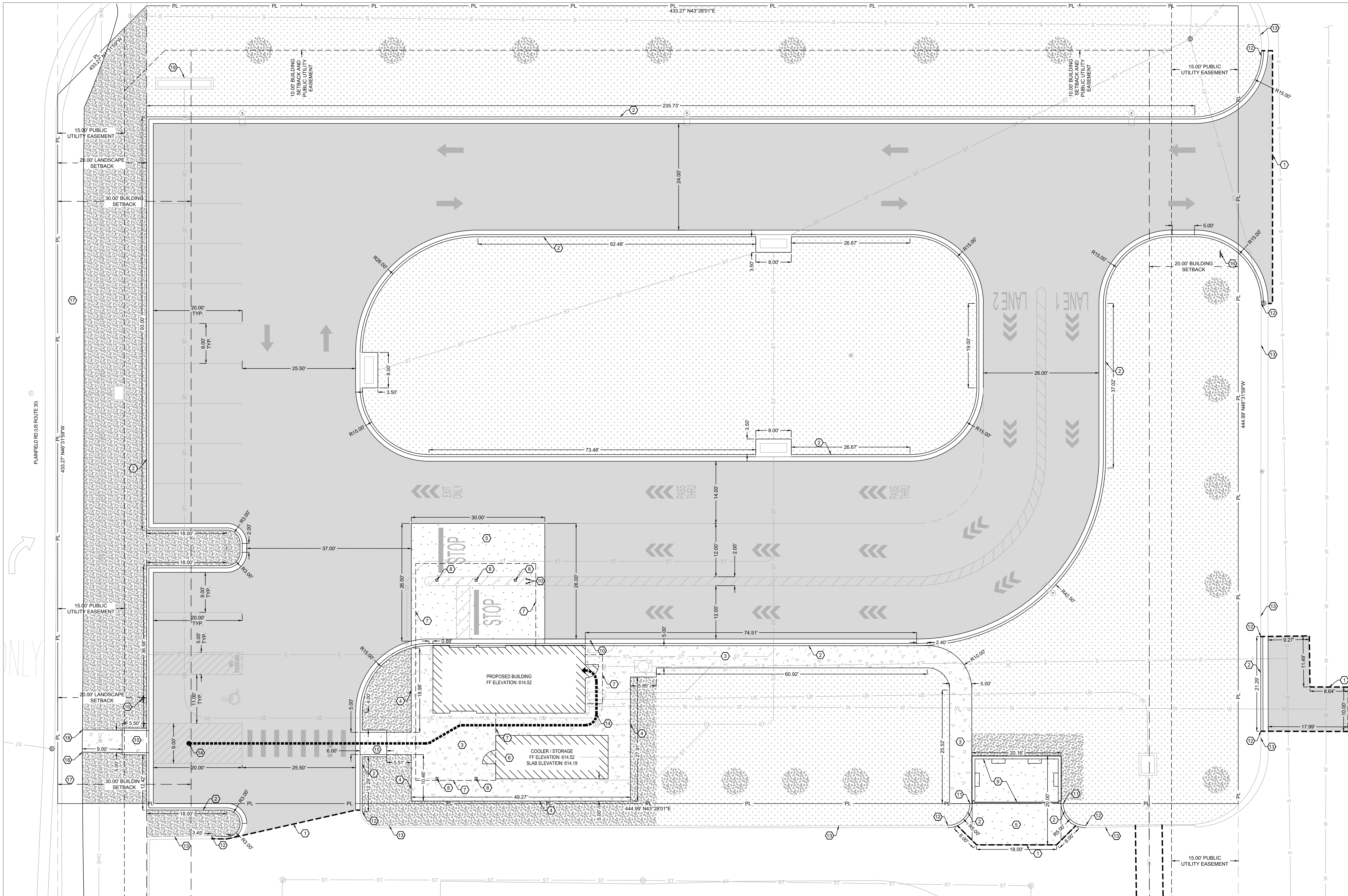




HATCH LEGEND:

	ASPHALT PAVEMENT PER DETAIL 2.06, SHEET C7.1.
	CONCRETE SIDEWALK PER SIDEWALK DETAIL 2.02, SHEET C7.1.
	CONCRETE PAVEMENT PER CONCRETE PAVEMENT DETAIL 2.03 AND 2.05, SHEET C7.1.
	TURF GRASS SOD. REFER TO LANDSCAPE PLAN.
	LANDSCAPE MULCH. SMOOTH SOIL SHALL BE COVERED BY WEED FABRIC AND TOPPED WITH 3 TO 4-INCH LAYER OF SHREDDED HARDWOOD.

- KEY NOTES:**
- MATCH EXISTING PAVEMENT.
 - CONCRETE CURB & GUTTER PER DETAIL 2.01, SHEET C7.1.
 - SIDEWALK PER DETAIL 2.02, SHEET C7.1.
 - EDGE OF CONCRETE SLAB TO BE THICKENED CONCRETE PER STOOP/WALK EDGE DETAIL 2.04, SHEET C7.1.
 - CONCRETE PAVEMENT PER CONCRETE PAVEMENT DETAILS 2.03 & 2.05, SHEET C7.1.
 - REMOTE COOLER LOCATION. COOLER TO BE INSTALLED ON 4" RECESSED CONCRETE PAD WITH THICKENED EDGE PER STRUCTURAL PLANS. SLAB DRAINAGE PER DETAIL 4.07, SHEET C7.2.
 - BUILDING CANOPY OUTLINE.
 - CANOPY COLUMNS LOCATIONS, TYPICAL.
 - TRASH ENCLOSURE AND GATE, PER ARCHITECTURAL PLANS.

- 3" PIPE BOLLARD, TYPICAL PER DETAIL 2.09, SHEET C7.1.
- INSTALL CURB TRANSITION PER DETAIL 2.15, SHEET C7.2.
- CONNECT TO EXISTING CURB.
- EXISTING CURB AND GUTTER. DO NOT DISTURB.
- ACCESSIBLE PATH FROM PARKING TO BUILDING.
- TYPE 4 ADA CURB RAMP PER DETAIL 2.14, SHEET C7.2.
- SIGN, SEE SHEET C6.1.
- EXISTING SIDEWALK, DO NOT DISTURB.
- CONNECT TO EXISTING SIDEWALK.
- PROPOSED MONUMENT SIGN.

STORMWATER NOTES:

PRE-PROJECT IMPERVIOUS AREA	= 941 S.F.
PRE-PROJECT PERVIOUS AREA	= 46,663 S.F.
TOTAL	= 47,594 S.F.
POST-PROJECT IMPERVIOUS AREA	= 21,642 S.F.
POST-PROJECT PERVIOUS AREA	= 25,952 S.F.
TOTAL	= 47,594 S.F.

NOTE:
CALCULATIONS PROVIDED FOR IMPERVIOUS SURFACE LIMITS ARE BOUNDED BY THE PROPERTY LINES.

BUILDING AND LOT DATA:

PROJECT FOOTPRINT	47,594 S.F. = 1.09 ACRES
PROPOSED BUILDING (1 STORY) - RETAIL	= 515 S.F.
REMOTE COOLER	= 247 S.F.
CONSTRUCTION TYPE:	V-B

QUANTITIES

CURB & GUTTER:	1,165 L.F.
ASPHALT PAVEMENT:	19,584 S.F.
8" CONCRETE PAVEMENT:	1,202 S.F.
4" CONCRETE SIDEWALK:	1,642 S.F.
TURF GRASS SOD:	19,361 S.F.
MULCH:	4,083 S.F.

PROPOSED USE:

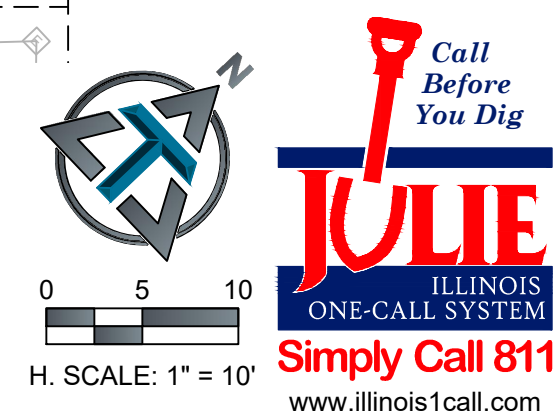
RESTAURANT WITH DRIVE THRU.

ZONING:

ZONING: B-3 GENERAL BUSINESS DISTRICT.

PARKING REQUIREMENTS:

1 SPACE PER 200 S.F. GROSS FLOOR AREA = 3 STALLS.
PROVIDED = 15 STALLS, 14 STANDARD AND 1 ADA.



ENGINEER OF RECORD:
NAME: MATTHEW STEVEN MILLER
LICENSE NO. IL WPE 062 065164

PROJECT NUMBER:
104 067

REVISION:

7 BREW COFFEE
JOLIET 02
2545 PLAINFIELD RD
JOLIET, ILLINOIS 60435

C2.1
DRIVE-THRU
EXHIBIT

DATE: 04/16/2025