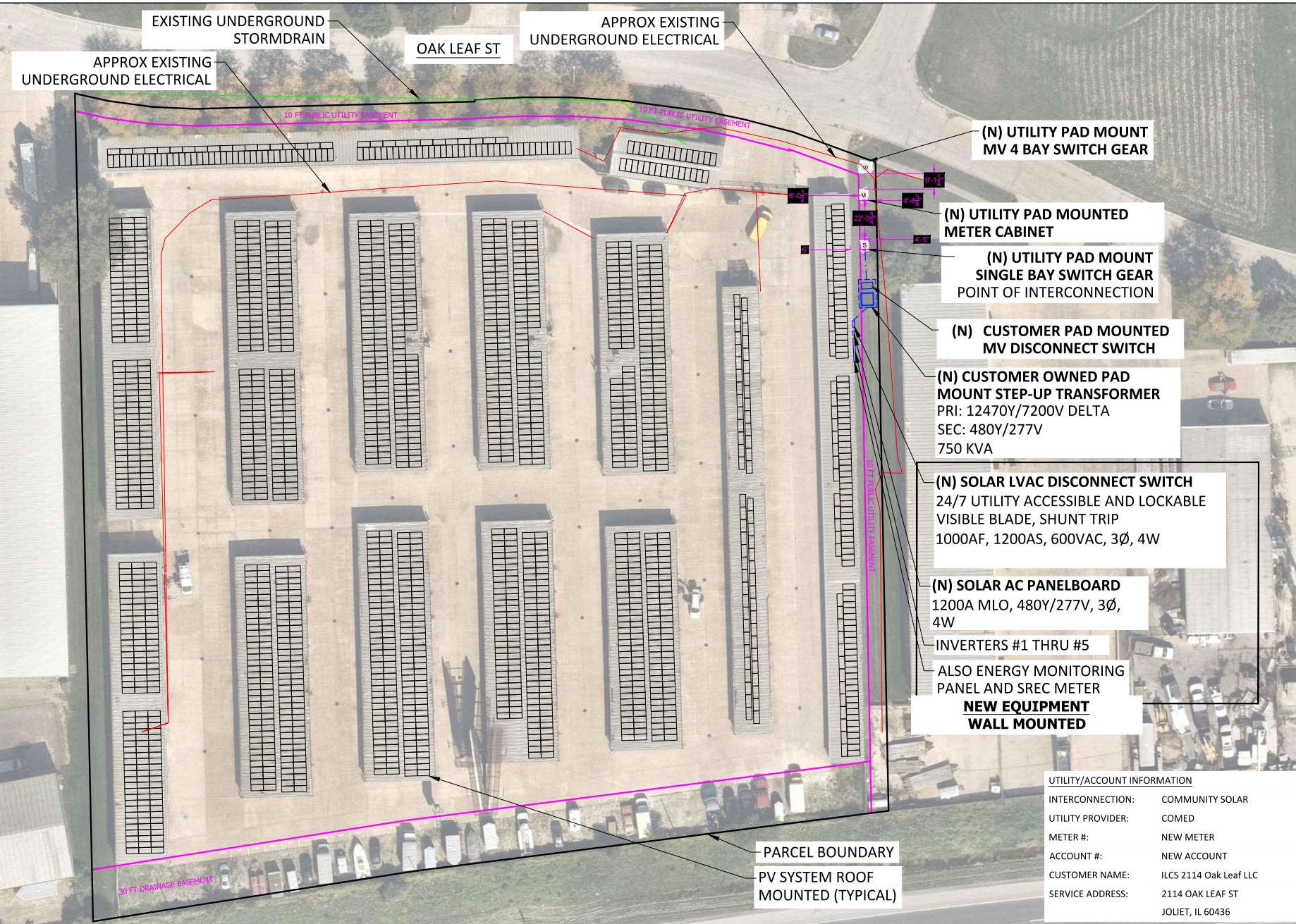
ALTA/ACSM LAND TITLE SURVEY

for
U-Store-It Metro Project
Joliet Self Storage
B & C Project No. 20040775, 10
2114 Oak Leaf Street, Joliet, IL 60436

Surveyor's Certification
To: Acquire/Amsell Limited Partnership, U-Store-It, LLP, U-Store-It Trust, Lehman Brothers Holdings Inc., Lehman Brothers Bank, FSB, and all of their successors and assigns: YSI III LLC, a Delaware limited liability company; First American Title Insurance Company and Bock & Clark Corporation.

The undersigned certifies that to the best of his professional knowledge, information and belief, this map or plat and the Survey on which it is based were made on the date shown below of the premises specifically described in First American Title Insurance Company Commitment No. NCS-74817-CHI dated February 11, 2004 and were made: (i) in accordance with "Minimum Standards Detail Requirements for ALTA/ACSM Land Title Surveys," jointly established and adopted by ALTA, ACSM and NSPS in 1999; (ii) in accordance with the "AGREEMENT and Survey Requirements for U-Store-It Metro Project Surveys" dated August 18, 2004 and includes Items 1, 2, 3, 4, 6, 7(a), 7(b)(1), 7(c), 8, 9, 10, 11(a) (surface matters only) and 13 of Table A specifically defined therein; and (iii) Pursuant to the Accuracy Standards as adopted by ALTA, NSPS, and ACSM and in effect on the date of this certification, undersigned further certifies that the survey measurements were made in accordance with the "Minimum Angle, Distance, and Closure Requirements for Survey Measurements Which Control Land Boundaries for ALTA/ACSM Land Title Surveys."

CHICAGO, ILLINOIS SEPTEMBER 22nd, 2004
CHICAGO GUARANTEE SURVEY COMPANY



1 ELECTRICAL PLAN
E10 SCALE: CUSTOM



REV	DATE	REVISION DESCRIPTION	ENGR
0	1/18/2024	Issued for IC	EL
1	03/18/25	POST-CONSTRUCTION UPDATE	AG
2	10/13/2025	REVISED LOCATION	AG

PROJECT:	CUESMART 2114 OAK LEAF 2114 OAK LEAF ST JOLIET, IL 60436 883.20 KW DC // 600.00 KW AC
PHASE NO.	1 OF 2
SHEET NO.	E10
SHEET TITLE:	SITE PLAN

SYSTEM SIZE:	5,000.00 KW DC // 3,840.00 KW AC
INTERCONNECTION:	COMMUNITY SOLAR
INSTALLATION TYPE:	ROOF MOUNT
MODULE (TYPE 1):	(11,603) JANSOBN7PH4-BDY (580W)
MODULE (TYPE 2):	(000)
INVERTER:	(13) SEL200US (120 KW)
RACKING / ROOF TYPE:	PANELCLAW CLAW FR 50 / 57 / TBD

PROJECT DETAILS	
SYSTEM SIZE:	5,000.00 KW DC // 3,840.00 KW AC
INTERCONNECTION:	COMMUNITY SOLAR
INSTALLATION TYPE:	ROOF MOUNT
MODULE (TYPE 1):	(11,603) JANSOBN7PH4-BDY (580W)
MODULE (TYPE 2):	(000)
INVERTER:	(13) SEL200US (120 KW)
RACKING / ROOF TYPE:	PANELCLAW CLAW FR 50 / 57 / TBD

UTILITY/ACCOUNT INFORMATION	
INTERCONNECTION:	COMMUNITY SOLAR
UTILITY PROVIDER:	COMED
METER #:	NEW METER
ACCOUNT #:	NEW ACCOUNT
CUSTOMER NAME:	ILCS 2114 Oak Leaf LLC
SERVICE ADDRESS:	2114 OAK LEAF ST JOLIET, IL 60436

Project Developer | 522 Coolman Ave, Suite 3,
Solar Landscape, LLC, Ashbury Park, NJ 07712 (646) 419-2645

FOR OFFICE USE ONLY

****Verified by Planner (please initial):*_____***

Payment received from: _____

Petition #: _____

Common Address: _____

Date filed: _____

Meeting date requested: _____

ZONING BOARD OF APPEALS

JOLIET, ILLINOIS

PETITION FOR SPECIAL EXCEPTION

City of Joliet Planning Division, 150 W. Jefferson St. First Floor, South Wing, Joliet, IL 60432
Phone (815)724-4050 Fax (815)724-4056

ADDRESS FOR WHICH VARIATION IS REQUESTED: 2114 Oak Leaf St, Joliet, IL 60436

PETITIONER'S NAME: ILCS 2114 Oak Leaf LLC

HOME ADDRESS: _____ ZIP CODE: _____

BUSINESS ADDRESS: 601 Bangs Avenue, Suite 301, Asbury Park, NJ ZIP CODE: 07712

PHONE: (Primary) (Secondary) _____

EMAIL ADDRESS: FAX: _____

PROPERTY INTEREST OF PETITIONER: Lessee

OWNER OF PROPERTY: CubeSmart, LP

HOME ADDRESS: _____ ZIP CODE: _____

BUSINESS ADDRESS: 5 Old Lancaster Rd, Malvern, PA ZIP CODE: 19355

EMAIL ADDRESS: FAX: _____

Any use requiring a business license shall concurrently apply for a business license and submit a copy with this petition. Additionally, if this request is for operation of a business, please provide the following information:

BUSINESS REFERENCES (*name, address, phone*):

OTHER PROJECTS AND/OR DEVELOPMENTS:

PERMANENT INDEX NUMBER (TAX NO. OR P. I. N.): 30-07-18-301-013-0000 ;
30-07-18-301-012-0000 ; 30-07-18-301-017-0000 ; _____.

Property Index Number/P.I.N. can be found on tax bill or Will County Supervisor of Assessments website

LEGAL DESCRIPTION OF PROPERTY (attached copy preferred):

See attached.

LOT SIZE: WIDTH: Irregular DEPTH: Irregular AREA: 205,114 sq. ft.

PRESENT USE(S) OF PROPERTY: Storage facility

PRESENT ZONING OF PROPERTY: I-1 Light Industrial

VARIATION/APPEAL REQUESTED: Community solar commercial rooftop

RESPONSE TO SPECIAL EXCEPTION CRITERIA

An exception is a use permitted only after review of an application by the Board of Appeals or Commission other than the Administrative Official (Building Inspector), such review being necessary because the provisions of this Ordinance covering conditions, precedent or subsequent, are not precise enough to all applications without interpretation and such review is required by the Ordinance.

The “exception” differs from the “variance” in several respects. An exception does not require “undue hardship” in order to be allowable. The exceptions that are found in this Ordinance appear as “special approval” or review by Plan Commission, Legislative Body, or Board of Appeals. These land uses could not be conveniently allocated to one zone or another or the effects of such uses could not be definitely foreseen as of a given time. The general characteristics of these uses include one or more of the following:

- (a) They require large areas;
- (b) They are infrequent;
- (c) They sometimes create an unusual amount of traffic;
- (d) They are sometimes obnoxious or hazardous; and
- (e) They are required for public safety and convenience.

In addition to permitting the special exceptions otherwise specified in the Zoning Ordinance, the Board shall have authority to permit the following:

- (a) The temporary use of a building or premises in any district for a purpose of use that does not conform to the regulations prescribed by this chapter, provided that such use be of a true temporary nature and does not involve the erection of substantial buildings. Such permit shall be granted in the form of a temporary and revocable permit for not more than a 12-month period, subject to such conditions as will safeguard the public health, safety, convenience, and general welfare.

- (b) The temporary use of a building or premises in undeveloped sections for a purpose that does not conform to the regulations prescribed by this chapter, provided that such structure or use is of a true temporary nature, is promotive of or incidental to the development of such undeveloped sections, and does not involve the erection of substantial buildings. Such permit shall be granted in the form specified under sub-section (a) above.

Please describe how this request meets the criteria by responding to the following questions in your own words.

1. Briefly describe/explain the purpose of the request for an exception, including a timeframe for the use if applicable.

The special exception is for a community rooftop solar project that will generate clean, renewable electricity.
The project will be placed on the rooftops of an existing storage facility and not require any new buildings
to be constructed. The project will not create any appreciable noise, dust, fumes or odors and will operate in harmony with
the surrounding uses in the area. The project will only require infrequent, periodic maintenance and will therefore
not create any traffic congestion. Demand for electricity is growing in Illinois and this project will provide.
clean, cost-effective energy while utilizing rooftops that already exist. The project lifetime is estimated to be
20-40 years, and the project could also be repowered to extend the project life, depending on future demand.

2. Identify the section of the Zoning Ordinance for which an exception is being requested.

Section 47-14.2A, special exception I-1 zoning district

3. What impact would the granting of this special exception have upon the essential character of the general area?
Please include both positive and negative impacts.

The project should not have any impact on the character of the general area. The existing storage facility
use will continue. The solar project does not create any negative impacts that would affect the
surrounding area, nor will the project negatively impact any future development in the area.

REQUIRED SUPPORTING ATTACHMENTS

- ☒ Site plan / concept plan / floor plan / building elevation plan
- ☒ Joliet Ownership Disclosure form
- ☐ Business license application (if applicable)

NOTARIZATION OF PETITION

STATE OF ILLINOIS) ss
COUNTY OF WILL)

I, Emily McCue, depose and say that the above statements are true and correct to the best of my knowledge and belief. I agree to be present in person or by representation when this petition is heard before the Zoning Board of Appeals.

[Redacted Signature]
Petitioner's Signature

[Redacted Signature]
Owner's Signature
(If other than petitioner)

Subscribed and sworn to before me
this 30 day of October, 20 25
[Redacted]

COURTNEY BREESE
NOTARY PUBLIC OF NEW JERSEY
Commission # 50105947
My Commission Expires 6/18/2029

2029

LEGAL DESCRIPTION:

LOT 26 (EXCEPT THE WEST 24.00 FEET THEREOF), LOT 27 AND LOT 28, IN OAK LEAF CENTER UNIT FIVE, A SUBDIVISION OF PART OF THE SOUTHWEST QUARTER OF SECTION 18, TOWNSHIP 35 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED OCTOBER 11, 1990 AS DOCUMENT NO. R91-56704, IN WILL COUNTY, ILLINOIS.

CONTAINING 205,114 SQUARE FEET (4.7088 ACRES) OF LAND, MORE OR LESS.

CITY OF JOLIET OWNERSHIP DISCLOSURE FORM

The City of Joliet requires that applicants for zoning relief, subdivision approval, building permits and business licenses disclose the identity of all persons having an ownership interest in the business and the real property associated with the application. A copy of this form must be completed and submitted with other application materials. Failure to properly complete and submit this form may result in the denial of the application.

I. INFORMATION ABOUT THE APPLICATION

This form is submitted as part of an application for the following (check all that apply):

- ☒ Rezoning, Special Use Permit, Variation, or Other Zoning Relief (Complete Sections II and III)
- ☐ Preliminary Plat, Final Plat, or Record Plat of Subdivision (Complete Sections II and III)
- ☐ Building Permit (Complete Sections II and III)
- ☐ Business License (Complete All Sections)

II. INFORMATION ABOUT THE PROPERTY

The address and PIN(s) of the real property associated with this application are:

2114 Oak Leaf St, Joliet, IL 60436

PIN(s): 30-07-18-301-013-0000, 30-07-18-301-012-0000, and 30-07-18-301-017-0000

III. PROPERTY OWNERSHIP

Select the type of owner of the real property associated with this application and fill in the appropriate contact information below:

- ☐ **Individual:** State the names, addresses, and phone #'s of the individual owner(s)
- ☐ **Corporation:** State the names, addresses, and phone #'s of all persons holding 3% or more of the stock of the corporation and the percentage of shares held by such stockholders
- ☐ **Limited Liability Company:** State the names, addresses, and phone #'s of all members of the company along with the percentage of ownership held by each member
- ☐ **Land Trust:** State the names, addresses, and phone #'s of the trustee(s) and all beneficiaries
- ☐ **Partnership:** State the names, addresses, and phone #'s of all partners
- ☒ **Other type of organization:** State the names, addresses, and phone #'s of all persons having a legal or equitable ownership interest in the organization or the right to direct the affairs of the organization

CubeSmart, a Maryland real estate investment trust, is the sole general partner of

CubeSmart, L.P., and with an address of 5 Old Lancaster Road, Malvern, PA 19355,

E-MAIL: _____ FAX: _____

IV. BUSINESS OWNERSHIP

If the owner of the business is different than the owner of the real property associated with the application, then the following information must be provided:

Select the type of business owner associated with this application and fill in the contact information below:

- ☐ **Individual:** State the names, addresses, and phone #'s of the individual owner(s)
- ☐ **Corporation:** State the names, addresses, and phone #'s of all persons holding 3% or more of the stock of the corporation and the percentage of shares held by such stockholders
- ☒ **Limited Liability Company:** State the names, addresses, and phone #'s of all members of the company along with the percentage of ownership held by each member
- ☐ **Partnership:** State the names, addresses, and phone #'s of all partners
- ☐ **Other type of organization:** State the names, addresses, and phone #'s of all persons having a legal or equitable ownership interest in the organization

Cosh Development, LLC (100%) [REDACTED]

Shaun Keegan (50% - Cosh Development, LLC) [REDACTED]

Corey Gross (50% - Cosh Development, LLC) [REDACTED]

E-MAIL [REDACTED] FAX: _____

NOTE:

If a stockholder, member, beneficiary or partner disclosed in Section III or Section IV is not an individual, then the individuals holding the legal or equitable title to the real property or business associated with the application must also be disclosed. For example, if the real property associated with an application is owned by a land trust, and the beneficiary of the land trust is a limited liability company, then the members of the limited liability company must be disclosed. If one of the members of the limited liability company is a partnership, then the identity of the partners must be disclosed. If one of the partners is a corporation, then all persons owning 3% or more of the issued stock must be disclosed.

SIGNED: [REDACTED] _____

DATE: 11/05/2025 _____

Name, Title, and Telephone Numbers of Person Completing and Submitting This Form:

Schain Banks Kenny & Schwartz, Ltd. _____

[REDACTED] _____

PRINT



City of Joliet

150 West Jefferson Street
Joliet, IL 60432

Memo

File #: TMP-9240

Agenda Date: 12/18/2025

STAFF REPORT

DATE: December 10, 2025
TO: Zoning Board of Appeals
FROM: Francisco Jimenez, Planner
RE: Petition Number: 2025-59
Applicant / Owner: Airoom LLC / Marcus Brightwell & Devera Leslie
Location: 6303 Brunswick Drive (Council District #1)
Request: A Variation to reduce the total sum of side yard setback from 20' to 16' for a front porch.

Purpose

The applicant is requesting a Variation to reduce the total sum of side yard setback from 20' to 16' for a front porch located at 6303 Brunswick Drive. The Zoning Board of Appeals makes the final decision in this matter.

Site Specific Information

The subject property is approximately 8,200 square feet in size and is zoned R-2 (Single-Family Residential). A single-family house was constructed here in 2004 within the Pheasant Ridge subdivision.

Surrounding Zoning, Land Use and Character

All properties in this vicinity are zoned R-2 (Single-Family Residential). All homes in the area are 1 ½ or 2 story homes with attached garages. Some residences in the nearby area have an open front porch, like what the applicant is requesting.

Applicable Regulations

- Section 47-6.4 R-2 Single-family Residential Yard and Lot Requirements
- Section 47-19.8 Criteria for Granting a Variation (refer to attachment)

Discussion

The applicant seeks to build a 1 story open front porch. The proposed open front porch will have a height of 8' from foundation to the lower eave. The proposed open front porch will extend 8' from the front façade of the home and will match the width of the main portion of the front façade, which is 23' wide. The side setback of the proposed porch will not encroach further into the required side yard and will remain at 8'. The construction of the proposed front porch will not increase lot coverage and will not affect any other required setbacks. Floor plans and building elevations for the proposed project are included in the staff report packet.

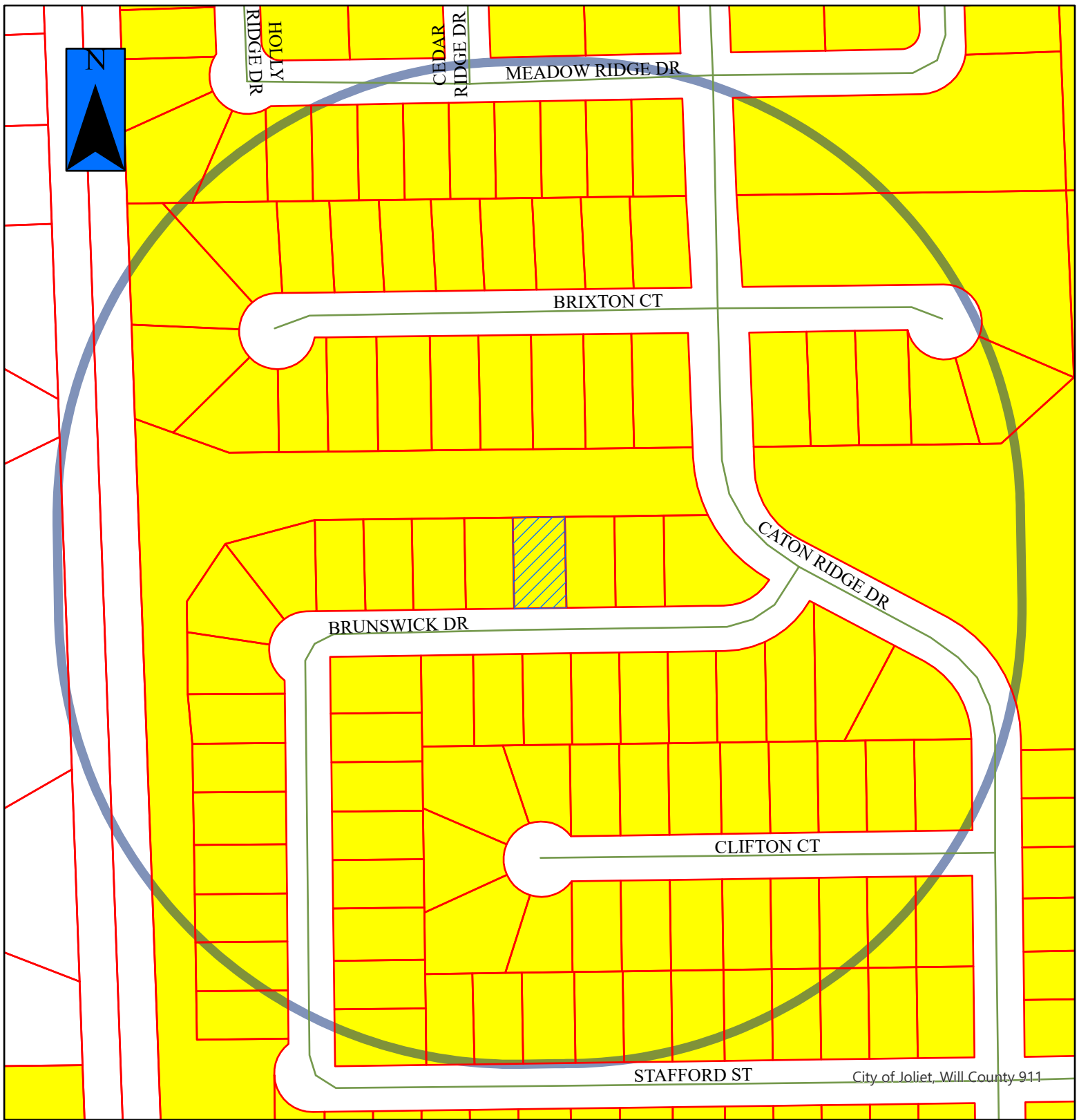
Recommended Action

Staff recommends approval of the variation request to reduce the required total side yard setback requirement from 20' 16' for a front porch. The property has unique circumstances in that the total of the existing side yard setbacks is 16', which does not conform to the required 20' total side yard setbacks for a lot in the R-2 zoning district with a 2 or 2 ½ story structure. The front porch would continue, but not increase, the existing non-conforming sum of side yard setbacks. Strict enforcement of the Ordinance would involve practical difficulties to construct a front porch. Staff believes that it is reasonable for a property owner to have an open front porch and such an addition to the house would not encroach into required 30' front yard setback. For this reason, this addition would not detract from the essential character of the neighborhood. Many properties within the subdivision have a covered front porch.

Conditions



If the Zoning Board desires to approve these Variation requests to allow a 23' X 8' open front porch, the following conditions should be included:








1. That a building permit shall be obtained prior to construction.

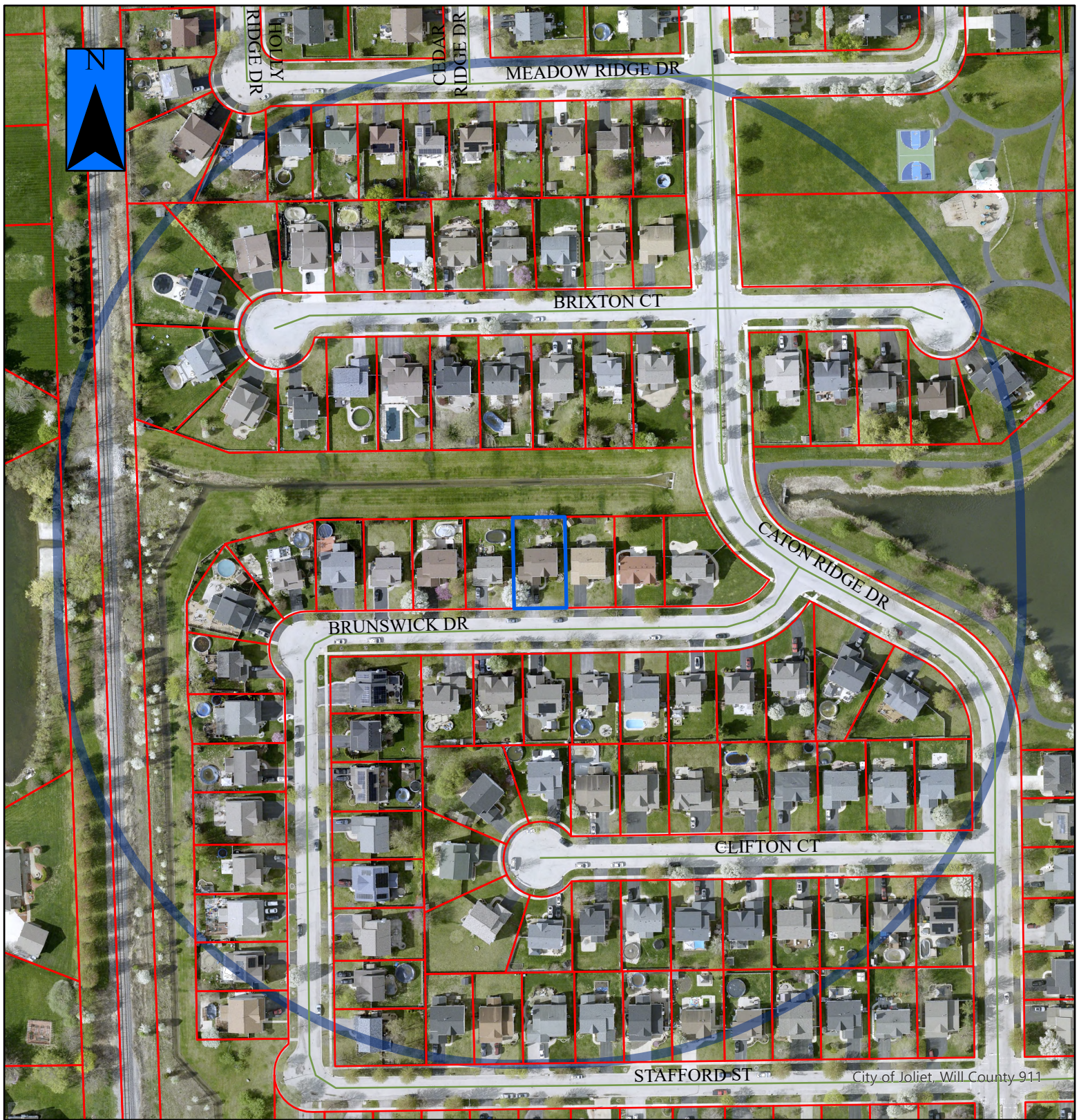


2025-59

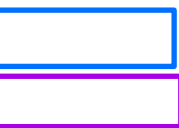


 = Property in Question
 = 600' Public Notification Boundary

Legend					
	B-1		I-TA		R-2
	B-2		I-TB		R-2A
	B-3		I-TC		R-3
	I-1		R-1		R-4
	I-2		R-1A		R-5
	I-T		R-1B		R-B



2025-59a



= Property in Question / Propiedad en cuestión
 = 600' Public Notification Boundary /
 Límite de notificación pública de 600 ft (180 m)

C



NTS









NTS

OWNER NOTE: NOTWITHSTANDING THE CONTRACT AND SPECIFICATION
TERMS TO THE CONTRARY, ALL REQUIRED SURVEY'S WILL BE
ORDERED AND PAID DIRECTLY BY BUYER. SURVEY'S NEEDED WILL BE
PER MUNICIPALITY PERMIT DEPARTMENT REQUIREMENTS.

X _____ X _____

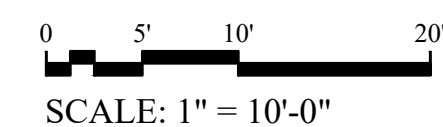


ZONING CLASSIFICATION		R2	Single Family and Two-Family Residential District		
ADDRESS		6303 BRUNSWICK DRIVE			
LINK TO ZONING CODE					
Bulk Regulations	REQUIRED OR ALLOWED	EXISTING	PROPOSED	CHANGE AMOUNT OR AREA	
Minimum Lot Size (square feet)	12000 SF	8279.9 SQFT	EXISTING	NO CHANGE	
Minimum Lot Area per Unit	6000 SF	8279.9 SQFT	EXISTING	NO CHANGE	
Maximum Building Height (feet)	35 FT	27 FT	EXISTING	NO CHANGE	
Minimum Floor Area per Dwelling Unit (square feet)	1700 SF	3473 SQFT	EXISTING	NO CHANGE	
Maximum Building Coverage (percentage)	30%	24%	EXISTING	NO CHANGE	
Maximum Impervious Area Coverage (percentage)	45%	38%	40%	INCREASED BY 2%	
SETBACKS					
Minimum Front Setback (feet)	30 ft.	30.46FT	EXISTING	NO CHANGE	
Minimum Interior Side Setback (feet)- NOTE 1	MIN seven (7) feet and the total of both side yards shall equal at least twenty (20) feet	8.69 FT & 8.25 FT	EXISTING	NO CHANGE	
Minimum Rear Setback (feet)	30 ft.	42.88FT	EXISTING	NO CHANGE	

- | LEGEND: | |
|---|---|
|  | EX. HARDSCAPE TO REMAIN |
|  | EX. TO BE REMOVED |
|  | EX BUILDINGS FOOTPRINT |
|  | PROPOSED FOOTPRINT FOR NEW
SECOND STORY ADDITION |
|  | NEW CONC./MASONRY HARDSCAPE |
|  | EX. FIRST FLOOR PLAN FOR
REFERENCE ONLY |



- ① PROVIDE TEMP. SANITARY FACILITY FOR WORKERS DURING CONSTRUCTION. MINIMUM 10'-0" FROM NEIGHBORING LOTS IF POSSIBLE. VIF LOCATION ON SITE W/ BUYER.
- ② SUPERINTENDENT TO REVIEW ON SITE LOCATION FOR DUMPSTER TO REMOVE DEBRIS UPON COMPLETION OF CONSTRUCTION W/ BUYER.
- ③ BUYER TO PROVIDE TEMPORARY STAGING AND DISCUSS WITH SUPERINTENDENT ON SITE. POSSIBLY IN FRONT OF DUMPSTER , REAR PATIO OR OTHER.

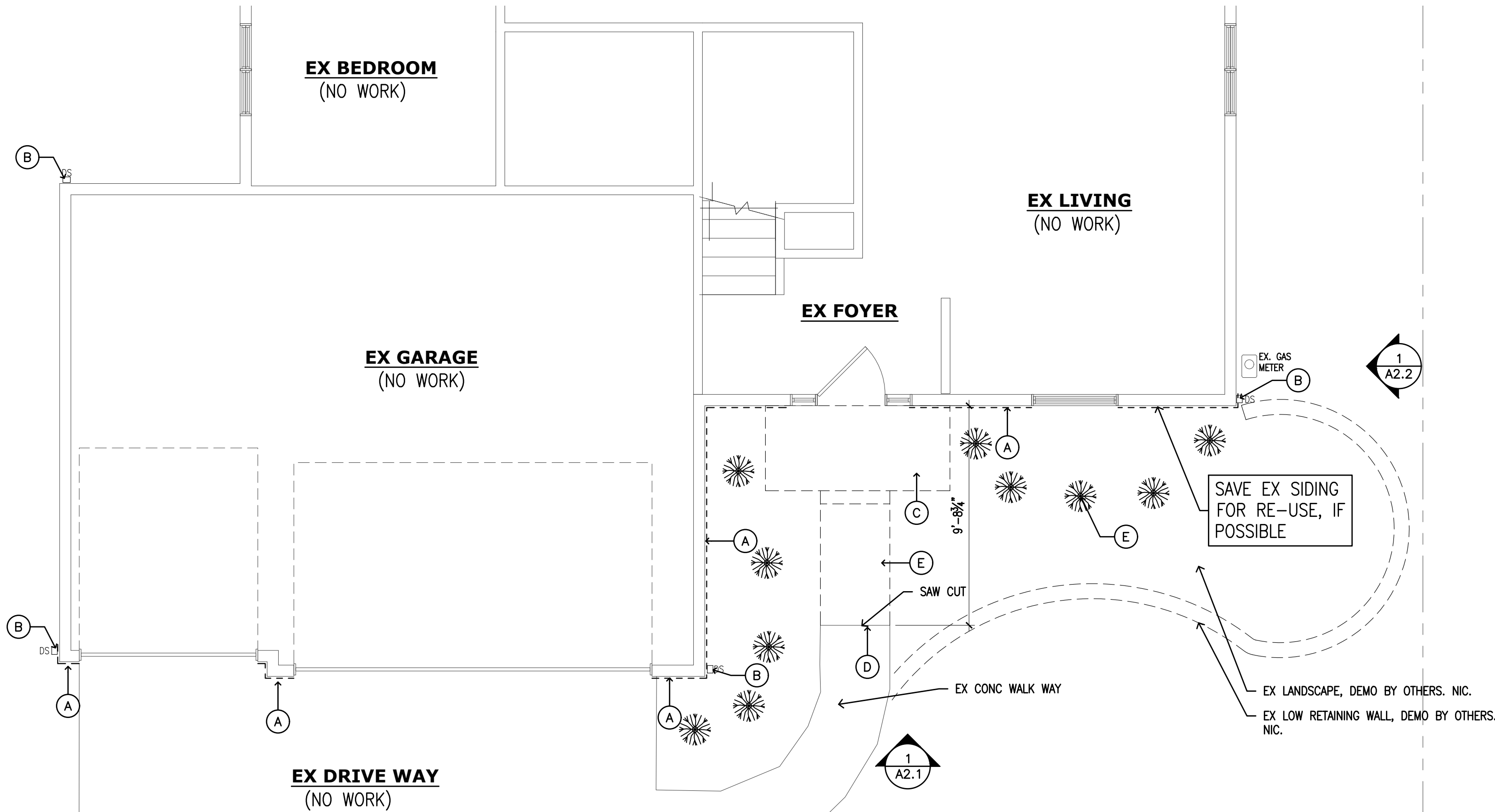


G1.1

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AFD REFERENCE
C96503-173405

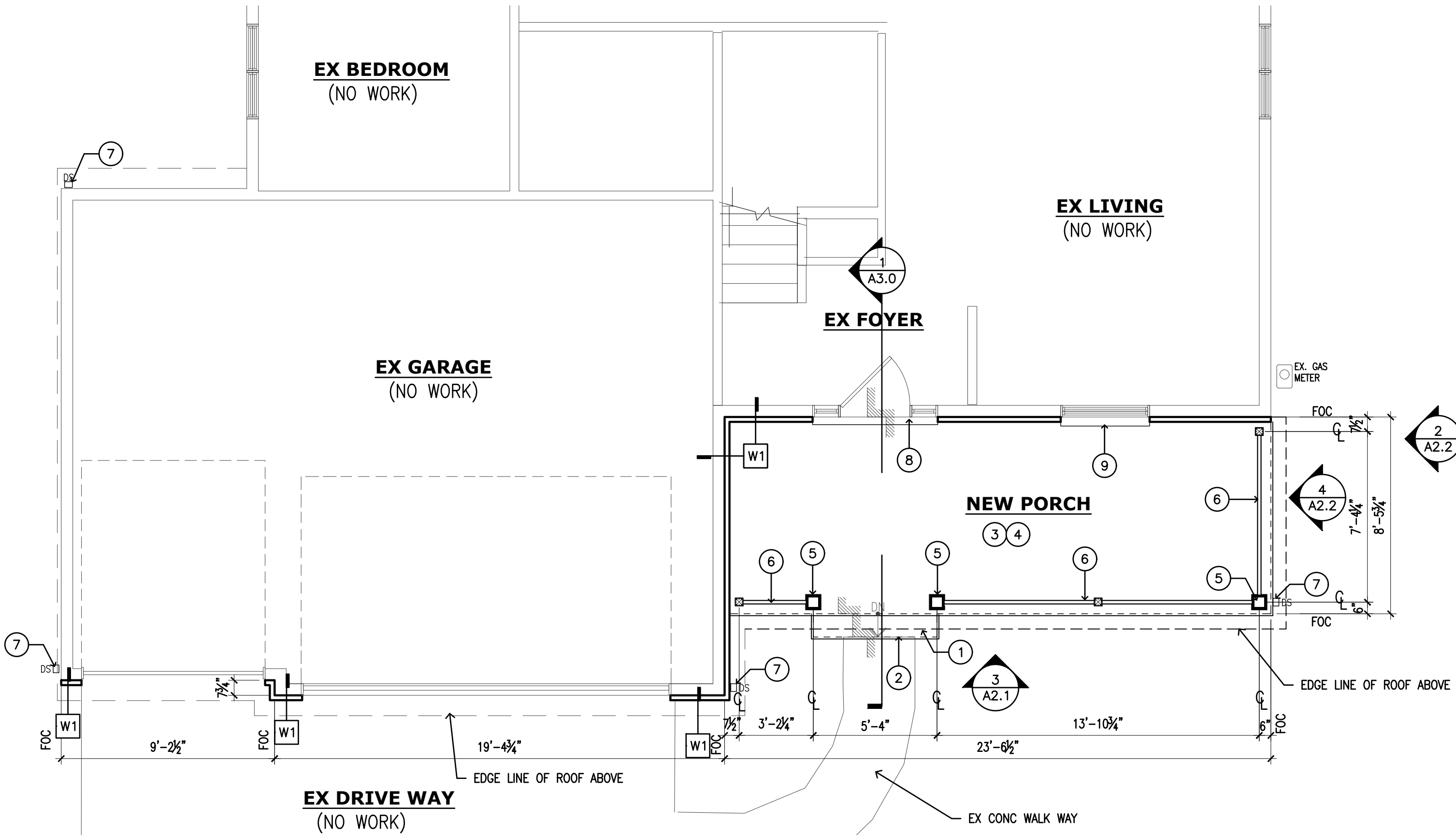
BUYER'S NOTE:

OWNER NOTE: IF REPLACEMENT OF EXISTING SHEATHING UNDERNEATH OF EX VINYL SIDING IS REQUIRED RELATED MATERIALS AND LABOR IS N.I.C. AIROOM TO DETERMINE EXISTING MATERIAL TYPE AND CONDITION UPON REMOVAL OF SIDING.



1 DEMO FIRST FLOOR PLAN
1/4" = 1'-0"

- LEGEND:
- WALL TO BE REMOVED
 - EX WALL TO REMAIN
 - NEW FRAMED WALL
 - FLOOR TO BE REMOVED
 - EX CEILING GYP. BD. TO BE REMOVED
 - NEW GYP. BD. CEILING
 - EX WINDOW TO REMAIN
 - WINDOW TO BE REMOVED
 - NEW WINDOW
 - EX DOOR TO REMAIN
 - DOOR TO BE REMOVED
 - NEW DOOR
 - F.O.S. FACE OF SHEATHING
 - F.O.B. FACE OF BRICK
 - F.O.C. FACE OF CONCRETE
 - FIN FACE OF FINISH
 - R. & R. REMOVE & REPLACE FOF FACE OF FRAME
 - DETAIL KEY TAG. SEE A3.0 DETAIL KEY LEGENDS



2 NEW FIRST FLOOR PLAN
1/4" = 1'-0"

- DEMO NOTES
- UN-INSTALL EX SIDING DOWN TO SHEATHING PER ELEVATIONS ON A2 SERIES DRAWINGS. SAVE SIDINGS IF POSSIBLE FOR PATCH WORK.
 - DEMO & HAUL AWAY EX DOWNSPOUT.
 - DEMO & HAUL AWAY EX CONC STOOP AS NEEDED.
 - SAW CUT EX CONC WALK WAY & DEMO EX PER PLAN & HAUL AWAY.
 - BUYER TO REMOVE PLANTINGS AND STUMP GRIND.

- NEW NOTES
- NEW STAMPED W/ STAINED BORDER & CUT STONE FORM LINER AT FACE STEP PER SECTION A3.0 & S1 DWGS.
 - SEAL 1/2" W JOINT W/ POLYURETHANE SEALANT.
 - NEW STAMPED W/ STAINED BORDER & CUT STONE FORM LINER AT FACE CONC SLAB PER PER SECTION A3.9 & S1 DWG.
 - 3 3/8" WIDE (SPBC4) EXTERIOR T&G BEADED CLG BY WINDSORNE, PRIMED & PAINT BY OTHERS.
 - PRE-FABRICATED BASE & COLUMN WRAP. SEE S1 AND A3.0 FOR MORE INFO.
 - GUARD RAIL. SEE INDICATED ELEVATIONS.
 - NEW DOWN SPOUT. LINK TO EX UNDERGROUND PIPE IF EXIST. OTHERWISE RELEASE RAIN WATER ONTO GROUND.
 - LIMESTONE SILL @ ENTRY DOOR PER A2.2.
 - WINDOW SILL PER CULTURED STONE MANUFACTURER.

DEPARTMENT APPROVAL:

READY

10/21/2025

AIROOM
ARCHITECTS & BUILDERS
SINCE 1958
Airoom Architects Corp.
6825 N. Lincoln Avenue
Lincolnwood, Illinois 60712
Phone: (847) 763-1100 Fax: (847) 679-0446
Website: www.airoom.com Email: info@airoom.com

ISSUE DATES	DESCRIPTION
08/05/2025	PUBLISHED FOR ECD
08/05/2025	PUBLISHED FOR PREDRAW
09/10/2025	PUBLISHED FOR PRE-PCC
09/10/2025	PUBLISHED FOR PERMIT
	PUBLISHED FOR PERMIT REVISION #1
	PUBLISHED FOR PERMIT REVISION #2
	PUBLISHED FOR READY
	PUBLISHED FOR OKFC

THESE DRAWINGS AND THE CONSTRUCTION SPECIFICATION GUIDE ARE THE PROPRIETARY WORK PRODUCT AND PROPERTY OF AIROOM ARCHITECTS CORP. PREPARED AND DEVELOPED SOLELY FOR THE EXCLUSIVE USE OF AIROOM ARCHITECTS CORP. IN CONNECTION WITH THE SALES CONTRACT BETWEEN AIROOM ARCHITECTS CORP. AND BUYERS.

USE OF THESE PLANS AND THE CONCEPTS CONTAINED THEREIN WITHOUT THE PRIOR WRITTEN PERMISSION OF AIROOM ARCHITECTS CORP. IS PROHIBITED AND MAY SUBJECT YOU TO A CLAIM FOR DAMAGES FROM AIROOM ARCHITECTS CORP. AIROOM ARCHITECTS CORP. IS A SUBCONTRACTOR OF AIROOM LLC.

UNLESS THESE PLANS ARE APPROVED BY THE BUYERS, CONSTRUCTION CANNOT BE SCHEDULED, AND MATERIALS CANNOT BE ORDERED. THESE ARCHITECTURAL PLANS, PREPARED BY AIROOM ARCHITECTS CORP., ARE HEREBY FINALLY APPROVED AND AGREED UPON BY BOTH THE BUYERS AND AIROOM ARCHITECTS CORP. BUYER UNDERSTANDS AND ACKNOWLEDGES THAT ANY ITEM NOT INCLUDED IN THE CONTRACT SPECS OR SHOWN IN THESE PLANS IS NOT INCLUDED IN THE CONTRACT.

CERTIFICATION STATEMENT:

I hereby certify that these drawings and specifications were prepared under my direct supervision and to the best of my knowledge comply with all the current zoning and building codes and ordinances in effect at the time of application. I also certify that I am a certified and registered energy professional and that these plans comply with the State of Illinois Conservation Code (as required by State Legislation and/or the local jurisdiction Energy code in force as stated in the Building Code Information section, see sheet G1.0.

6303 BRUNSWICK DRIVE
PLAINFIELD, IL 60586
LICENSE NO: 001-018620
ARCHITECT NAME: MARK J. PELLETIER
EXPIRATION DATE: 11-30-2026

DATE SIGNED:

I/WE, THE BUYER(S), HAVE EXAMINED THE AIROOM ARCHITECTS CORP. DOCUMENTS & AIROOM ARCHITECTS CORP. CONSTRUCTION SPEC GUIDE.

I/WE, THE BUYER(S), UNDERSTAND AND AGREE TO THE TERMS, CONDITIONS AND SELECTIONS CONTAINED WITHIN THE AIROOM ARCHITECTS CORP. DOCUMENTS AND APPROVE THE CORRECTIONS NOTED.

BUYER _____ DATE _____

BUYER _____ DATE _____

AIROOM REPRESENTATIVE _____ DATE _____

PROJECT INFORMATION:

BRIGHTWELL
MARCUS & LESLIE
6303 BRUNSWICK DRIVE
PLAINFIELD, IL 60586
MARCUS - (847) 917 - 3434
MWBRIGHTWELL@GMAIL.COM

PROJECT TEAM:

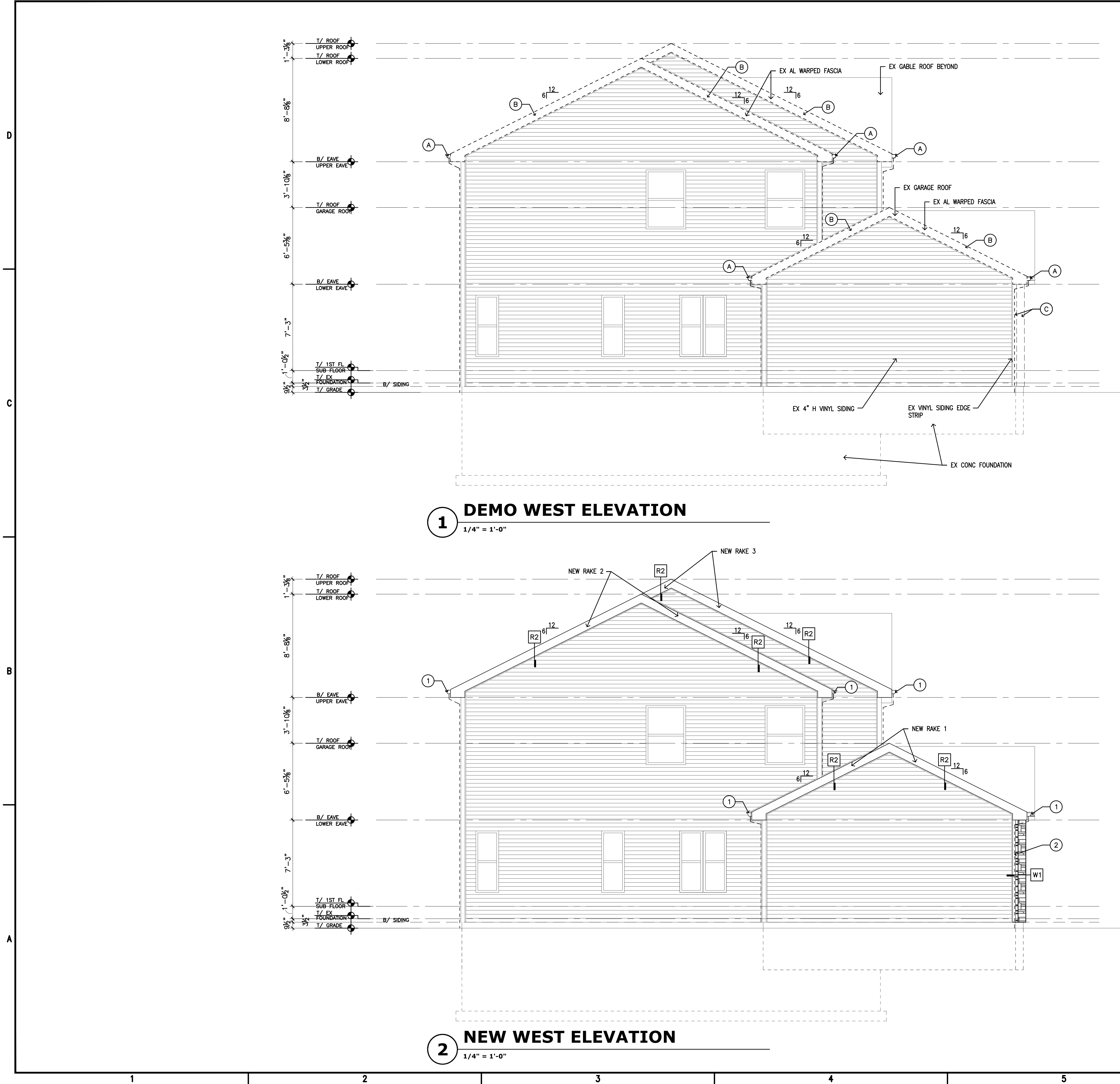
PROJECT COORDINATOR	LAURA DRATHS
PROJECT MANAGER	RICK BOLICH
PROJECT ARCHITECT	MARK PELLETIER
PROJECT DEV MANAGER	REED KEMP
ARCHITECT TEAM	INYONG LEE
PCC TEAM	NA
KITCHEN & BATH TEAM	NA
SUPERINTENDENT	NAME

PROJECT NO :
250074

SHEET TITLE :
DEMO & NEW FIRST FLOOR PLANS

A1.1
5 OF 13

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A/D REFERENCE
C96502-L73405



- DEMO NOTES
- (A) DEMO & HAUL AWAY EX GUTTER & DOWNSPOUT.
 - (B) DEMO & HAUL AWAY EX FASCIA & FASCIA WRAP DOWN TO SHEATHING.
 - (C) DEMO & HAUL AWAY EX TRIM. SAVE VINYL J-MOLD IF POSSIBLE.

- NEW NOTES
- (1) NEW GUTTER & DOWNSPOUT.
 - (2) NEW 1 X 3-1/2 HARDIE SMOOTH TRIM, FACTORY FINISHED IN 'ARCTIC WHITE'. INSTALL VINYL J-MOLD. REUSE EXISTING IF POSSIBLE - MATCH EXISTING ACAP.

LEGEND:

W# DETAIL ASSEMBLY KEY. SEE A3.0.

DEPARTMENT APPROVAL:

READY

10/21/2025

AIRROOM
ARCHITECTS & BUILDERS
— SINCE 1958 —
Airroom Architects Corp.
6825 N. Lincoln Avenue
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Phone: (847) 763-1100 Fax: (847) 679-0446
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UNLESS OTHERWISE SPECIFIED, ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND STANDARDS IN EFFECT AT THE TIME OF APPLICATION. I ALSO CERTIFY THAT I AM A CERTIFIED AND REGISTERED ENERGY PROFESSIONAL AND THAT THESE PLANS COMPLY WITH THE STATE OF ILLINOIS CONSERVATION CODE (AS REQUIRED BY STATE LEGISLATION AND/OR THE LOCAL JURISDICTION ENERGY CODE IN FORCE AS STATED IN THE BUILDING CODE INFORMATION SECTION, SEE SHEET G1.0.

CERTIFICATION STATEMENT:

I hereby certify that these drawings and specifications were prepared under my direct supervision and to the best of my knowledge comply with all the current zoning and building codes and ordinances in effect at the time of application. I also certify that I am a certified and registered energy professional and that these plans comply with the State of Illinois Conservation Code (as required by State Legislation and/or the local jurisdiction Energy code in force as stated in the Building Code Information section, see sheet G1.0.

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BUYER: _____ DATE: _____

BUYER: _____ DATE: _____

AIRROOM REPRESENTATIVE: _____ DATE: _____

PROJECT INFORMATION:

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MARCUS & LESLIE
6303 BRUNSWICK DRIVE
PLAINFIELD, IL 60586
MARCUS - (847) 917 - 3434
MWBRIGHTWELL@GMAIL.COM

PROJECT TEAM:

PROJECT COORDINATOR: LAURA DRATHS
PROJECT MANAGER: RICK BOLICH
PROJECT ARCHITECT: MARK PELLETIER
PROJECT DEV MANAGER: REED KEMP
ARCHITECT TEAM: INYONG LEE
PCC TEAM: NA
KITCHEN & BATH TEAM: NA
SUPERINTENDENT: NAME

PROJECT NO: **250074**

SHEET TITLE: **DEMO & NEW WEST ELEVATIONS**

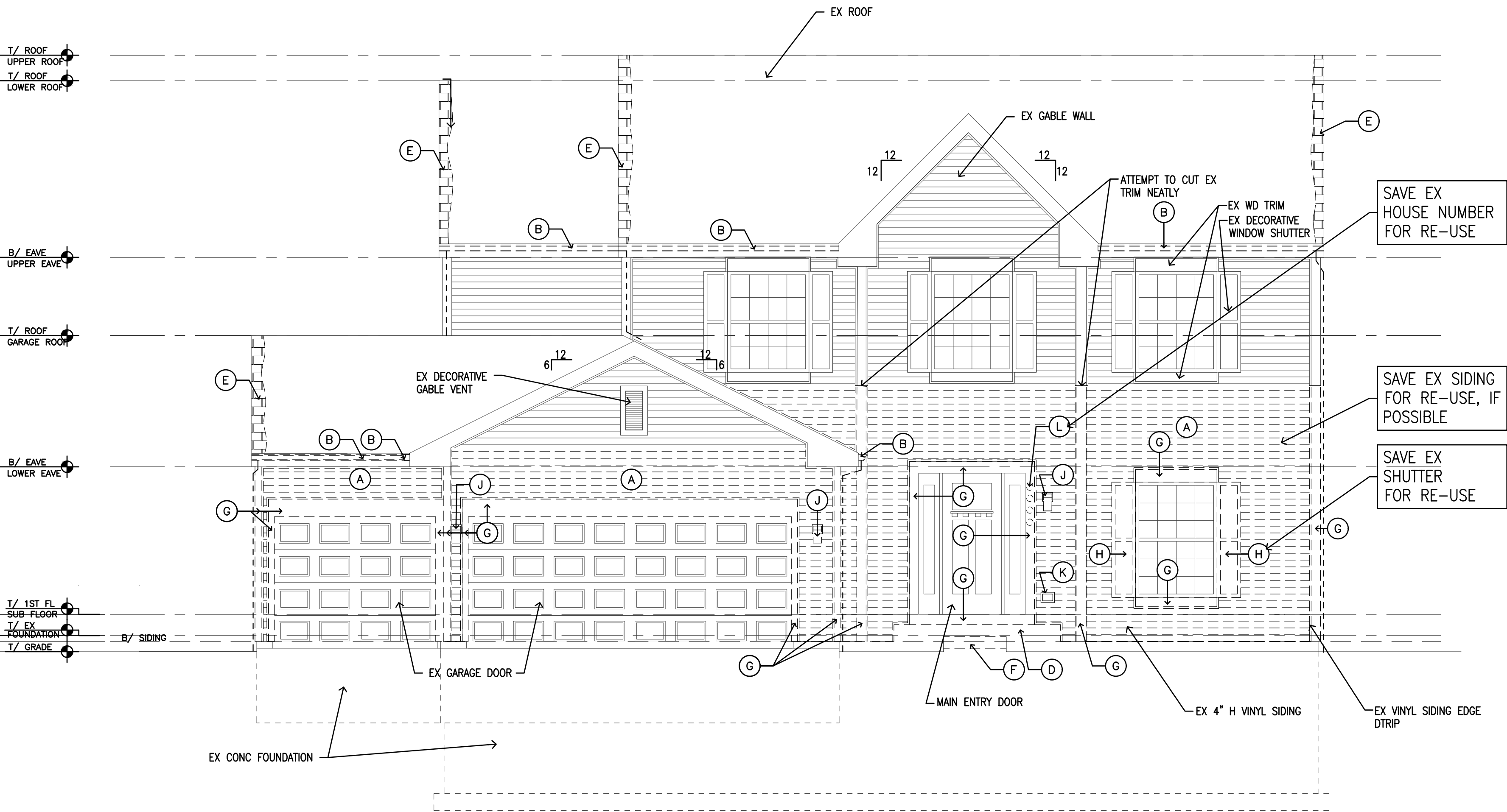
A2.0
8 OF 13

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A3D REFERENCE: C96502-L73405

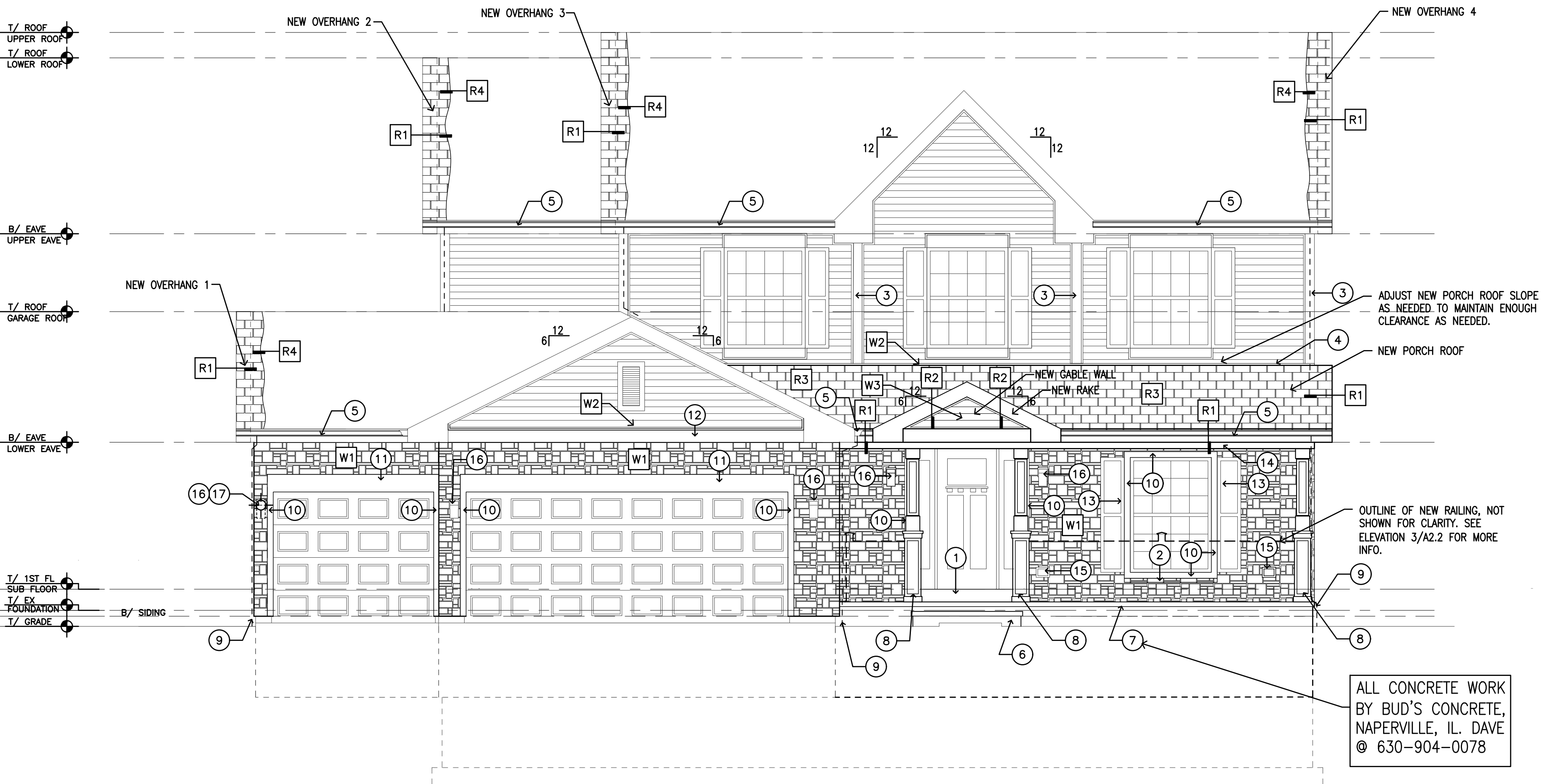
BUYER'S NOTE:

NEW VINYL SIDING MATERIAL NOTE:
AIROOM CANNOT GUARANTEE THAT NEW MATERIALS WILL BE AN EXACT MATCH TO EXISTING. ALL MATERIALS PROVIDED FROM LOCALLY STOCKED, AVAILABLE, NON-CUSTOM MATERIALS.

NEW VINYL SIDING MATERIAL NOTE:
PCC NOTE: REVIEW OPTIONS FOR STONE VENEER WITH OWNER. CULTURED STONE OR THIN SET STONE POSSIBLE. CANNOT USE REAL FULL SIZE STONE DUE TO EXISTING CONDITIONS AND REQUIRED ADDITIONAL STEEL ANGLES



1 DEMO SOUTH ELEVATIONS
1/4\"/>



2 NEW SOUTH ELEVATIONS
1/4\"/>

DEMO NOTES

- (A) UN-INSTALL EX SIDING DOWN TO SHEATHING PER ELEVATIONS. SAVE SIDINGS IF POSSIBLE FOR PATCH WORK.
- (B) DEMO & HAUL AWAY EX GUTTER & DOWNSPOUT.
- (C) NOT USED.
- (D) DEMO & HAUL AWAY EX CONC STOOP AS NEEDED.
- (E) DEMO & HAUL AWAY EX ASPHALT SHINGLE DOWN TO SHEATHING AS NEEDED FOR NEW RAKE.
- (F) DEMO & HAUL AWAY EX CONC STEP.
- (G) DEMO & HAUL AWAY EX TRIM.
- (H) UN-INSTALL EX DECORATIVE WINDOW SHUTTERS AND SAVE FOR POTENTIAL RE-USE.
- (J) DEMO & HAUL AWAY EX LIGHTING. EX LIGHT OPENINGS TO BE MODIFIED PER E1 DWG.
- (K) UN-INSTALL EX OUTLET & DISCARD. EX OUTLET OPENING TO BE MODIFIED PER E1 DWG.
- (L) UN-INSTALL AND SAVE EXISTING HOUSE NUMBERS FOR POTENTIAL RE-USE.

NEW NOTES

- 1 6\"/>
- 2 SPECIFIED STONE WINDOW SILL.
- 3 PROVIDE NEW TRIM IF EX CANNOT BE SAVED
- 4 PATCH EX VINYL SIDING W/ 1\"/>
- 5 NEW GUTTER & DOWNSPOUT.
- 6 NEW STAMPED W/ STAINED BORDER & CUT STONE FORM LINER AT FACE CONC SLAB PER PER SECTION A3.0 & S1 DWG.
- 7 NEW STAMPED W/ STAINED BORDER & CUT STONE FORM LINER AT FACE CONC SLAB PER PER SECTION A3.0 & S1 DWG.
- 8 6 X 6 TREATED PORCH COLUMN W/ PRE-FABRICATED COVER.
- 9 NEW DOWN SPOUT. LINK TO EX UNDERGROUND PIPE IF EXIST. OTHERWISE RELEASE RAIN WATER ONTO GROUND.
- 10 HARDIE 1 X 3-1/2 SMOOTH TRIM, FACTORY PAINTED 'ARCTIC WHITE'.
- 11 HARDIE 1 X 7-1/4 SMOOTH TRIM, FACTORY PAINTED 'ARCTIC WHITE'.
- 12 HARDIE 1 X 7-1/4 SMOOTH TRIM, FACTORY PAINTED 'ARCTIC WHITE' W/ ALUM DRIP CAP.
- 13 RE-INSTALL SAVED DECORATIVE WINDOW SHUTTER AS NEEDED. VERIFY WITH BUYER BEFORE RE-INSTALLING
- 14 1X HARDIE BD CADDIED BEAM.
- 15 NEW ELEC OUTLET PER E1 DWG.
- 16 INSTALL NEW LIGHTING FIXTURES PER E1 DWG.
- 17 NEW ELECTRICAL OPENING FOR ADDITIONAL COACH LIGHT.

LEGEND:

W# DETAIL ASSEMBLY KEY. SEE A3.0.

DEPARTMENT APPROVAL:

READY

10/21/2025

AIROOM
ARCHITECTS & BUILDERS
SINCE 1958

Airoom Architects Corp.
6825 N. Lincoln Avenue
Lincolnwood, Illinois 60712
Phone: (847) 763-1100 Fax: (847) 679-0446
Website: www.airoom.com Email: info@airoom.com

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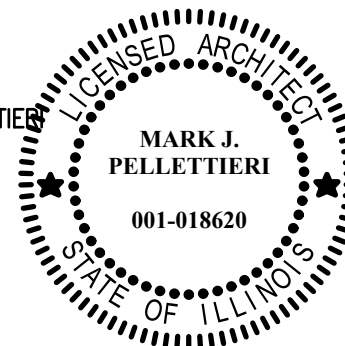
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6303 BRUNSWICK DRIVE
PLAINFIELD, IL 60586
LICENSE NO: 001-018620
ARCHITECT NAME: MARK J. PELLETIER
EXPIRATION DATE: 11-30-2026



DATE SIGNED:

I/WE, THE BUYER(S), HAVE EXAMINED THE AIROOM ARCHITECTS CORP. DOCUMENTS & AIROOM ARCHITECTS CORP. CONSTRUCTION SPEC GUIDE.

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BUYER	DATE
BUYER	DATE
AIROOM REPRESENTATIVE	DATE

PROJECT INFORMATION:
BRIGHTWELL
MARCUS & LESLIE
6303 BRUNSWICK DRIVE
PLAINFIELD, IL 60586
MARCUS - (847) 917 - 3434
MWBRIGHTWELL@GMAIL.COM

PROJECT TEAM:	
PROJECT COORDINATOR	LAURA DRATHS
PROJECT MANAGER	RICK BOLICH
PROJECT ARCHITECT	MARK PELLETIER
PROJECT DEV MANAGER	REED KEMP
ARCHITECT TEAM:	INYONG LEE
PCC TEAM	NA
KITCHEN & BATH TEAM	NA
SUPERVISOR	NAME

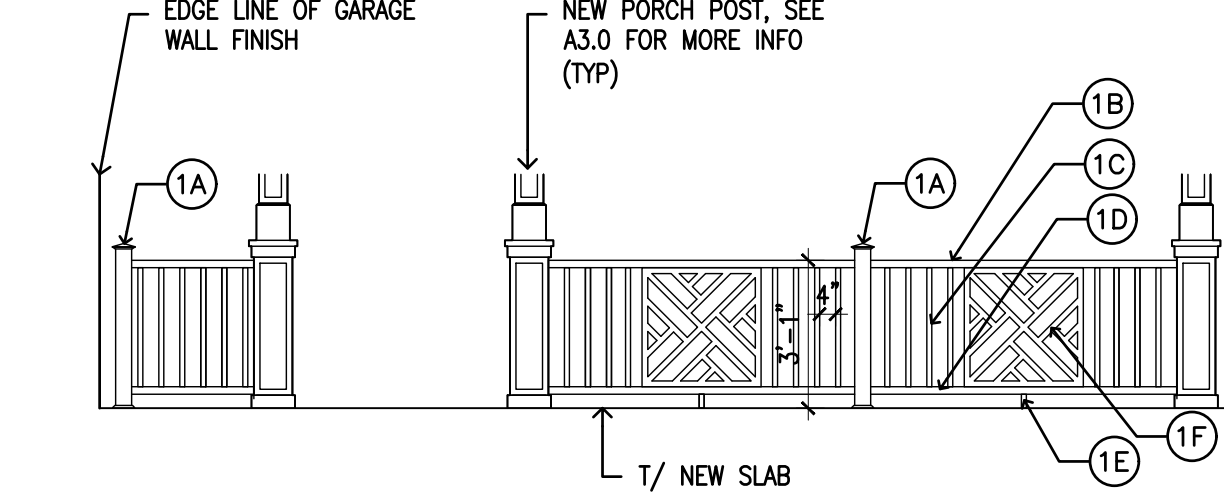
PROJECT NO : 250074	
SHEET TITLE : DEMO & NEW SOUTH ELEVATIONS	
© 2025 AIROOM ARCHITECTS CORP. 08/01/2025 A/D REFERENCE C96502-L73405	A2.1 9 OF 13

BUYER'S NOTE:

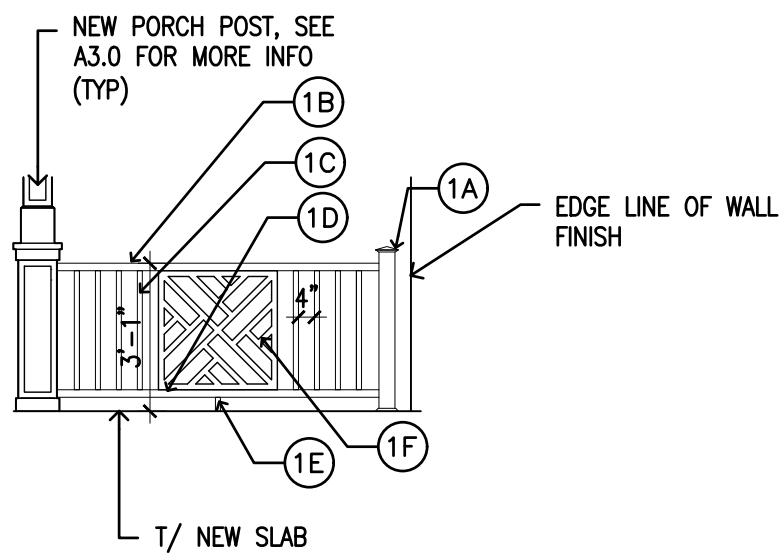
RAILING NOTE:
OWNER NOTE: SOME TIMBER TECH PRODUCTS MAY NOT BE AVAILABLE AT THE TIME OF INSTALLATION DUE TO CHANGES BY THE MANUFACTURE IN THE PRODUCT LINE. IN THIS CASE COMPARABLE AND EQUAL PRODUCT WILL BE SPECIFIED. ANY PRODUCTS SPECIFIED BY AIRROOM WILL BE REVIEWED WITH THE OWNER FOR APPROVAL PRIOR TO ORDERING.

X_____X

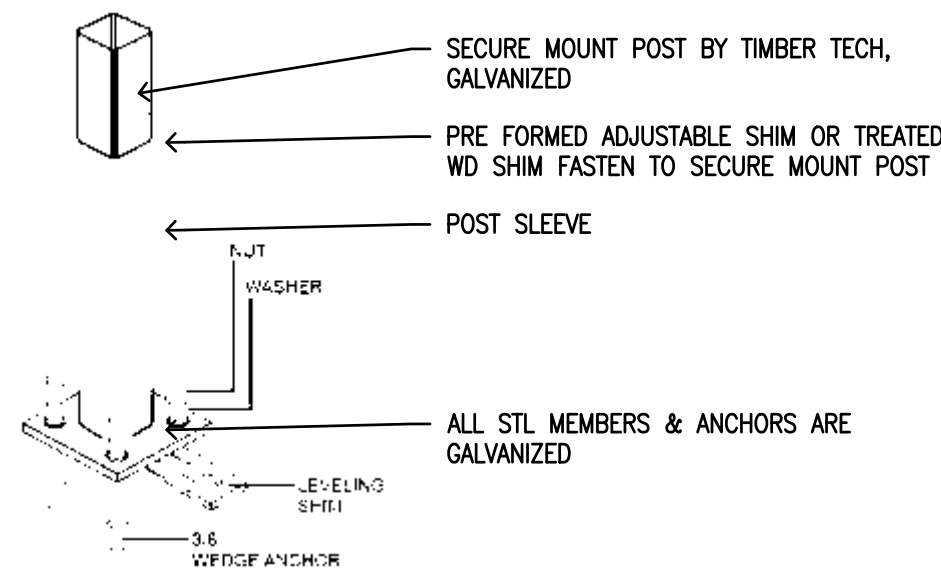
- LIST OF RAIL PART
- ① GUARD POST, RAILING, DECK, STAIR & ACCESSORIES.
1A) GUARD POST SLEEVES, CAP & BASE SKIRT RING: TIMBERTECH PVC PINNACLE WHITE W/ SECURE MOUNT POST ANCHORED TO CONC SLAB. SEE BELOW DETAIL 5 FOR ANCHORING.
1B) TOP RAIL: TIMBERTECH PVC PINNACLE TOP RAIL, WHITE
1C) BOTTOM RAIL: TIMBERTECH PVC PINNACLE BOTTOM RAIL, WHITE
1D) BALUSTRADE: TIMBERTECH PVC PINNACLE COMPOSITE SQUARE BALUSTERS, WHITE
1E) INTERMEDIATE SUPPORT: TIMBERTECH PVC PINNACLE RAIL, WHITE
1F) DECORATIVE PANEL: CHIPPENDALE TYPE 1 DECORATIVE PANEL 36"



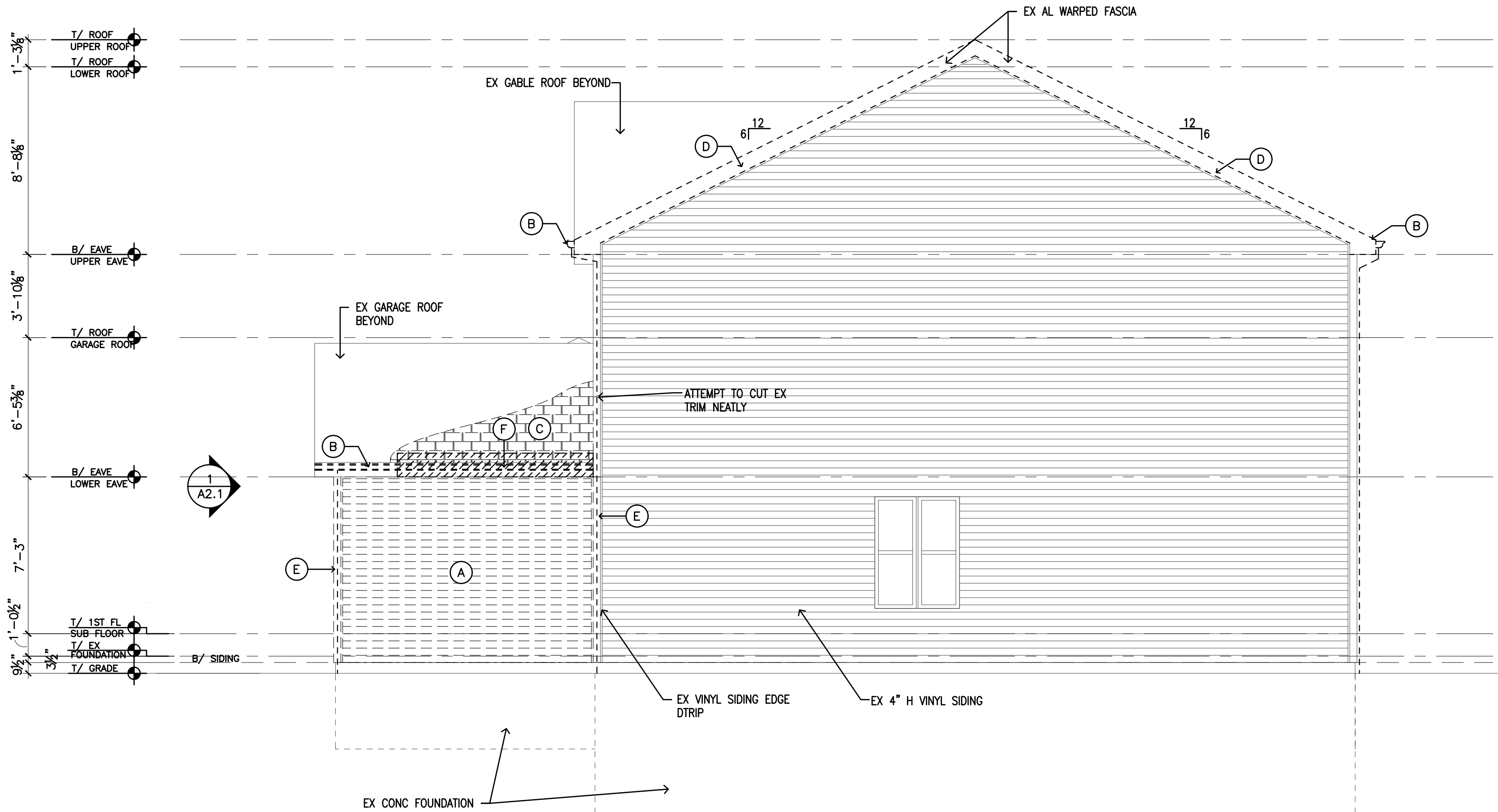
3 NEW RAILING ELEV @ SOUTH
1/4" = 1'-0"



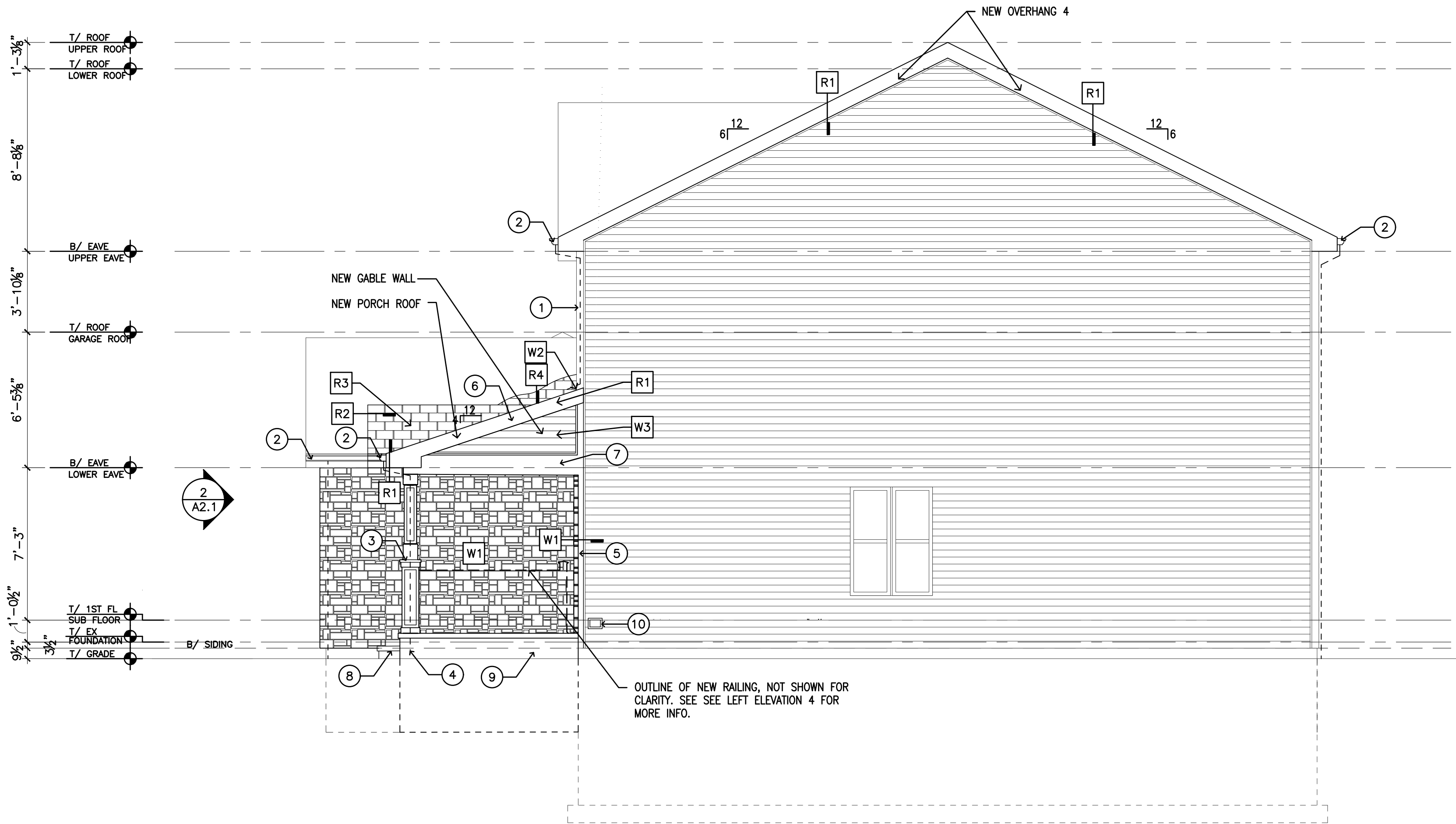
4 NEW RAILING ELEV @ EAST
1/4" = 1'-0"



5 SECURE MOUNT POST DETAIL
NTS



1 DEMO EAST ELEVATION
1/4" = 1'-0"



2 NEW EAST ELEVATION
1/4" = 1'-0"

- DEMO NOTES
- ① UN-INSTALL EX SIDING DOWN TO SHEATHING PER ELEVATION. SAVE SIDINGS IF POSSIBLE FOR PATCH WORK.
② DEMO & HAUL AWAY EX GUTTER & DOWNSPOUT.
③ DEMO & HAUL AWAY EX ASPHALT SHINGLES DOWN TO EX SHEATHING AS NEEDED.
④ DEMO & HAUL AWAY EX FASCIA & FASCIA WRAP DOWN TO SHEATHING.
⑤ DEMO & HAUL AWAY EX TRIM. SAVE VINYL J-MOLD IF POSSIBLE FOR REUSE.
⑥ DEMO & HAUL AWAY EX OVERHANG AS NEEDED.

LEGEND:

W# DETAIL ASSEMBLY KEY. SEE A3.0.

DEPARTMENT APPROVAL:

READY

10/21/2025

AIRROOM
ARCHITECTS & BUILDERS
SINCE 1958
Airroom Architects Corp.
6825 N. Lincoln Avenue
Lincolnwood, Illinois 60712
Phone: (847) 763-1100 Fax: (847) 679-0446
Website: www.airroom.com Email: info@airroom.com

ISSUE DATES	DESCRIPTION
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PCC TEAM: NA
KITCHEN & BATH TEAM: NA
SUPERINTENDENT: NAME

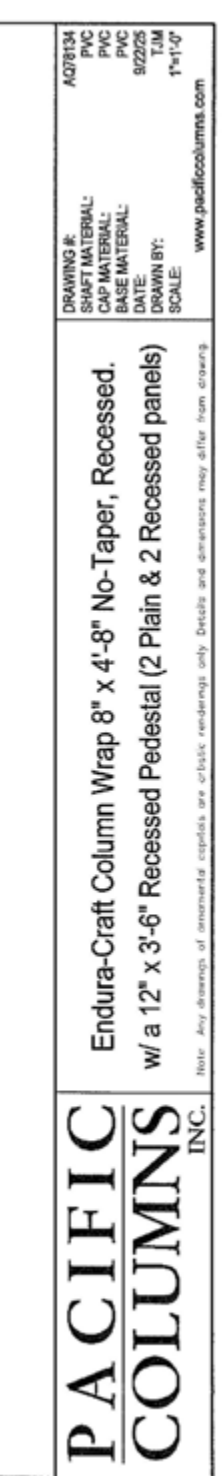
PROJECT NO :

250074

SHEET TITLE :
DEMO & NEW EAST ELEVATIONS

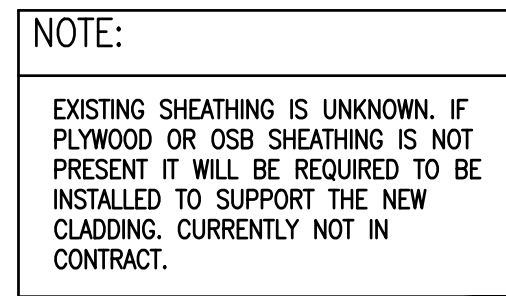
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A/D REFERENCE
C96502-L73405

A2.2
10 OF 13



2 PORCH POST COVER

NEW BUILDING SECTION N-S LOOKING WEST



DETAIL KEYS

- R3** ROOF OVERLAP NOTES:

 - INSTALL OVERLAP TO MATCH EXISTING. SEE SECTIONS ON A3.0. ALIGN TO EX & MATCH EX ACAP.
 - ALUMINUM DRIP EDGE & GUTTER APRON.
 - ALSIDE 5" WHITE ALUMINUM GUTTER & DOWNSPOUTS ONTO OPEN SPLASH. SEE ROOF PLAN A1.1 FOR LOCATIONS.
 - 1X8 PINE FASCIA WRAPPED W/ AL FLASHING WRAP MATCH TO EX ACAP.
 - HARDIE CONTINUOUS VENTING SOFFIT SMOOTH.

R2 ROOF RAKE @ FRONT OF MAIN ENTRANCED NOTES:

 - 10 1/2" OVERALL PROJECTED RAKE.
 - 2X4 LADDER FRAME W/ 1/2" CDX PLYWOOD SHEATHING ON TOP & 1X8 PINE FASCIA BD WRAPPED W/ AL FLASHING WRAP MATCH TO EX ACAP.
 - ALUMINUM DRIP EDGE.
 - HARDIE NON VENTED SOFFIT SMOOTH.

R3 ASPHALT SHINGLE SLOPED NEW ROOF NOTES:

 - INSTALL ASPHALT SHINGLES, ATLAS PINNACLE PRISTINE WITH SCOTCHGARD. EXISTING COLOR IS "HICKORY" FROM 2017. ROOFER TO VERIFY NEW SELECTION/ PRODUCT WITH EX SHINGLES AND BUYER. MATCH TO EX ACAP.
 - 30LB FELLS.
 - ICE & WATER SHIELD AT PERIMETER, OVERHANGS, VALLEYS & OTHER REQUIRED AREAS.
 - ALUMINUM FLASHING WHERE REQUIRED.
 - 1/2" CDX PLYWOOD SHEATHING.
 - ROOF FRAMING PER FRAMING PLAN ON S1.
 - CEILING PANEL PER SECTION A3.0.

R4 ASPHALT SHINGLE ON SLOPED EX ROOF NOTES:

 - SEE ABOVE R3 FOR ASPHALT SHINGLE INFO.
 - 30LB FELLS.
 - ICE & WATER SHIELD AT PERIMETER, OVERHANGS, VALLEYS & OTHER REQUIRED AREAS.
 - ALUMINUM FLASHING (COLOR TBD) WHERE REQD.
 - REPAIRING DAMAGED EX ROOF PART INCLUDING SHEATHING IS NOT IN CONTRACT.

W1 CULTURED STONE CLADDING NOTES:

 - INSTALL SELECTED CULTURED STONE WOLF CREEK BY BRICKWORKS DESIGN STUDIO PER MANUFACTURER'S RECOMMENDATIONS.
 - MORTAR SETTING BED ON MORTAR SCRATCH COAT W/ METAL LATH.
 - RAIN SCREEN MAT AS REQUIRED BY MANUFACTURER.
 - (2) LAYERS OF HOUSE WRAP
 - EX EXTERIOR SHEATHING.
 - SELECTED SMOOTH WINDOW SILL COMPATIBLE TO THE SELECTED CULTURED STONE W/ SUPPORT ANGLE AS REQUIRED BY THE MANUFACTURER.
 - LIMESTONE SILL AT ENTRY DOOR PER A2.2 DWG.
 - WEEP SCREED AT BOTTOM OF CLADDING AS REQUIRED.
 - WEEP SCREED AT BOTTOM OF WINDOW HEAD AS REQUIRED.
 - SEAL TRANSITIONS, CORNERS & OTHER REQUIRED AREA W/ EXTERIOR GRADE SEALANT.
 - HARDIE ARCTIC WHITE SMOOTH 1X1 TRIMS FACTORY PAINTED.

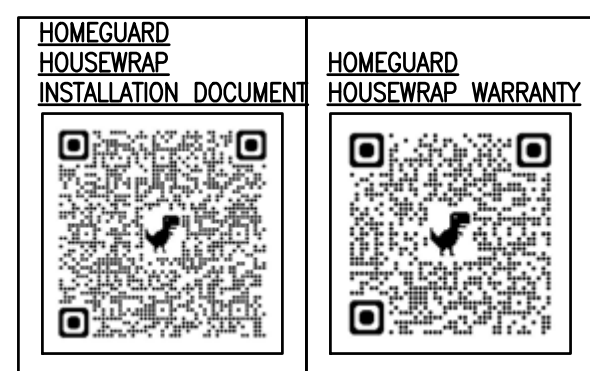
W2 EXTERIOR VINYL WALL SIDING PATCH NOTES:

 - ATTEMPT TO USE EX UN-INSTALLED AND SAVED SIDING & EDGE STRIP IF POSSIBLE, OTHERWISE PROVIDE NEW SIDING & EDGE STRIP. ATTEMPT TO MATCH TO EX ACAP.
 - HOME GUARD PREMIUM HOUSE WRAP W/ 3" RED TAPE @ ALL SEAMS.
 - EX PLYWOOD SHEATHING. AROOM IS NOT RESPONSIBLE TO CONDITION OF EX SHEATHING.
 - FLASHING AT TOP OF NEW PORCH ROOF
 - HARDIE ARCTIC WHITE SMOOTH 1X8 EAVE BAND FACTORY PAINTED.
 - ALUMINUM DRIP CAP @ EAVE BAND.

W3 EXTERIOR VINYL WALL SIDING CLABE WALL NOTES:

 - ATTEMPT TO USE EX UN-INSTALLED AND SAVED SIDING & EDGE STRIP IF POSSIBLE, OTHERWISE PROVIDE NEW SIDING & EDGE STRIP. ATTEMPT TO MATCH TO EX ACAP.
 - HOME GUARD PREMIUM HOUSE WRAP W/ 3" RED TAPE @ ALL SEAMS.
 - 1/2" PLYWOOD SHEATHING.
 - 2X4 @ 16" OC KNEE WALL WITH OR WITHOUT RIPPED 2X FURRING PER S1 DWG.
 - HARDIE ARCTIC WHITE SMOOTH 1X8 EAVE BAND & 1X TRIMS FACTORY PAINTED.
 - ALUMINUM DRIP CAP @ EAVE BAND.

ALL CONCRETE WORK
BY BUD'S CONCRETE,
NAPERVILLE, IL. DAVE
@ 630-904-0078



DEPARTMENT APPROVAL:

READY

10/21/2025

AIRROOM 
ARCHITECTS & BUILDERS

SINCE 1958

Airoom Architects Corp.
6825 N. Lincoln Avenue
Lincolnwood, Illinois 60712
Phone: (847) 763-1100 Fax: (847) 679-0446
Website: www.airoom.com Email: info@airoom.com

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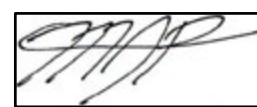
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ARCHITECT TEAM:	JINYONG LEE
POC TEAM:	NA
KITCHEN & BATH TEAM:	NA
SUPERINTENDENT:	NAME

PROJECT NO :

SHEET TITLE : **BUILDING
SECTION, DETAIL
KEYS & QRC**

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 AFD REFERENCE
C96502-L73405

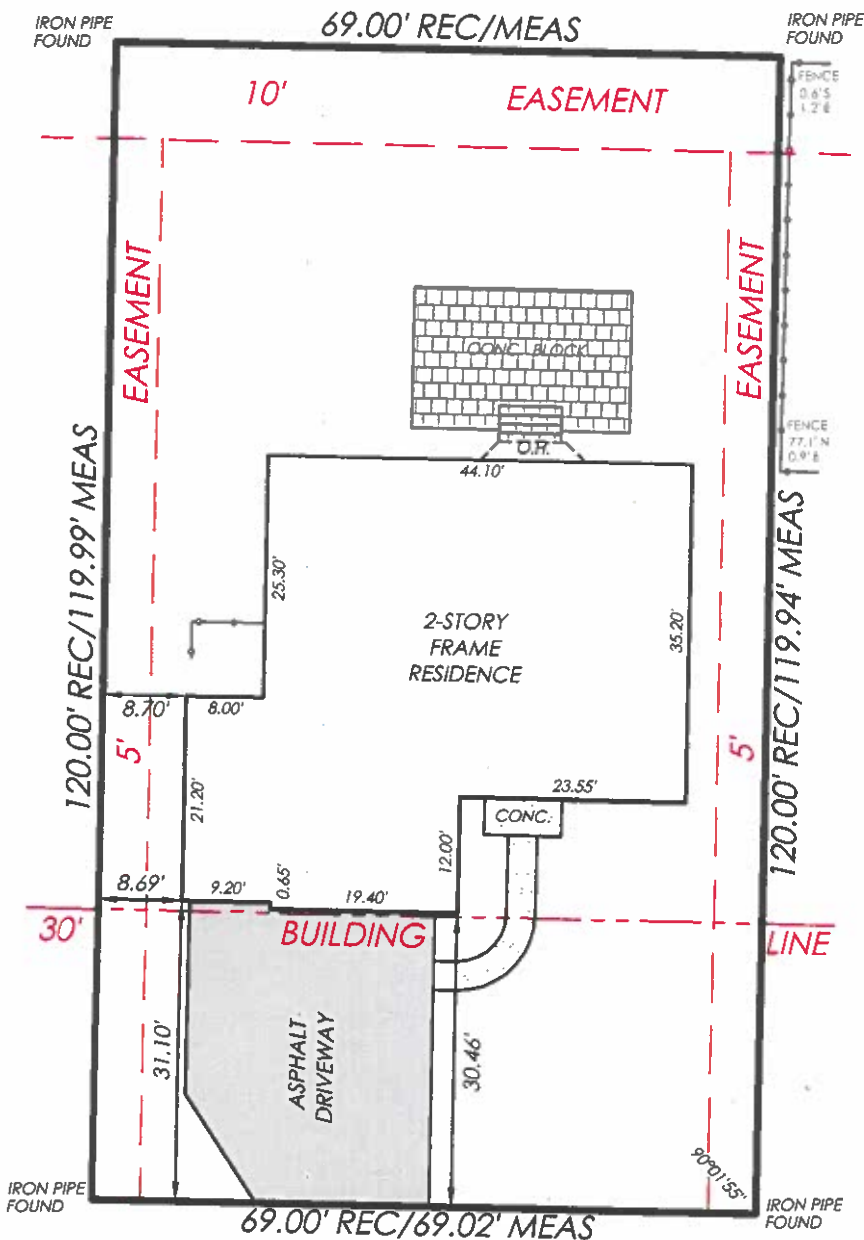


PLAT OF SURVEY

E

18148 S. MARTIN AVE. HOMEWOOD, IL 60430 708-1-SURVEY (478-7839) 708-478-4076 FAX

LOT 116 IN PHEASANT RIDGE UNIT 2, BEING A SUBDIVISION OF PART OF THE SOUTH HALF OF THE NORTHWEST QUARTER OF SECTION 32, TOWNSHIP 36 NORTH, RANGE 9 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JANUARY 18, 2002 AS DOCUMENT NO. R2002-10613, IN WILL COUNTY, ILLINOIS.



BRUNSWICK DRIVE

LOT AREA:
8,279.9 SQ. FT.
0.19 ACRES

☐ AS PER CLIENT/AGENT, MONUMENTS NOT RECOVERED AT THE TIME OF THIS SURVEY WERE NOT RESET.

STATE OF ILLINOIS)
B.S.
COUNTY OF COOK)

STATE OF ILLINOIS REG. # 184-002702

ON BEHALF OF STREAMLINE SURVEY, INC., I HEREBY CERTIFY THAT THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.

STREAMLINE SURVEY, INC.

BY: REGISTERED ILLINOIS LAND SURVEYOR

DATED: 10-20-15

DATE OF
LICENCE
EXPIRATION: NOVEMBER 30, 2016

DATE OF
FIELD WORK
COMPLETION: OCTOBER 20, 2015

REVIEW YOUR DESCRIPTION AND PHYSICAL EVIDENCE WITH THIS PLAT AND REPORT ANY DIFFERENCES YOU MAY FIND.

ALL DISTANCES AS SHOWN ARE IN FEET AND DECIMAL PARTS THEREOF. NO ANGLES OR DISTANCES ARE TO BE DETERMINED BY SCALING.

SCALE: 1"=20'

JOB NO.: 15-1675

ADDRESS: 6303 BRUNSWICK DR.

PLAINFIELD, IL

P.I.N.: 03-32-105-067

TOWNSHIP: PLAINFIELD

ORDERED BY: JAMES FLANAGAN



S



FOR OFFICE USE ONLY

Verified by Planner (please initial): _____

Payment received from: _____

Petition #: _____

Common Address: _____

Date filed: _____

Meeting date assigned: _____

ZONING BOARD OF APPEALS

JOLIET, ILLINOIS

PETITION FOR VARIATION/APPEAL

City of Joliet Planning Division, 150 W. Jefferson St., Joliet, IL 60432
Ph (815)724-4050 Fax (815)724-4056

ADDRESS FOR WHICH VARIATION IS REQUESTED: 6303 BRUNSWICK DRIVE

PETITIONER'S NAME: AIROOM LLC C/O MARK PELLETTIERI, ARCHITECT

HOME ADDRESS: _____ ZIP CODE: _____

BUSINESS ADDRESS: 6825 N LINCOLN AVE, LINCOLNWOOD, IL ZIP CODE: 60712

PHONE: (Primary) [REDACTED] (Secondary) [REDACTED]

EMAIL ADDRESS: [REDACTED] FAX: _____

PROPERTY INTEREST OF PETITIONER: OWNER'S REPRESENTATIVE / ARCHITECT

OWNER OF PROPERTY: MARCUS W BRIGHTWELL & DEVERA LESLIE A

HOME ADDRESS: 6303 BRUNSWICK DRIVE, PLAINFIELD IL ZIP CODE: 60586

BUSINESS ADDRESS: _____ ZIP CODE: _____

EMAIL ADDRESS: [REDACTED] [REDACTED]

Any use requiring a business license shall concurrently apply for a business license and submit a copy with this petition. Additionally, if this request is for operation of a business, please provide the following information:

BUSINESS REFERENCES (*name, address, phone or email*):

OTHER PROJECTS AND/OR DEVELOPMENTS:

PERMANENT INDEX NUMBER (TAX NO. OR P. I. N.): 06-03-32-105-067-0000;
_____;

Property Index Number/P.I.N. can be found on tax bill or Will County Supervisor of Assessments website

LEGAL DESCRIPTION OF PROPERTY (an attached copy preferred):

SEE ATTACHED SURVEY

LOT SIZE: WIDTH: 69.00 DEPTH: 120.00 AREA: 8279.9

PRESENT USE(S) OF PROPERTY: RESIDENTIAL

PRESENT ZONING OF PROPERTY: R2

VARIATION/APPEAL REQUESTED: PROPOSED FRONT PORCH SETBACK REDUCE
TO 8'-0" FROM REQUIRED 12' ON EAST SIDE PROPERTY LINE

RESPONSE TO VARIATION CRITERIA

The Zoning Board of Appeals is authorized to grant or recommend relief only when it has received adequate evidence to establish a practical difficulty or hardship. The evidence must support each of the following three conditions:

- (a) The property in question cannot yield a reasonable return by use permitted and subject to the conditions allowed by the regulations in the particular district or zone.
- (b) The plight of the owner is due to unique circumstances.
- (c) The variation, if granted, will not alter the essential character of the locality.

Please describe how this request meets the criteria by responding to the following questions in your own words.

1. How do the applicable zoning regulations prevent the property in question from yielding a reasonable return?

THE EXISTING HOUSE TOTAL COMBINED SIDE YARD IS NON-CONFORMING TO CURRENT ZONING
MOST OF THE HOMES IN THIS SUBDIVISION WITH FRONT PORCHES ARE THE SAME WIDTH AS THE SIDE
OF THE HOUSE. WE ARE ASKING THE PROPOSED FRONT PORCH TO ALIGN WITH THE EXISTING
EAST SIDE OF THE HOUSE SO THAT IT IS CONSISTENT WITH THE NEIGHBORHOOD.

2. *What unique circumstances exist which mandate a variance?*

EXISTING HOMES IN THIS SUBDIVISION HAVE NON CONFORMING COMBINED SIDE YARDS.
REQUIRED COMBINED SIDE YARD IS 20' BUT EXISTING IS APPROXIMATELY 16'. THE FRONT PORCH
WILL NOT BE ATTRACTIVE OR CONSISTANT WITH PORCHES IN THE SUBDIVISION IF IT WAS TO MEET THE
CURRENT COMBINED SETBACK OF 20' WHICH WOULD OFFSET THE PORCH 4' FROM THE CORNER OF THE HOUSE.

3. *What impact would the granting of this variance have upon the essential character of the general area? Please include both positive and negative impacts.*

THERE WOULD BE NO IMPACT UPON THE CHARACTER OF THE GENERAL AREA.
KEEPING THE PORCH IN LINE WITH THE EXISTING HOUSE ON EAST SIDE WILL BE IN KEEPING WITH
ALL OTHER HOMES WITH PORCHES.

REQUIRED SUPPORTING ATTACHMENTS

- ☐ Site plan / concept plan / floor plan / building elevation plan
- ☐ Joliet Ownership Disclosure form
- ☐ Business license application (if applicable)

NOTARIZATION OF PETITION

STATE OF ILLINOIS) ss
COUNTY OF WILL)

I, [REDACTED], depose and say that the above statements are true and correct to the best of
my knowledge to be present in person or by representation when this petition is heard before
the Zoning Board of Appeals.

MARK PELLETTIERI, ARCHITECT

Subscribed and sworn to before me
this 10th day of November, 2025



15B9988E7BF541B...

CITY OF JOLIET OWNERSHIP DISCLOSURE FORM

The City of Joliet requires that applicants for zoning relief, subdivision approval, building permits and business licenses disclose the identity of all persons having an ownership interest in the business and the real property associated with the application. A copy of this form must be completed and submitted with other application materials. Failure to properly complete and submit this form may result in the denial of the application.

I. INFORMATION ABOUT THE APPLICATION

This form is submitted as part of an application for the following (check all that apply):

- ☒ **Rezoning, Special Use Permit, Variation, or Other Zoning Relief** (Complete Sections II and III)
- ☐ **Preliminary Plat, Final Plat, or Record Plat of Subdivision** (Complete Sections II and III)
- ☐ **Building Permit** (Complete Sections II and III)
- ☐ **Business License** (Complete All Sections)

II. INFORMATION ABOUT THE PROPERTY

The address and PIN(s) of the real property associated with this application are:

MARCUS W BRIGHTWELL & DEVERA LESLIE A

PIN(s): 06-03-32-105-067-0000

III. PROPERTY OWNERSHIP

Select the type of owner of the real property associated with this application and fill in the appropriate contact information below:

- | | | |
|-------------------------------------|------------------------------------|--|
| <input checked="" type="checkbox"/> | Individual: | State the names, addresses, and phone #'s of the individual owner(s) |
| <input type="checkbox"/> | Corporation: | State the names, addresses, and phone #'s of all persons holding 3% or more of the stock of the corporation and the percentage of shares held by such stockholders |
| <input type="checkbox"/> | Limited Liability Company: | State the names, addresses, and phone #'s of all members of the company along with the percentage of ownership held by each member |
| <input type="checkbox"/> | Land Trust: | State the names, addresses, and phone #'s of the trustee(s) and all beneficiaries |
| <input type="checkbox"/> | Partnership: | State the names, addresses, and phone #'s of all partners |
| <input type="checkbox"/> | Other type of organization: | State the names, addresses, and phone #'s of all persons having a legal or equitable ownership interest in the organization or the right to direct the affairs of the organization |

FAX: _____

IV. BUSINESS OWNERSHIP

If the owner of the business is different than the owner of the real property associated with the application, then the following information must be provided:

Select the type of business owner associated with this application and fill in the contact information below:

- | | |
|---|--|
| <input type="checkbox"/> Individual: | State the names, addresses, and phone #'s of the individual owner(s) |
| <input type="checkbox"/> Corporation: | State the names, addresses, and phone #'s of all persons holding 3% or more of the stock of the corporation and the percentage of shares held by such stockholders |
| <input type="checkbox"/> Limited Liability Company: | State the names, addresses, and phone #'s of all members of the company along with the percentage of ownership held by each member |
| <input type="checkbox"/> Partnership: | State the names, addresses, and phone #'s of all partners |
| <input type="checkbox"/> Other type of organization: | State the names, addresses, and phone #'s of all persons having a legal or equitable ownership interest in the organization |

E-MAIL: _____ **FAX:** _____

NOTE:

If a stockholder, member, beneficiary or partner disclosed in Section III or Section IV is not an individual, then the individuals holding the legal or equitable title to the real property or business associated with the application must also be disclosed. For example, if the real property associated with an application is owned by a land trust, and the beneficiary of the land trust is a limited liability company, then the members of the limited liability company must be disclosed. If one of the members of the limited liability company is a partnership, then the identity of the partners must be disclosed. If one of the partners is a corporation, then all persons owning 3% or more of the issued stock must be disclosed.

SIGNED: _____

DATE: 11/10/2025 _____

Name, Title, and Telephone Numbers of Person Completing and Submitting This Form:

MARK PELLETTIERI, _____

PRINT

ZONING BOARD OF APPEALS

CRITERIA FOR VARIATIONS

Section 47-19.8 of the Zoning Ordinance states:

A variation shall not be granted in any case unless the Board shall find and clearly state in its record of the case that:

	Does the evidence presented sustain this criteria?	Comments
<p>(1) Reasons sustaining the contention that strict enforcement of the Ordinance would involve practical difficulties or impose exceptional hardship were found as follows:</p> <p>(a) _____</p> <p>(b) _____</p> <p>(c) _____</p> <p>(list of reasons)</p>		
<p>(2) Adequate evidence was submitted to establish practical difficulties or particular hardship so that, in the judgment of the Board, a variation is permitted because the evidence sustained the existence of each of the three following conditions:</p> <p style="padding-left: 40px;">(a) The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in the particular district or zone.</p> <p style="padding-left: 40px;">(b) The plight of the owner is due to unique circumstances.</p> <p style="padding-left: 40px;">(c) The variation, if granted, will not alter the essential character of the locality.</p>		
<p>(3) A public hearing was held on such variation of which at least 15 days and not more than 30 days notice was published in the _____ (name of newspaper) on _____ (date).</p>		



City of Joliet

150 West Jefferson Street
Joliet, IL 60432

Memo

File #: TMP-9241

Agenda Date:12/18/2025

STAFF REPORT

DATE: December 10, 2025
TO: Zoning Board of Appeals
FROM: Francisco Jimenez, Planner
RE: Petition Number: 2025-60
Applicant / Owner: Jose Luis Andrade
Location: 424 W. Washington St (Council District #5)
Request: A series of Variations to allow a rear yard covered patio.

Purpose

The applicant is requesting a series of Variations to allow a rear yard covered patio at the property located at 424 W. Washington Street. The Zoning Board of Appeals makes the final decision in this matter.

Requested variations from the Zoning Board of Appeals include:

- A variation to reduce the rear yard setback requirement from 25' to 4'.
- A variation from required lot coverage from 30% to 62%.

Site Specific Information

The subject property is approximately 3,300 square feet in size and is zoned R-2 (Single-family Residential). The property contains a two-story single-family house built in 1913, along with a small, attached garage.

Surrounding Zoning, Land Use and Character

Properties in this vicinity are zoned as follows:

- North – R-2 (Single-Family Residential)
- East, South, and West – R-3 (One and Two Family Residential)

Applicable Regulations

- Section 47-19.8 Finding of Facts Supporting Variation
- Section 47-6.4 Yard and Lot Requirements

Discussion

The applicant, who is the property owner, is seeking a variation to exceed the allowed lot coverage and to encroach into the required rear yard setback for an attached rear yard covered patio. The allowed lot coverage is not to exceed 30% in residential districts and the required rear yard setback is 25' for primary structures. The proposed lot coverage

would be 62% and the setback would be 4' from the property line. The rear yard covered patio was previously built without a permit, and the applicant was told that their only recourse to retain the covered patio structure was to receive approval of a variance.

The subject property and adjacent lots have been non-conforming lots since their inception. The current dimensions are 52' of frontage and a 63' lot depth, which totals 3,300 square feet. The current standards for a conforming R-2 lot is a 60' lot width and a minimum of 125' in lot depth that would create a minimum lot size of 7,500 square feet. Due to the non-conformity, any rear yard accessory structure (attached or detached) would require the property owner to request relief from the City of Joliet zoning ordinance.

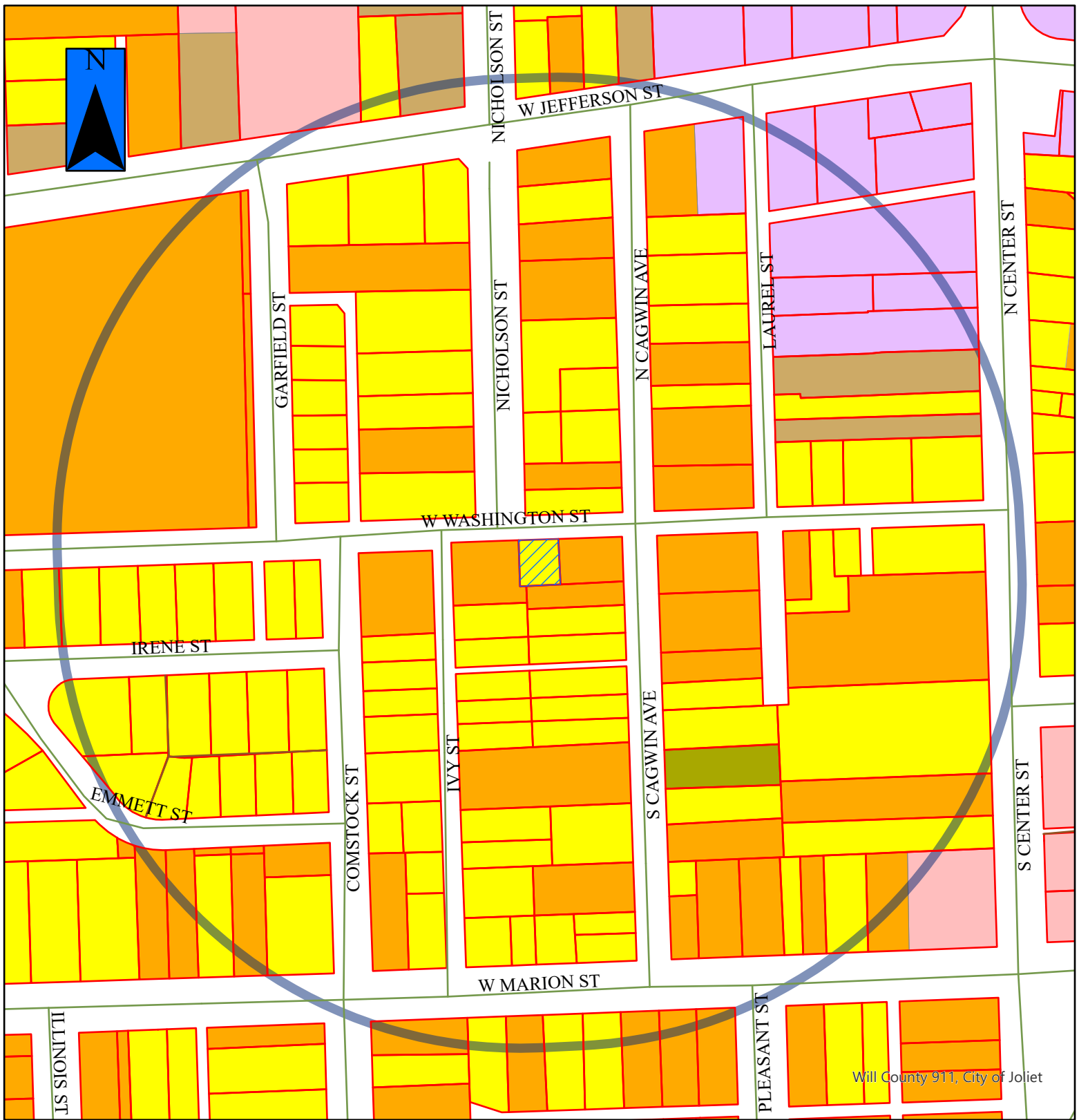
Recommended Action

Staff finds that the unique parcel causes hardship and that the property owner has no control over this. The application of the Zoning Ordinance, in its strictest sense, limits the extent to which the property can be enjoyed. The existing paver patio in the backyard along with the covering would not be a detriment to surrounding properties as this structure faces the backyards of neighboring properties. Staff recommends the Zoning Board of Appeals recommend approval of the Variation request.

Conditions

If the Zoning Board desires to approve these Variation requests to allow the covering over an existing patio, the following conditions should be included:

1. That a building permit shall be applied for and approved.



Will County 911, City of Joliet

2025-60



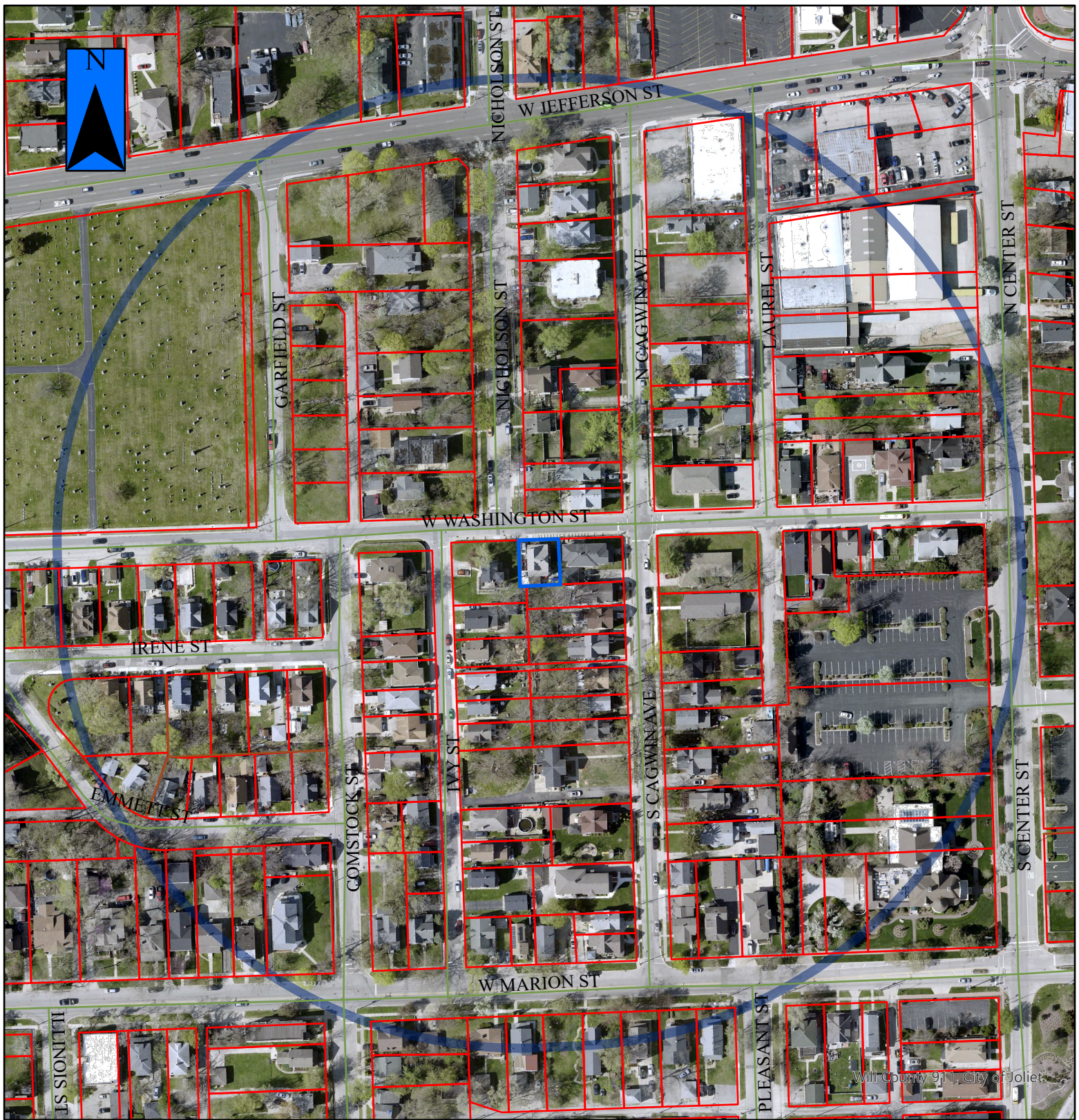
= Property in Question



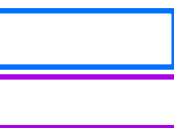
= 600' Public Notification Boundary

Legend

B-1	I-TA	R-2
B-2	I-TB	R-2A
B-3	I-TC	R-3
I-1	R-1	R-4
I-2	R-1A	R-5
I-T	R-1B	R-B



2025-60a



= Property in Question / Propiedad en cuestión
 = 600' Public Notification Boundary /
 Límite de notificación pública de 600 ft (180 m)

DORIS

8" W.P.
N=0 EXPOSURE
TH

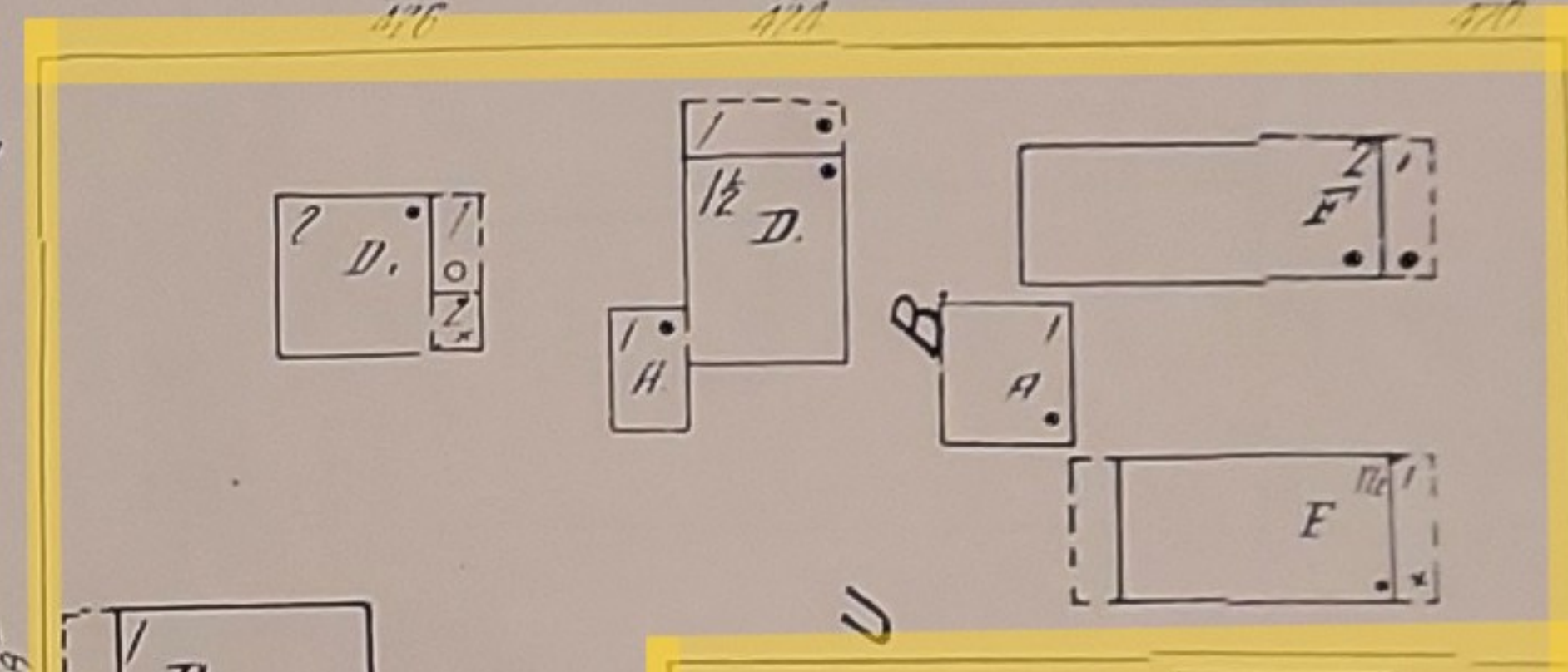
W. WASHINGTON

IRENE

COMSTOCK IO

IVY

CAGWIN AV.



SUB LOT 2

W. D'ARCY

N

G A

W WASHINGTON ST

NICHOLS

S CAGWIN AVE

IVY ST

424

3007161070030000

1

3007161070040000

426

3007161070010000

3

3007161070050000

FOR OFFICE USE ONLY

Verified by Planner (please initial): _____

Payment received from: _____

Petition #: _____

Common Address: _____

Date filed: _____

Meeting date assigned: _____

ZONING BOARD OF APPEALS

JOLIET, ILLINOIS

PETITION FOR VARIATION/APPEAL

City of Joliet Planning Division, 150 W. Jefferson St., Joliet, IL 60432
Ph (815)724-4050 Fax (815)724-4056

ADDRESS FOR WHICH VARIATION IS REQUESTED: 424 W Washington St Joliet, IL 60435

PETITIONER'S NAME: JOSE LUIS ANDRADE

HOME ADDRESS: 424 W. WASHINGTON ST JOLIET IL ZIP CODE: 60435

BUSINESS ADDRESS: N/A ZIP CODE: N/A

PHONE: (Primary) [REDACTED] (Secondary) N/A

EMAIL ADDRESS: [REDACTED] FAX: N/A

PROPERTY INTEREST OF PETITIONER: 424 W. WASHINGTON ST JOLIET, IL 60435

OWNER OF PROPERTY: JOSE LUIS ANDRADE

HOME ADDRESS: 424 W WASHINGTON ST JOLIET IL ZIP CODE: 60435

BUSINESS ADDRESS: N/A ZIP CODE: N/A

EMAIL ADDRESS: [REDACTED] X: N/A

Any use requiring a business license shall concurrently apply for a business license and submit a copy with this petition. Additionally, if this request is for operation of a business, please provide the following information:

BUSINESS REFERENCES (name, address, phone or email):

N/A

OTHER PROJECTS AND/OR DEVELOPMENTS:

N/A

PERMANENT INDEX NUMBER (TAX NO. OR P. I. N.): 30-07-16-107-003-0000
_____ ; _____ ; _____.

Property Index Number/P.I.N. can be found on tax bill or Will County Supervisor of Assessments website

LEGAL DESCRIPTION OF PROPERTY (an attached copy preferred):

LOT SIZE: WIDTH: 52 DEPTH: 63.70 AREA: _____

PRESENT USE(S) OF PROPERTY: OWNER OCCUPIED.

PRESENT ZONING OF PROPERTY: Residential - SINGLE FAMILY HOME.

VARIATION/APPEAL REQUESTED: Built a porch next to Garage. on
Back of House.

RESPONSE TO VARIATION CRITERIA

The Zoning Board of Appeals is authorized to grant or recommend relief only when it has received adequate evidence to establish a practical difficulty or hardship. The evidence must support each of the following three conditions:

- (a) The property in question cannot yield a reasonable return by use permitted and subject to the conditions allowed by the regulations in the particular district or zone.
- (b) The plight of the owner is due to unique circumstances.
- (c) The variation, if granted, will not alter the essential character of the locality.

Please describe how this request meets the criteria by responding to the following questions in your own words.

1. How do the applicable zoning regulations prevent the property in question from yielding a reasonable return?

INVESTING IN BUILDING PORCH WILL HELP
TO PROTECT FROM RAIN, SNOW, SUN, COLD.
(NOT INTERESTED IN PROFITABILITY)
N/A

2. What unique circumstances exist which mandate a variance?

FAILED TO ASK FOR A PERMIT.

3. What impact would the granting of this variance have upon the essential character of the general area? Please include both positive and negative impacts.

BACK PORCH BUILT ON BACK OF HOUSE NEXT TO GARAGE HELPS TO PROTECT FROM RAIN, SNOW SUN & COLD.
I DON'T SEE ANY NEGATIVE IMPACTS.

REQUIRED SUPPORTING ATTACHMENTS

- ☒ Site plan / concept plan / floor plan / building elevation plan
- ☒ Joliet Ownership Disclosure form
- ☐ Business license application (if applicable)

NOTARIZATION OF PETITION

STATE OF ILLINOIS) ss
COUNTY OF WILL)

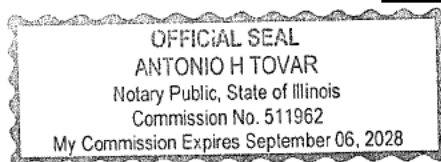
I, JOSEL ANDRADE, depose and say that the above statements are true and correct to the best of my knowledge and belief. I agree to be present in person or by representation when this petition is heard before the Zoning Board of Appeals.

[Redacted Signature]

Owner's Signature
(If other than petitioner)

Subscribed and sworn to before me
this 4 day of NOVEMBER, 2025

[Redacted Notary Signature]



CITY OF JOLIET OWNERSHIP DISCLOSURE FORM

The City of Joliet requires that applicants for zoning relief, subdivision approval, building permits and business licenses disclose the identity of all persons having an ownership interest in the business and the real property associated with the application. A copy of this form must be completed and submitted with other application materials. Failure to properly complete and submit this form may result in the denial of the application.

I. INFORMATION ABOUT THE APPLICATION

This form is submitted as part of an application for the following (check all that apply):

- ☒ Rezoning, Special Use Permit, Variation, or Other Zoning Relief (Complete Sections II and III)
- ☐ Preliminary Plat, Final Plat, or Record Plat of Subdivision (Complete Sections II and III)
- ☒ Building Permit (Complete Sections II and III)
- ☐ Business License (Complete All Sections)

II. INFORMATION ABOUT THE PROPERTY

The address and PIN(s) of the real property associated with this application are:

424 W WASHINGTON ST JOLIET IL 60435

PIN(s): 30-07-16-107-003-0000

III. PROPERTY OWNERSHIP

Select the type of owner of the real property associated with this application and fill in the appropriate contact information below:

- | | |
|---|--|
| <input checked="" type="checkbox"/> Individual: | State the names, addresses, and phone #'s of the individual owner(s) |
| <input type="checkbox"/> Corporation: | State the names, addresses, and phone #'s of all persons holding 3% or more of the stock of the corporation and the percentage of shares held by such stockholders |
| <input type="checkbox"/> Limited Liability Company: | State the names, addresses, and phone #'s of all members of the company along with the percentage of ownership held by each member |
| <input type="checkbox"/> Land Trust: | State the names, addresses, and phone #'s of the trustee(s) and all beneficiaries |
| <input type="checkbox"/> Partnership: | State the names, addresses, and phone #'s of all partners |
| <input type="checkbox"/> Other type of organization: | State the names, addresses, and phone #'s of all persons having a legal or equitable ownership interest in the organization or the right to direct the affairs of the organization |

E-MAIL: _____ FAX: _____

IV. BUSINESS OWNERSHIP

If the owner of the business is different than the owner of the real property associated with the application, then the following information must be provided:

Select the type of business owner associated with this application and fill in the contact information below:

- ☐ **Individual:** State the names, addresses, and phone #'s of the individual owner(s)
- ☐ **Corporation:** State the names, addresses, and phone #'s of all persons holding 3% or more of the stock of the corporation and the percentage of shares held by such stockholders
- ☐ **Limited Liability Company:** State the names, addresses, and phone #'s of all members of the company along with the percentage of ownership held by each member
- ☐ **Partnership:** State the names, addresses, and phone #'s of all partners
- ☐ **Other type of organization:** State the names, addresses, and phone #'s of all persons having a legal or equitable ownership interest in the organization

E-MAIL: _____ FAX: _____

NOTE:

If a stockholder, member, beneficiary or partner disclosed in Section III or Section IV is not an individual, then the individuals holding the legal or equitable title to the real property or business associated with the application must also be disclosed. For example, if the real property associated with an application is owned by a land trust, and the beneficiary of the land trust is a limited liability company, then the members of the limited liability company must be disclosed. If one of the members of the limited liability company is a partnership, then the identity of the partners must be disclosed. If one of the partners is a corporation, then all persons owning 3% or more of the issued stock must be disclosed.

SIGNED: _____

DATE: _____

Name, Title, and Telephone Numbers of Person Completing and Submitting This Form:

PRINT



SURVEY NUMBER 20-26531



ZONING BOARD OF APPEALS

CRITERIA FOR VARIATIONS

Section 47-19.8 of the Zoning Ordinance states:

A variation shall not be granted in any case unless the Board shall find and clearly state in its record of the case that:

	Does the evidence presented sustain this criteria?	Comments
<p>(1) Reasons sustaining the contention that strict enforcement of the Ordinance would involve practical difficulties or impose exceptional hardship were found as follows:</p> <p>(a) _____</p> <p>(b) _____</p> <p>(c) _____</p> <p>(list of reasons)</p>		
<p>(2) Adequate evidence was submitted to establish practical difficulties or particular hardship so that, in the judgment of the Board, a variation is permitted because the evidence sustained the existence of each of the three following conditions:</p> <p style="padding-left: 40px;">(a) The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in the particular district or zone.</p> <p style="padding-left: 40px;">(b) The plight of the owner is due to unique circumstances.</p> <p style="padding-left: 40px;">(c) The variation, if granted, will not alter the essential character of the locality.</p>		
<p>(3) A public hearing was held on such variation of which at least 15 days and not more than 30 days notice was published in the _____ (name of newspaper) on _____ (date).</p>		



City of Joliet

150 West Jefferson Street
Joliet, IL 60432

Memo

File #: TMP-9242

Agenda Date: 12/18/2025

STAFF REPORT

DATE: December 18, 2025
TO: Zoning Board of Appeals
FROM: Francisco Jimenez, Planner
RE: Petition Number: 2025-61
Applicant / Owner: John Louis
Location: 1137 Cathy Ave (Council District #5)
Request: A Variation to allow decorative pea gravel as ground cover in the front yard

Purpose

The applicant is requesting a Variation to allow decorative pea gravel in a front yard at the property located at 1137 Cathy Ave. The Zoning Board of Appeals makes the final decision in this matter.

The requested variation from the Zoning Board of Appeals includes:

- A variation from Section 47-15E.3 (Minimum Landscaping and Screening Requirements) to allow for decorative pea gravel in the front yard of a residential property in place of sod.

Site Specific Information

The subject property is approximately 6,900 square feet in size and is zoned R-2 (Single-family Residential). The property contains a split level single-family home originally built in 1995. The property is located within the Cambridge subdivision.

Surrounding Zoning, Land Use and Character

All properties in this vicinity are zoned R-2 (Single-family Residential). All properties in the subdivision have the required pervious vegetative ground cover in the front yard.

Applicable Regulations

- Section 47-15E.3 Minimum Landscaping and Screening Requirements

Discussion

The applicant, who is the property owner, has had decorative pea gravel in the front yard since 2019 and was recently cited by the City's zoning inspector based on a complaint. The applicant was informed that non-pervious ground cover was not allowed and that the

only available recourse to retain the decorative pea gravel would be the approval of a variance from the City's landscaping requirements. The landscaping requirements in the Zoning Ordinance specify that vegetative pervious ground cover is required on 70% of a lot that contains a single-family home. No other properties within this subdivision deviates from this requirement and all have vegetative pervious ground cover.

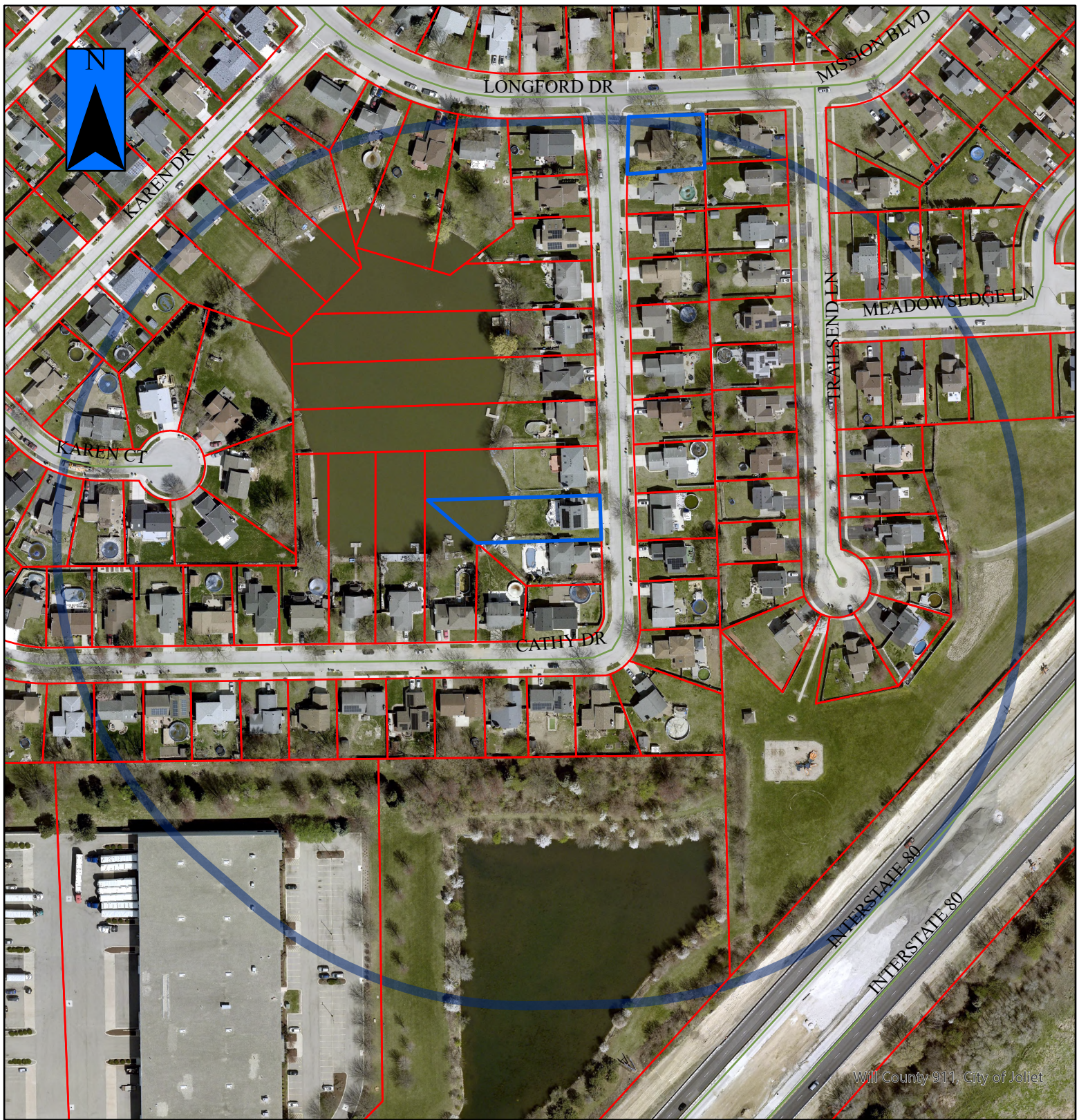
Recommended Action

Staff cannot recommend approval for this request as no hardship was determined.

The application and enforcement of the Zoning Ordinance, as it exists, does not impose difficulties on the homeowners nor create exceptional hardships. The landscaping requirements do not prohibit a reasonable return on investment of the property.



Conditions

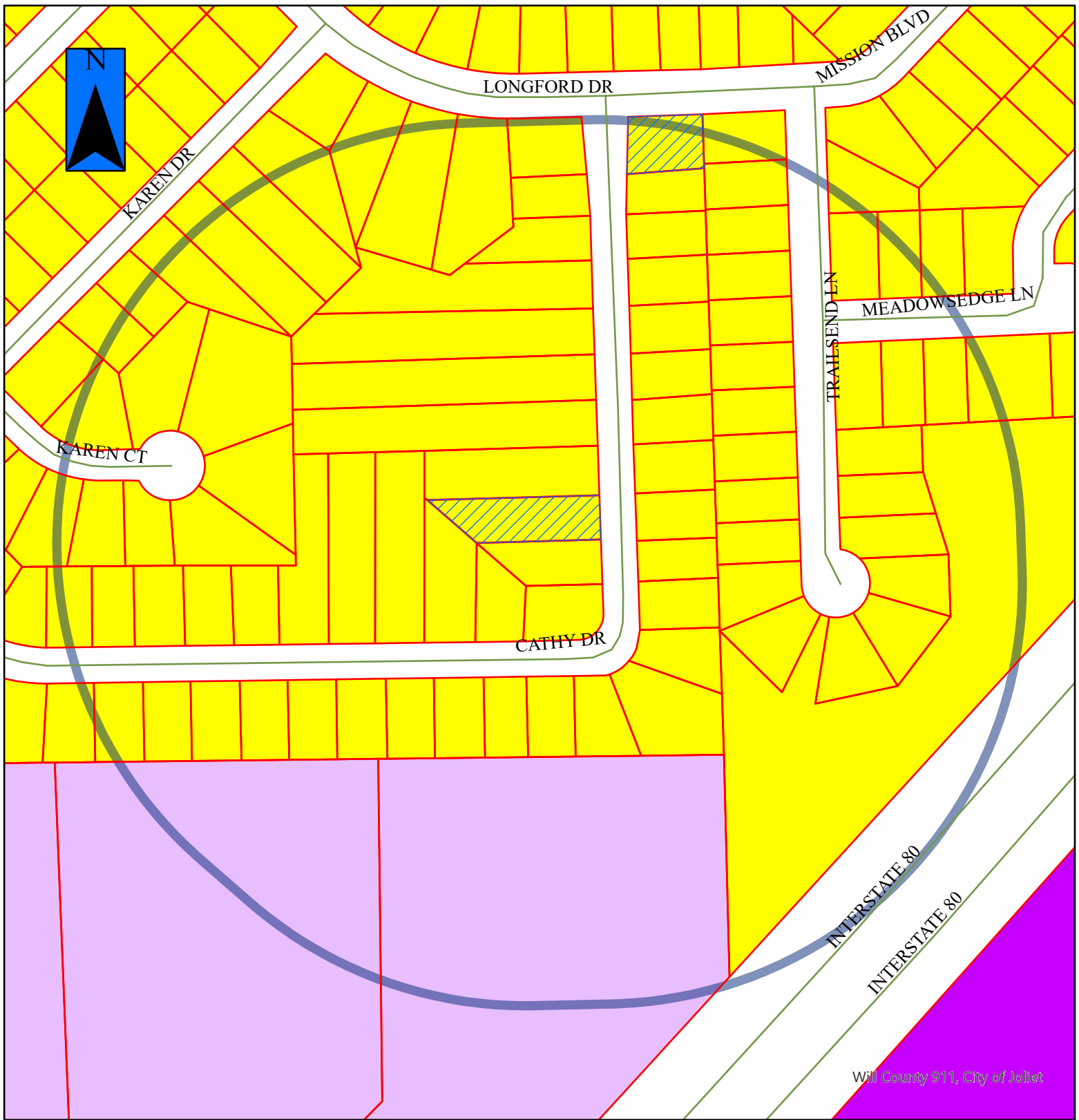
None



2025-61a



 = Property in Question / Propiedad en cuestión
 = 600' Public Notification Boundary /
 Límite de notificación pública de 600 ft (180 m)



Will County 911, City of Joliet

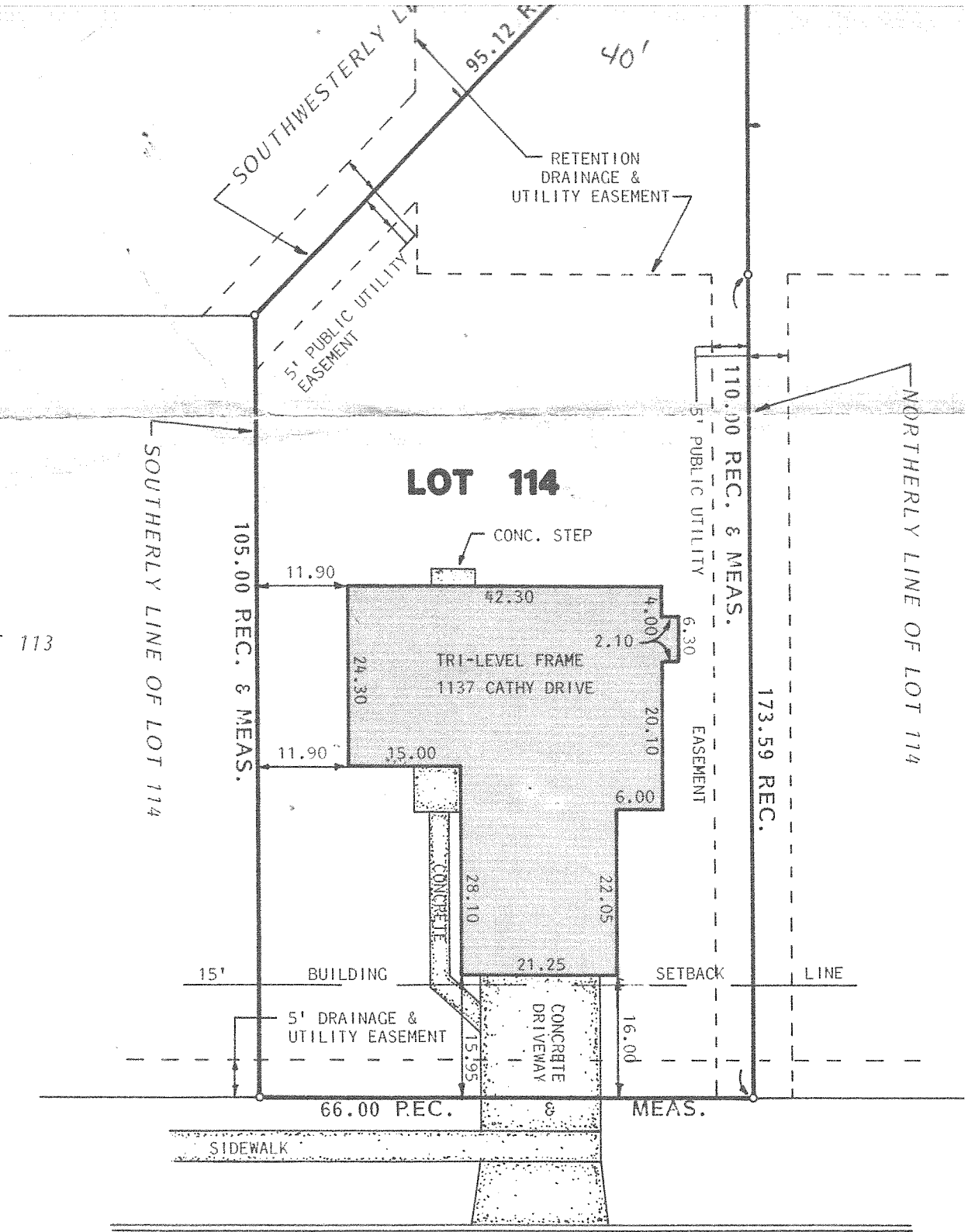
2025-61



= Property in Question
= 600' Public Notification Boundary

Legend			
B-1	I-TA	R-2	
B-2	I-TB	R-2A	
B-3	I-TC	R-3	
I-1	R-1	R-4	
I-2	R-1A	R-5	
I-T	R-1B	R-B	

LOT 113



CATHY DRIVE (60')

31' B/C TO B/C

STATE OF ILLINOIS)
COUNTY OF WILL)SS

I, JERALD M. PAPESH, A REGISTERED LAND SURVEYOR IN THE STATE OF ILLINOIS, DO HEREBY CERTIFY THAT I HAVE SURVEYED, STAKED, LOCATED THE IMPROVEMENTS ON AND PLATTED THE LAND DESCRIBED IN THE FOREGOING CAPTION AND SHOWN ON THIS PLAT, AND THAT THIS PLAT IS A CORRECT REPRESENTATION THEREOF, DATED AT JOLIET, ILLINOIS THIS 27th DAY OF NOVEMBER, 1990, A.D.

GEOTE
CONSULTING ENGINEER

1107 W. JEFFERSON ST. 815-

TITLE: LYNN KRAUSE

DRAWN BY. DATE.



1137
0506232070320000

This is an aerial photograph of a residential property. The property is outlined in a light green line. It features a large, rectangular swimming pool with a blue cover, situated in the center-left. To the right of the pool is a large, two-story house with a grey roof and a light-colored exterior. A driveway leads to the house, and a white car is parked in the driveway. The property is surrounded by green grass and some trees. In the bottom left corner, there is a large, circular, light-colored object, possibly a well or a large pot. The text '1137' and '0506232070320000' is overlaid on the image in a pink and blue font.

CATHY DR



1137

LLDEBSEXPRSEATS.COM

LLP
Deb's

FOR OFFICE USE ONLY

Verified by Planner (please initial): FJ

Payment received from:

Petition #: _____

Common Address: 1137 Cathy Dr.

Date filed: 10-27-25

Meeting date assigned: 12-18-25

ZONING BOARD OF APPEALS

JOLIET, ILLINOIS

PETITION FOR VARIATION/APPEAL

City of Joliet Planning Division, 150 W. Jefferson St., Joliet, IL 60432
Ph (815)724-4050 Fax (815)724-4056

ADDRESS FOR WHICH VARIATION IS REQUESTED: 1137 CATHY DRIVE

PETITIONER'S NAME: John Louis

HOME ADDRESS: 1137 CATHY DR ZIP CODE: 60431

BUSINESS ADDRESS: _____ ZIP CODE: _____

PHONE: (Primary) [REDACTED] (Secondary) [REDACTED]

EMAIL ADDRESS: JohnLouis105@aol.com FAX: _____

PROPERTY INTEREST OF PETITIONER: Owner

OWNER OF PROPERTY: John + Debbie Louis

HOME ADDRESS: 1137 CATHY DR ZIP CODE: _____

BUSINESS ADDRESS: _____ ZIP CODE: _____

EMAIL ADDRESS: _____ FAX: _____

Any use requiring a business license shall concurrently apply for a business license and submit a copy with this petition. Additionally, if this request is for operation of a business, please provide the following information:

BUSINESS REFERENCES (name, address, phone or email):

[REDACTED]

OTHER PROJECTS AND/OR DEVELOPMENTS:

[REDACTED]

PERMANENT INDEX NUMBER (TAX NO. OR P. I. N.): 05-06-23-207-032-000;
_____;

Property Index Number/P.I.N. can be found on tax bill or Will County Supervisor of Assessments website

LEGAL DESCRIPTION OF PROPERTY (an attached copy preferred):

See Attached

LOT SIZE: WIDTH: 66' DEPTH: 105' AREA: _____

PRESENT USE(S) OF PROPERTY: Single Family Home

PRESENT ZONING OF PROPERTY: R-2

VARIATION/APPEAL REQUESTED: _____

RESPONSE TO VARIATION CRITERIA

The Zoning Board of Appeals is authorized to grant or recommend relief only when it has received adequate evidence to establish a practical difficulty or hardship. The evidence must support each of the following three conditions:

- (a) The property in question cannot yield a reasonable return by use permitted and subject to the conditions allowed by the regulations in the particular district or zone.
- (b) The plight of the owner is due to unique circumstances.
- (c) The variation, if granted, will not alter the essential character of the locality.

Please describe how this request meets the criteria by responding to the following questions in your own words.

1. How do the applicable zoning regulations prevent the property in question from yielding a reasonable return?

Having GRASS we keep getting Grubs + Disease
Oak LAWN (LOOKS TERRIBLE) could not keep up with it, Cuz we
Our working still at age of 69 + 76.
Stone is Decertive & Look nice.

2. What unique circumstances exist which mandate a variance?

I Did Not think I need Anything. We Call many
year ago before we put Our Stone Dorth. TALKED to A woman
who went A checked with Someone. She HAD told US it would
Not Be A Problem AS long AS we do not put it on dirt way.

3. What impact would the granting of this variance have upon the essential character of the general area? Please include both positive and negative impacts.

Good: it Neat + PLEASANT to Look at Always. ^{Get Complaining}
Neighbor Did Hi's as well. We Have Bushes + flower +
PLANTY of DRAINAGE
BAD: NONE

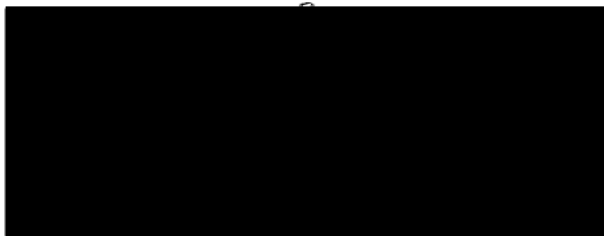
REQUIRED SUPPORTING ATTACHMENTS

- ☒ Site plan / concept plan / floor plan / building elevation plan
- ☒ Joliet Ownership Disclosure form
- ☐ Business license application (if applicable)

NOTARIZATION OF PETITION

STATE OF ILLINOIS) ss
COUNTY OF WILL)

I, _____, depose and say that the above statements are true and correct to the best of my knowledge and belief. I agree to be present in person or by representation when this petition is heard before the Zoning Board of Appeals.



(If other than petitioner)

Subscribed and sworn to before me
this 27 day of October, 2025



CITY OF JOLIET OWNERSHIP DISCLOSURE FORM

The City of Joliet requires that applicants for zoning relief, subdivision approval, building permits and business licenses disclose the identity of all persons having an ownership interest in the business and the real property associated with the application. A copy of this form must be completed and submitted with other application materials. Failure to properly complete and submit this form may result in the denial of the application.

I. INFORMATION ABOUT THE APPLICATION

This form is submitted as part of an application for the following (check all that apply):

- ☒ Rezoning, Special Use Permit, Variation, or Other Zoning Relief (Complete Sections II and III)
- ☐ Preliminary Plat, Final Plat, or Record Plat of Subdivision (Complete Sections II and III)
- ☐ Building Permit (Complete Sections II and III)
- ☐ Business License (Complete All Sections)

II. INFORMATION ABOUT THE PROPERTY

The address and PIN(s) of the real property associated with this application are:

1137 CATHY DR. JOLIET IL 60431
PIN(s): 05-06-23-207-032-0000

III. PROPERTY OWNERSHIP

Select the type of owner of the real property associated with this application and fill in the appropriate contact information below:

- ☒ **Individual:** State the names, addresses, and phone #'s of the individual owner(s)
- ☐ **Corporation:** State the names, addresses, and phone #'s of all persons holding 3% or more of the stock of the corporation and the percentage of shares held by such stockholders
- ☐ **Limited Liability Company:** State the names, addresses, and phone #'s of all members of the company along with the percentage of ownership held by each member
- ☐ **Land Trust:** State the names, addresses, and phone #'s of the trustee(s) and all beneficiaries
- ☐ **Partnership:** State the names, addresses, and phone #'s of all partners
- ☐ **Other type of organization:** State the names, addresses, and phone #'s of all persons having a legal or equitable ownership interest in the organization or the right to direct the affairs of the organization

John Louis 1137 CATHY DR JOLIET IL

Debbie Louis 1137 CATHY DR JOLIET IL

E-MAIL:

FAX:

IV. BUSINESS OWNERSHIP

If the owner of the business is different than the owner of the real property associated with the application, then the following information must be provided:

Select the type of business owner associated with this application and fill in the contact information below:

- ☐ **Individual:** State the names, addresses, and phone #'s of the individual owner(s)
- ☐ **Corporation:** State the names, addresses, and phone #'s of all persons holding 3% or more of the stock of the corporation and the percentage of shares held by such stockholders
- ☐ **Limited Liability Company:** State the names, addresses, and phone #'s of all members of the company along with the percentage of ownership held by each member
- ☐ **Partnership:** State the names, addresses, and phone #'s of all partners
- ☐ **Other type of organization:** State the names, addresses, and phone #'s of all persons having a legal or equitable ownership interest in the organization

E-MAIL: _____ FAX: _____

NOTE:

If a stockholder, member, beneficiary or partner disclosed in Section III or Section IV is not an individual, then the individuals holding the legal or equitable title to the real property or business associated with the application must also be disclosed. For example, if the real property associated with an application is owned by a land trust, and the beneficiary of the land trust is a limited liability company, then the members of the limited liability company must be disclosed. If one of the members of the limited liability company is a partnership, then the identity of the partners must be disclosed. If one of the partners is a corporation, then all persons owning 3% or more of the issued stock must

SIGNED _____

DATE: 10-27-2025

Name, Title, and Telephone Numbers of Person Completing and Submitting This Form:

John Louis _____ Debbie Lou

ZONING BOARD OF APPEALS
CRITERIA FOR VARIATIONS

Section 47-19.8 of the Zoning Ordinance states:

A variation shall not be granted in any case unless the Board shall find and clearly state in its record of the case that:

	Does the evidence presented sustain this criteria?	Comments
(1) Reasons sustaining the contention that strict enforcement of the Ordinance would involve practical difficulties or impose exceptional hardship were found as follows: (a) _____ (b) _____ (c) _____ (list of reasons)		
(2) Adequate evidence was submitted to establish practical difficulties or particular hardship so that, in the judgment of the Board, a variation is permitted because the evidence sustained the existence of each of the three following conditions: (a) The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in the particular district or zone. (b) The plight of the owner is due to unique circumstances. (c) The variation, if granted, will not alter the essential character of the locality.		
(3) A public hearing was held on such variation of which at least 15 days and not more than 30 days notice was published in the _____ (name of newspaper) on _____ (date).		