

STAFF REPORT

DATE: August 13, 2026
TO: Zoning Board of Appeals
FROM: Helen Miller, Planner
RE: Petition Number: 2026-37
Applicant: John Honiotes
Status of Applicant: Property Owner
Location: 329 Pleasant Street (Council District #5)
Request: Variation to allow construction of a detached garage with a larger footprint than the principal structure

Purpose

The applicant is requesting the following Variation to allow the construction of a new detached garage on their property at 329 Pleasant Street:

- Variation to allow a detached garage that is larger in footprint (first floor square footage) than the principal structure

The Zoning Board of Appeals makes the final decision on this Variation request.

Site Specific Information

The subject site is around 22,015 square feet and contains a one-story residence built around 1890 and a detached garage. The lot is a through lot that faces Pleasant Street, with its rear yard along Hyde Park Avenue and its side yard along McDonough Street. The property is zoned R-2 (single-family residential).

Surrounding Zoning, Land Use and Character

The property is located in the St. Pat's neighborhood on the section of McDonough Street between Railroad Street and Center Street. There are residential properties zoned R-2 (single-family residential) adjacent to the north side of the property. Across the street to the west, south, and east of the site are residential properties with R-2 and R-3 (one- and two-family residential) zoning. A commercial business with I-2 (general industrial) zoning is southeast of the site across the McDonough Street and Pleasant Street intersection.

Applicable Regulations

- Section 47-17.5 Garages and Carports
- Section 47-19.8 Findings of Facts Supporting a Variation (refer to attachment)

Discussion

The petitioner, John Honiotes, is requesting a Variation to allow construction of a new detached garage that is larger in footprint than the existing principal residence at 329 Pleasant Street. The petitioner would like to demolish the existing 20-foot by 30-foot garage and construct a new 36-foot by 40-foot detached garage in the same part of the property. The Zoning Ordinance states that detached garages are to be smaller in footprint (first floor square footage) than the principal structure unless otherwise approved by a variance from the Zoning Board of Appeals. The first floor square footage of the existing house is approximately 1,169 square feet. The proposed garage would be 1,440 square feet, so the petitioner must request a Variation.

The proposed garage will meet setback requirements for an accessory structure on a through and corner lot. The garage will be set back at least 30 feet from Hyde Park Avenue as required for the rear yard of a through lot. The garage will be set back around 30 feet from McDonough Street, which exceeds the setback requirement of 20 feet for the corner side yard. The proposed garage will be accessed by the existing concrete driveway apron off McDonough Street. The petitioner will pave the driveway leading to the new garage as required by the Zoning Ordinance. The proposed garage will have a gable roof with a 6:12 pitch and engineered wood siding. There will be one vehicle door on its south side. Conceptual elevations are attached – the petitioner plans to install some windows but these are not shown on the plans.

The petitioner, who lives at the property, will use the garage for storage and hobby work. They request the proposed garage size in order to accommodate their belongings and workshop space.

Recommended Action

Staff does not find an exceptional hardship for this request but does find that the site's size compared to the size of the existing residence creates a unique circumstance. The lot is three times the minimum area for a lot in the R-2 (single-family residential) district. The proposed garage would be 217 square feet greater than the footprint of the existing house, which was constructed over 100 years ago. Staff also finds that approval of the Variation will not significantly alter the essential character of the area because the proposed garage will be set back at least 30 feet from the side and rear lot lines along the adjacent streets.

Recommended Conditions

None

Figure 1: Aerial view of the subject site at 329 Pleasant Street (2026)

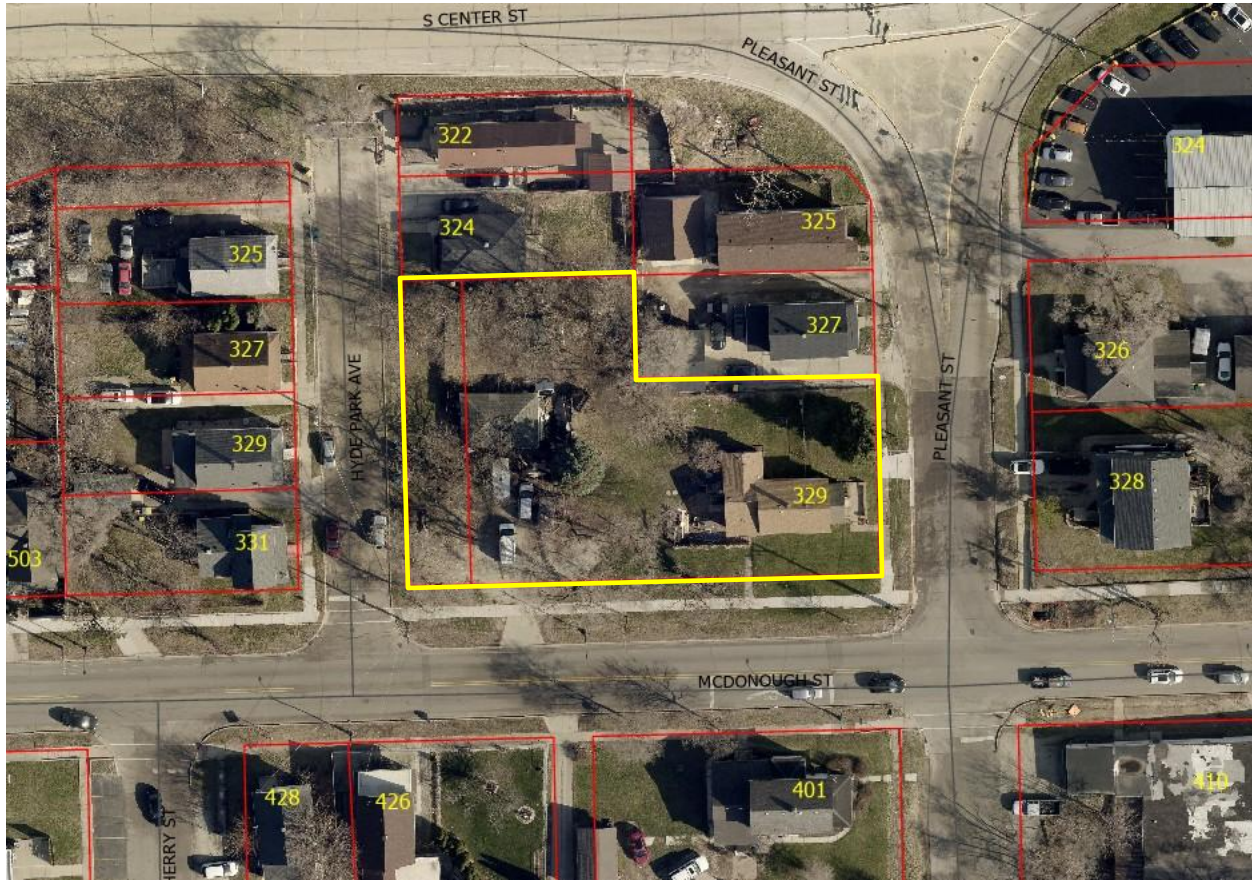


Figure 2: Existing garage at 329 Pleasant Street (left) and existing residence (right), view northeast from McDonough Street (August 2026)



Figure 3: Subject site at 329 Pleasant Street, view north from McDonough Street (June 2026)

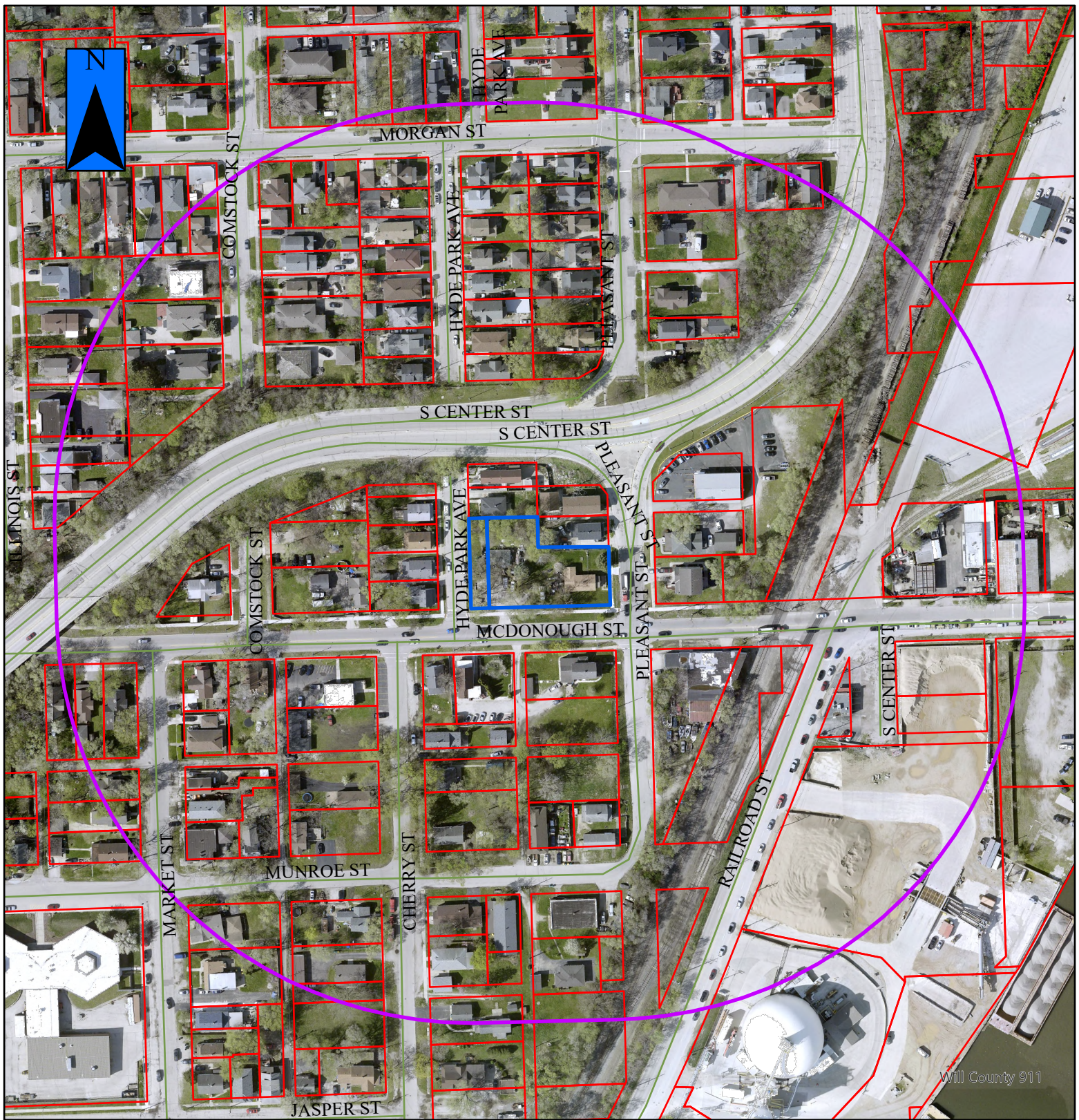


Figure 4: Rear yard of 329 Pleasant Street along Hyde Park Avenue, view north along Hyde Park Avenue (August 2026)



Figure 5: Existing residence at 329 Pleasant Street, view northwest from the intersection of McDonough Street and Pleasant Street (June 2026)

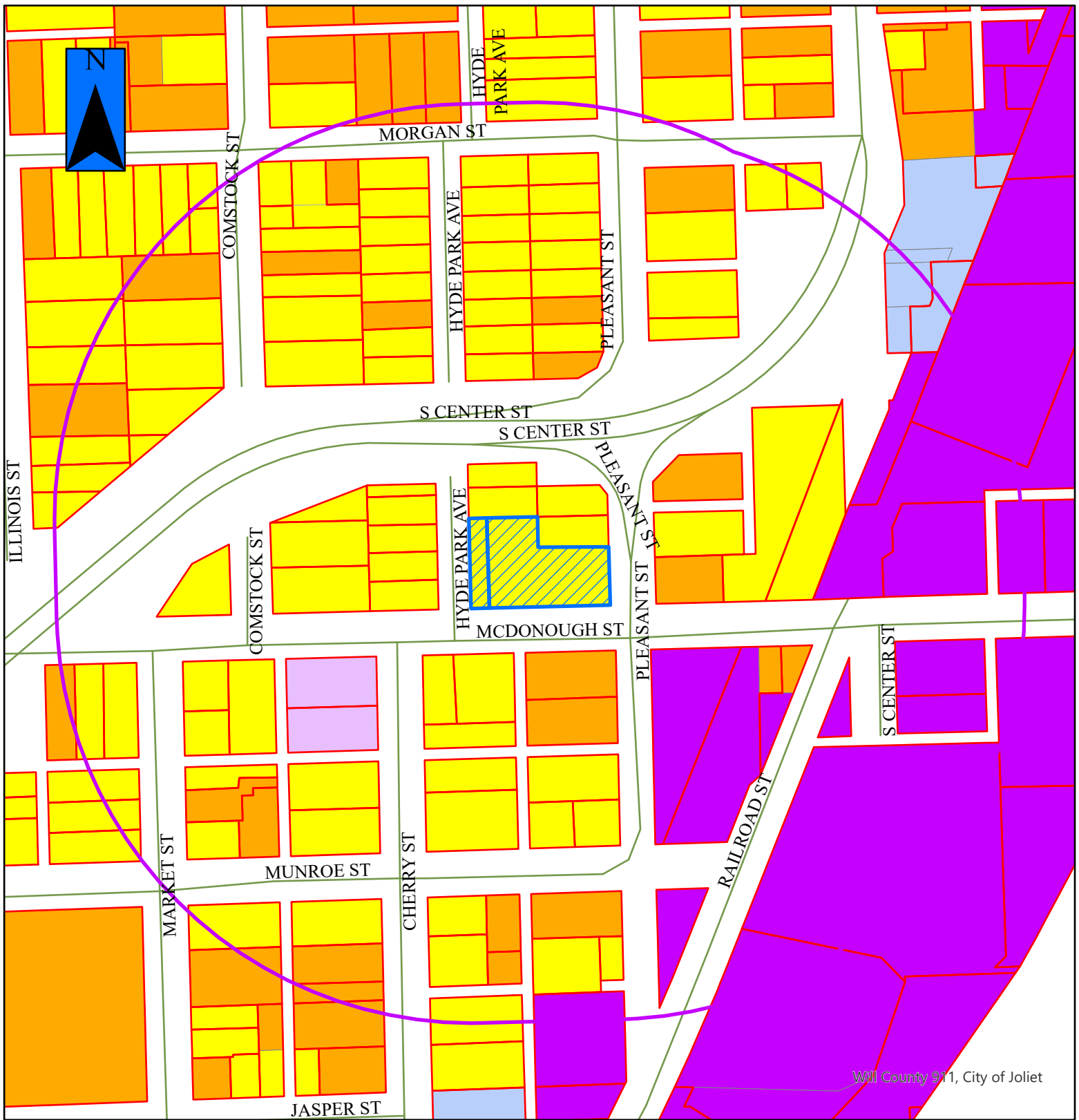




2026-37a



- = Property in Question / Propiedad en cuestión
- = 600' Public Notification Boundary /
Límite de notificación pública de 600 ft (180 m)



Will County 911, City of Joliet

2026-37



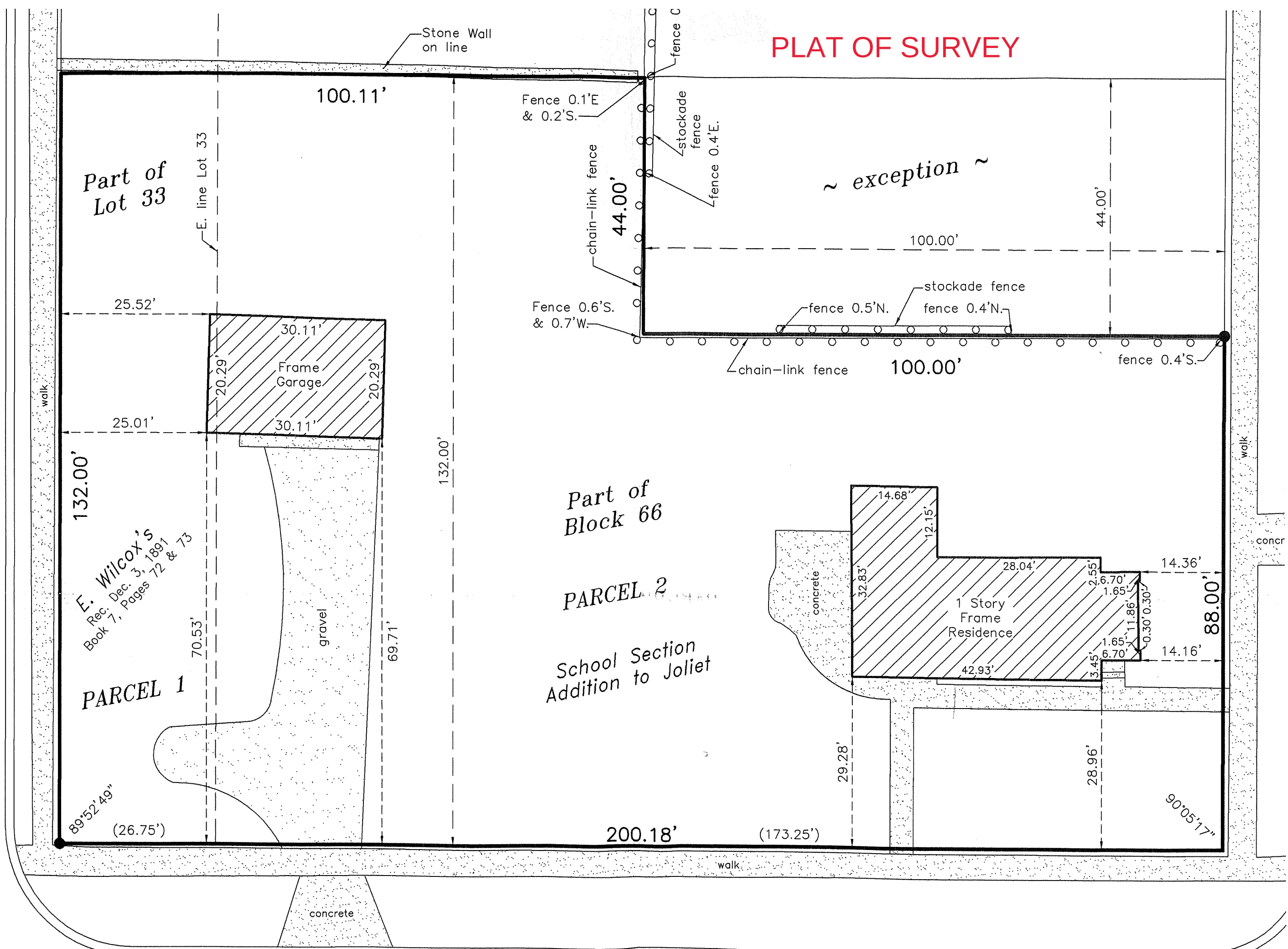
= Property in Question
= 600' Public Notification Boundary

Legend					
	B-1		I-TA		R-2
	B-2		I-TB		R-2A
	B-3		I-TC		R-3
	I-1		R-1		R-4
	I-2		R-1A		R-5
	I-T		R-1B		R-B

Hyde Park Avenue

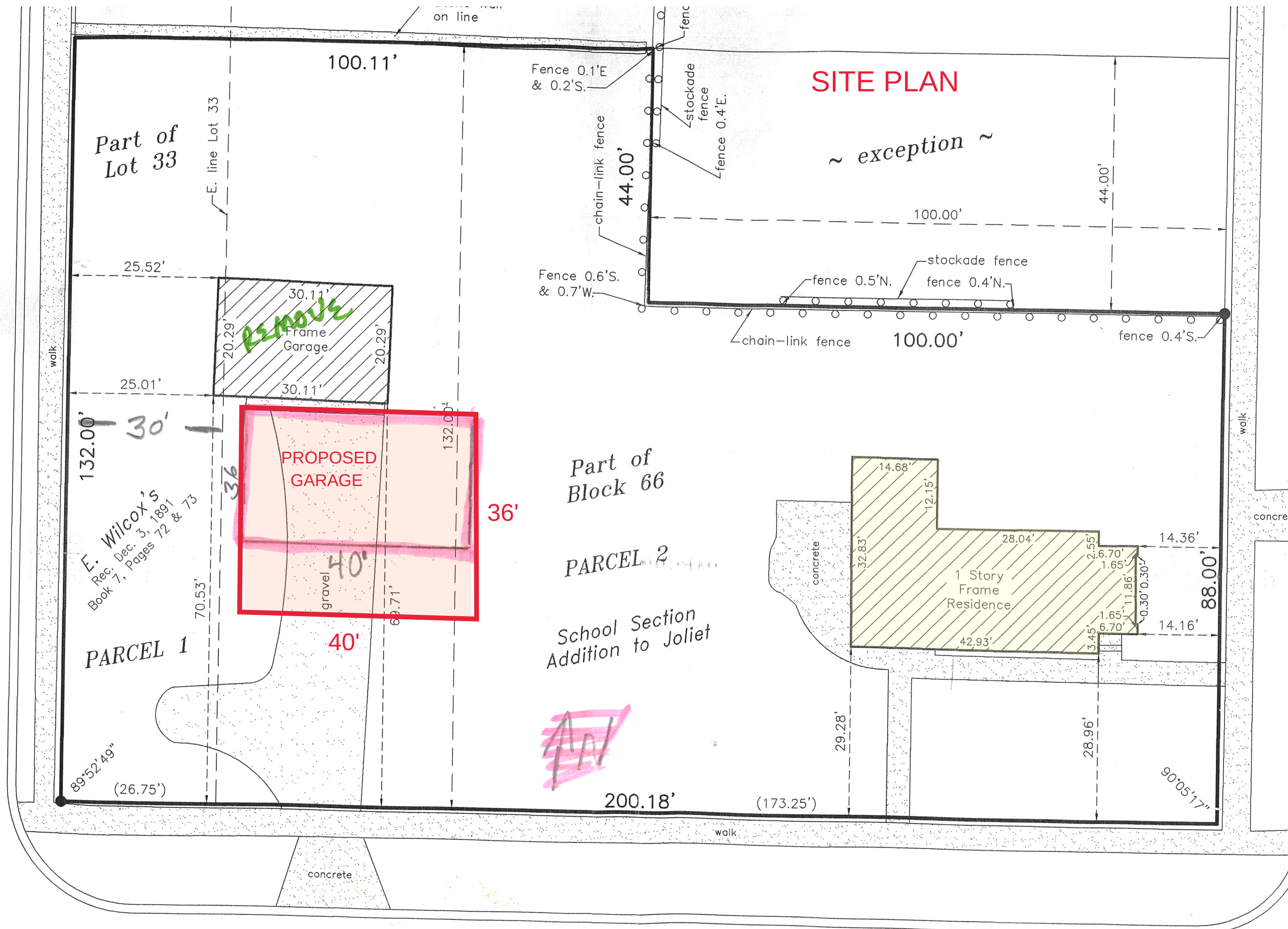
46.5' ROW

PLAT OF SURVEY



Hyde Park Avenue

46.5' ROW



Design & Buy™ GARAGE

How to recall and purchase your design at home:

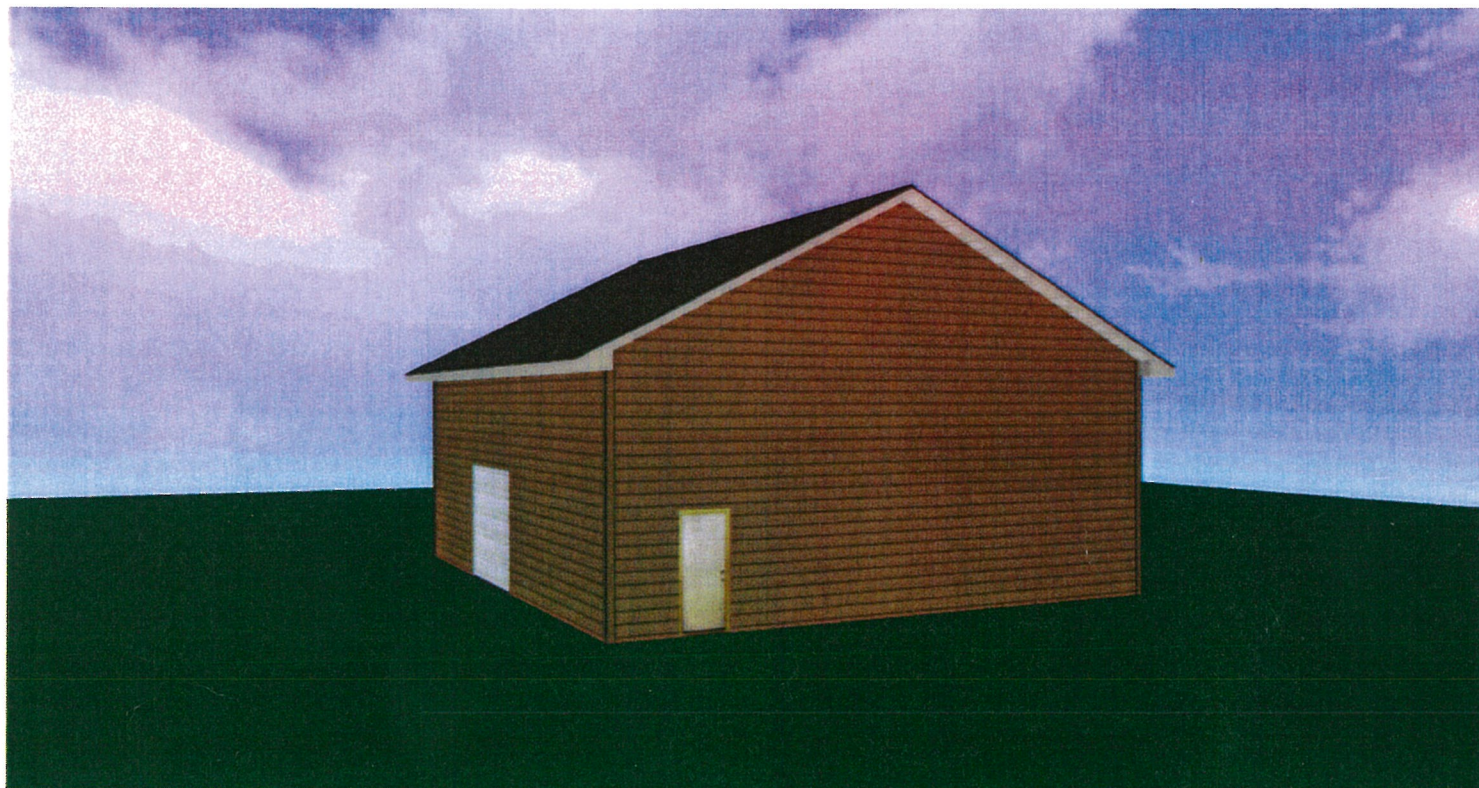


OR

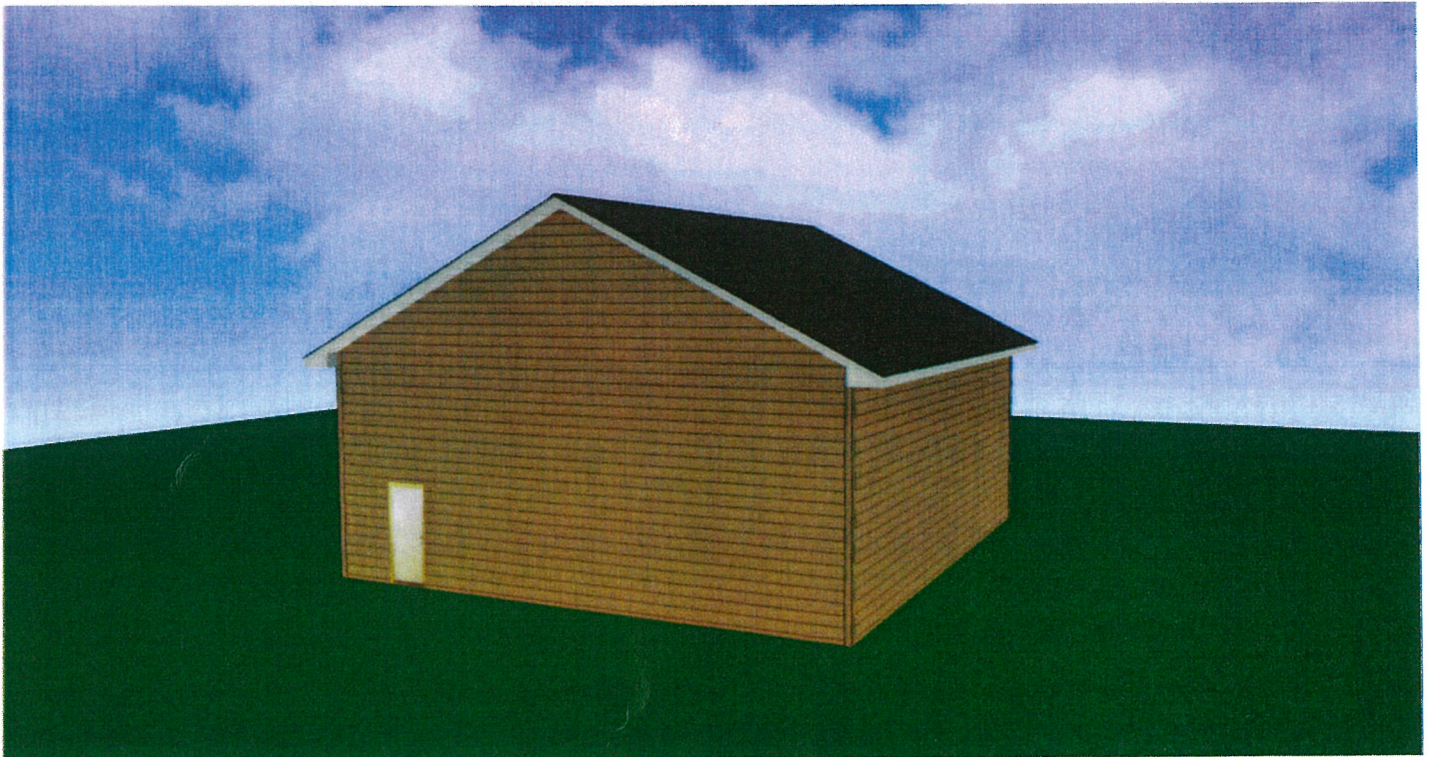
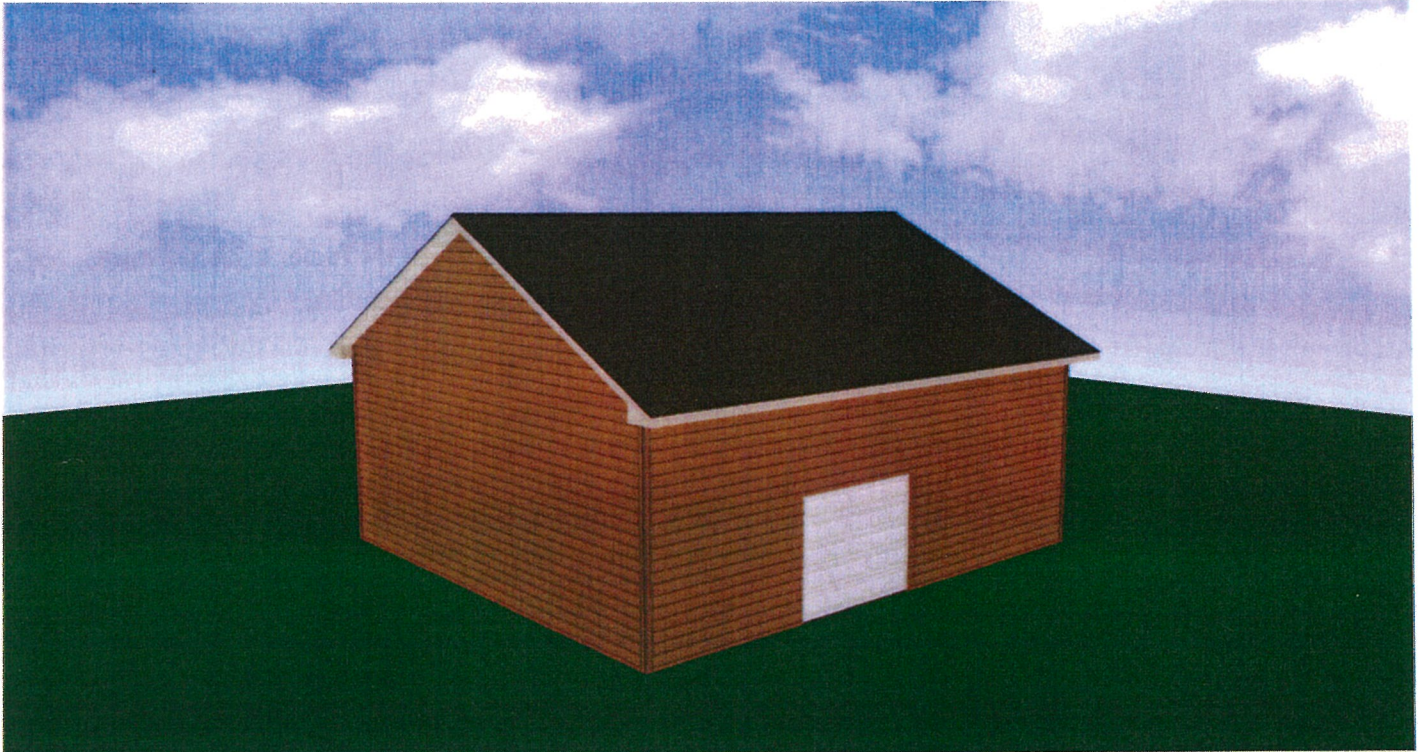
1. On Menards.com, enter "Design & Buy" in the search bar
2. Select the Garage Designer
3. Recall your design by entering Design ID: 307355177995
4. Follow the on-screen purchasing instructions

How to purchase your design at the store:

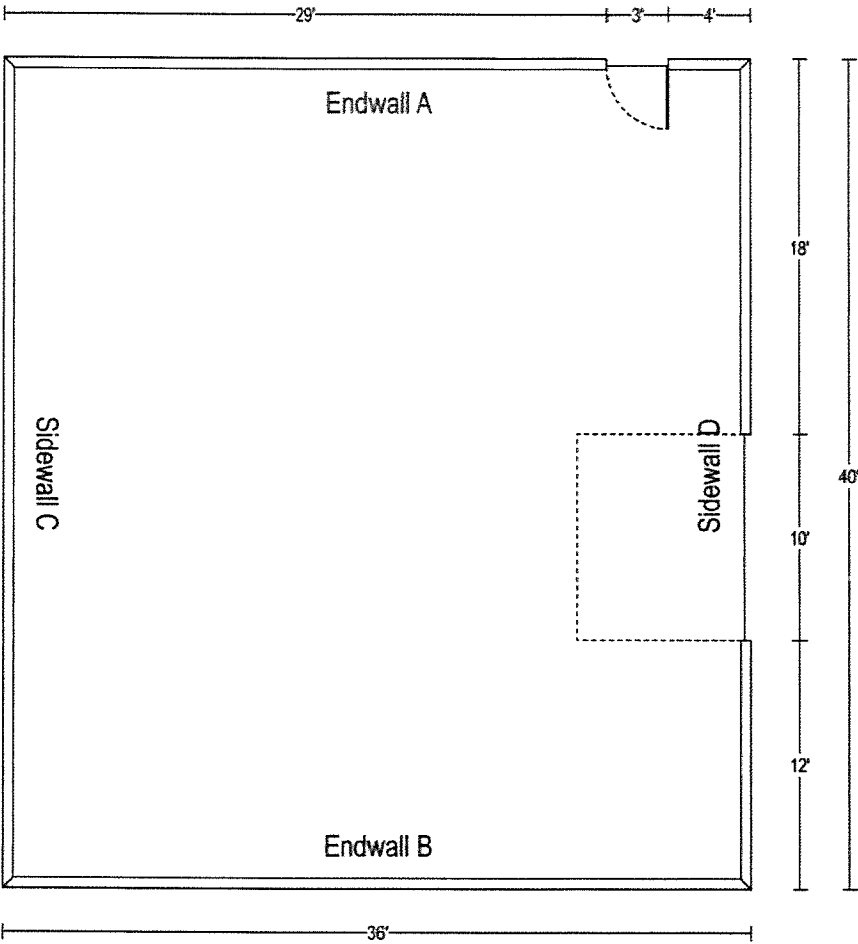
1. Enter Design ID: 307355177995 at the Design-It Center Kiosk in the Building Materials Department
2. Follow the on-screen purchasing instructions



Based on the building design the appropriate truss could not be found. Please use the "Request Truss Design" button to submit the trusses for design by our truss team. If you aren't already signed in we will need to collect some information in order to notify you once your design is complete. If you have further questions please chat or leave a message.



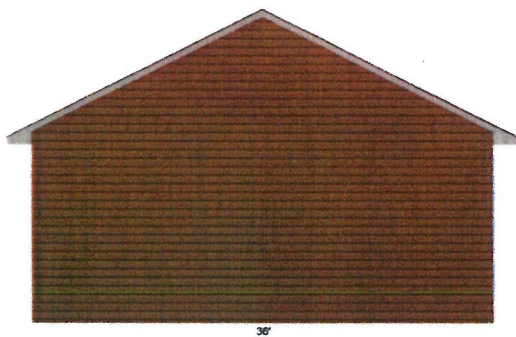
Garage Image



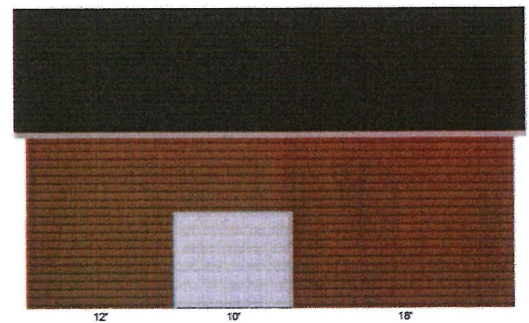
Dimensions

Wall Configurations

*Some items like wainscot, gutter, gable accents, are not displayed if selected.

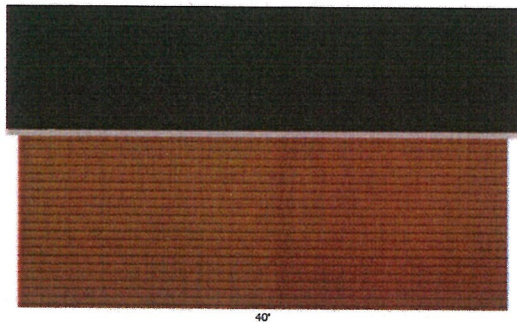


ENDWALL B

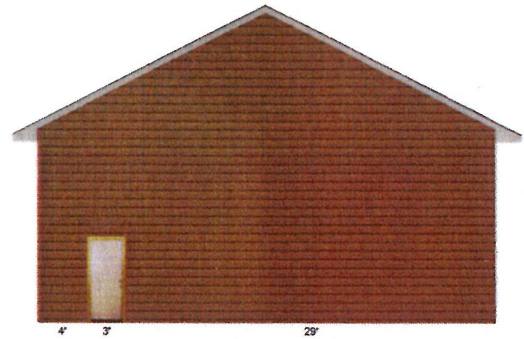


SIDEWALL D

10X8 White Raised Panel Extension Spring



SIDEWALL C



ENDWALL A

Mastercraft® 36W x 80H Primed Steel 6-Panel

MONOLITIC CONCRETE POUR

2x6 LOST 10 FOOT

6 PITCH ROOF / TRUSSES 18" OVERHANG

GABLE ROOF E-W

FOR OFFICE USE ONLY

Verified by Planner (please initial): _____

Payment received from: _____

Petition #: _____

Common Address: _____

Date filed: _____

Meeting date assigned: _____

ZONING BOARD OF APPEALS

JOLIET, ILLINOIS

PETITION FOR VARIATION/APPEAL

City of Joliet Planning Division, 150 W. Jefferson St., Joliet, IL 60432

Ph (815)724-4050 Fax (815)724-4056

ADDRESS FOR WHICH VARIATION IS REQUESTED: 329 PLEASANT

PETITIONER'S NAME: JOHN G. MONIOTES

HOME ADDRESS: 329 PLEASANT ZIP CODE: 60436

BUSINESS ADDRESS: _____ ZIP CODE: _____

PHONE: (Primary) _____ (Secondary) _____

EMAIL ADDRESS: _____

PROPERTY INTEREST OF PETITIONER: OWNER

OWNER OF PROPERTY: SAME

HOME ADDRESS: SAME ZIP CODE: _____

BUSINESS ADDRESS: _____ ZIP CODE: _____

EMAIL ADDRESS: _____ FAX: _____

Any use requiring a business license shall concurrently apply for a business license and submit a copy with this petition. Additionally, if this request is for operation of a business, please provide the following information:

BUSINESS REFERENCES (name, address, phone or email):

N/A

OTHER PROJECTS AND/OR DEVELOPMENTS:

N/A

PERMANENT INDEX NUMBER (TAX NO. OR P. I. N.): _____;
_____; _____;

Property Index Number/P.I.N. can be found on tax bill or Will County Supervisor of Assessments website

LEGAL DESCRIPTION OF PROPERTY (an attached copy preferred):

LOT SIZE: WIDTH: _____ DEPTH: _____ AREA: _____

PRESENT USE(S) OF PROPERTY: SINGLE FAMILY

PRESENT ZONING OF PROPERTY: SINGLE FAMILY

VARIATION/APPEAL REQUESTED: _____

BUILD A 40' X 36' GARAGE
APPROX 300 SQ FT BIGGER THAN HOME FOOTPRINT

RESPONSE TO VARIATION CRITERIA

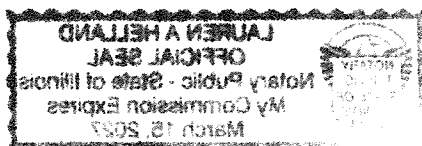
The Zoning Board of Appeals is authorized to grant or recommend relief only when it has received adequate evidence to establish a practical difficulty or hardship. The evidence must support each of the following three conditions:

- (a) The property in question cannot yield a reasonable return by use permitted and subject to the conditions allowed by the regulations in the particular district or zone.
- (b) The plight of the owner is due to unique circumstances.
- (c) The variation, if granted, will not alter the essential character of the locality.

Please describe how this request meets the criteria by responding to the following questions in your own words.

1. How do the applicable zoning regulations prevent the property in question from yielding a reasonable return?

CAN NOT GET NEED SPACE FOR STORAGE &
SMALL HOBBY SHOP



2. What unique circumstances exist which mandate a variance?

SITS ON 1/2 ACRE LOT
SPACE IS SUITABLE TO ALH&E
NECESSARY SIZE TO FILL STORAGE NEEDS

3. What impact would the granting of this variance have upon the essential character of the general area? Please include both positive and negative impacts.

ADD TO
REMOVAL OF OLD STRUCTURE ADDING
NEW TO MIMIC HOME
MAY

REQUIRED SUPPORTING ATTACHMENTS

- ☐ Site plan / concept plan / floor plan / building elevation plan
- ☐ Joliet Ownership Disclosure form
- ☐ Business license application (if applicable)

NOTARIZATION OF PETITION

STATE OF ILLINOIS) ss
COUNTY OF WILL)

I, JOHN W. MONROE, depose and say that the above statements are true and correct to the best of my knowledge and belief. I agree to be present in person or by representation when this petition is heard before the Zoning Board of Appeals.

[Redacted Signature]

Petitioner's Signature

Owner's Signature
(If other than petitioner)

Subscribed and sworn to before me
this 1 day of July, 2026

[Redacted Notary Signature]



CITY OF JOLIET OWNERSHIP DISCLOSURE FORM

The City of Joliet requires that applicants for zoning relief, subdivision approval, building permits and business licenses disclose the identity of all persons having an ownership interest in the business and the real property associated with the application. A copy of this form must be completed and submitted with other application materials. Failure to properly complete and submit this form may result in the denial of the application.

I. INFORMATION ABOUT THE APPLICATION

This form is submitted as part of an application for the following (check all that apply):

- ☐ Rezoning, Special Use Permit, Variation, or Other Zoning Relief (Complete Sections II and III)
- ☐ Preliminary Plat, Final Plat, or Record Plat of Subdivision (Complete Sections II and III)
- ☐ Building Permit (Complete Sections II and III)
- ☐ Business License (Complete All Sections)

II. INFORMATION ABOUT THE PROPERTY

The address and PIN(s) of the real property associated with this application are:

PIN(s): _____

III. PROPERTY OWNERSHIP

Select the type of owner of the real property associated with this application and fill in the appropriate contact information below:

- | | |
|---|--|
| ☒ Individual: | State the names, addresses, and phone #'s of the individual owner(s) |
| ☐ Corporation: | State the names, addresses, and phone #'s of all persons holding 3% or more of the stock of the corporation and the percentage of shares held by such stockholders |
| ☐ Limited Liability Company: | State the names, addresses, and phone #'s of all members of the company along with the percentage of ownership held by each member |
| ☐ Land Trust: | State the names, addresses, and phone #'s of the trustee(s) and all beneficiaries |
| ☐ Partnership: | State the names, addresses, and phone #'s of all partners |
| ☐ Other type of organization: | State the names, addresses, and phone #'s of all persons having a legal or equitable ownership interest in the organization or the right to direct the affairs of the organization |

JOHN G. NONCOTES

E-MAIL: _____ FAX: _____

IV. BUSINESS OWNERSHIP

If the owner of the business is different than the owner of the real property associated with the application, then the following information must be provided:

Select the type of business owner associated with this application and fill in the contact information below:

- ☐ **Individual:** State the names, addresses, and phone #'s of the individual owner(s)
- ☐ **Corporation:** State the names, addresses, and phone #'s of all persons holding 3% or more of the stock of the corporation and the percentage of shares held by such stockholders
- ☐ **Limited Liability Company:** State the names, addresses, and phone #'s of all members of the company along with the percentage of ownership held by each member
- ☐ **Partnership:** State the names, addresses, and phone #'s of all partners
- ☐ **Other type of organization:** State the names, addresses, and phone #'s of all persons having a legal or equitable ownership interest in the organization

E-MAIL: _____ FAX: _____

NOTE:

If a stockholder, member, beneficiary or partner disclosed in Section III or Section IV is not an individual, then the individuals holding the legal or equitable title to the real property or business associated with the application must also be disclosed. For example, if the real property associated with an application is owned by a land trust, and the beneficiary of the land trust is a limited liability company, then the members of the limited liability company must be disclosed. If one of the members of the limited liability company is a partnership, then the identity of the partners must be disclosed. If one of the partners is a corporation, then all persons owning 3% or more of the issued stock must be disclosed.

SIGNED: 

DATE: 1 JULY 20

Name, Title, and Telephone Numbers of Person Completing and Submitting This Form:

PRINT

ZONING BOARD OF APPEALS
CRITERIA FOR VARIATIONS

Section 47-19.8 of the Zoning Ordinance states:

A variation shall not be granted in any case unless the Board shall find and clearly state in its record of the case that:

	Does the evidence presented sustain this criteria?	Comments
(1) Reasons sustaining the contention that strict enforcement of the Ordinance would involve practical difficulties or impose exceptional hardship were found as follows: (a) _____ (b) _____ (c) _____ (list of reasons)		
(2) Adequate evidence was submitted to establish practical difficulties or particular hardship so that, in the judgment of the Board, a variation is permitted because the evidence sustained the existence of each of the three following conditions: (a) The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in the particular district or zone. (b) The plight of the owner is due to unique circumstances. (c) The variation, if granted, will not alter the essential character of the locality.		
(3) A public hearing was held on such variation of which at least 15 days and not more than 30 days notice was published in the _____ (name of newspaper) on _____ (date).		