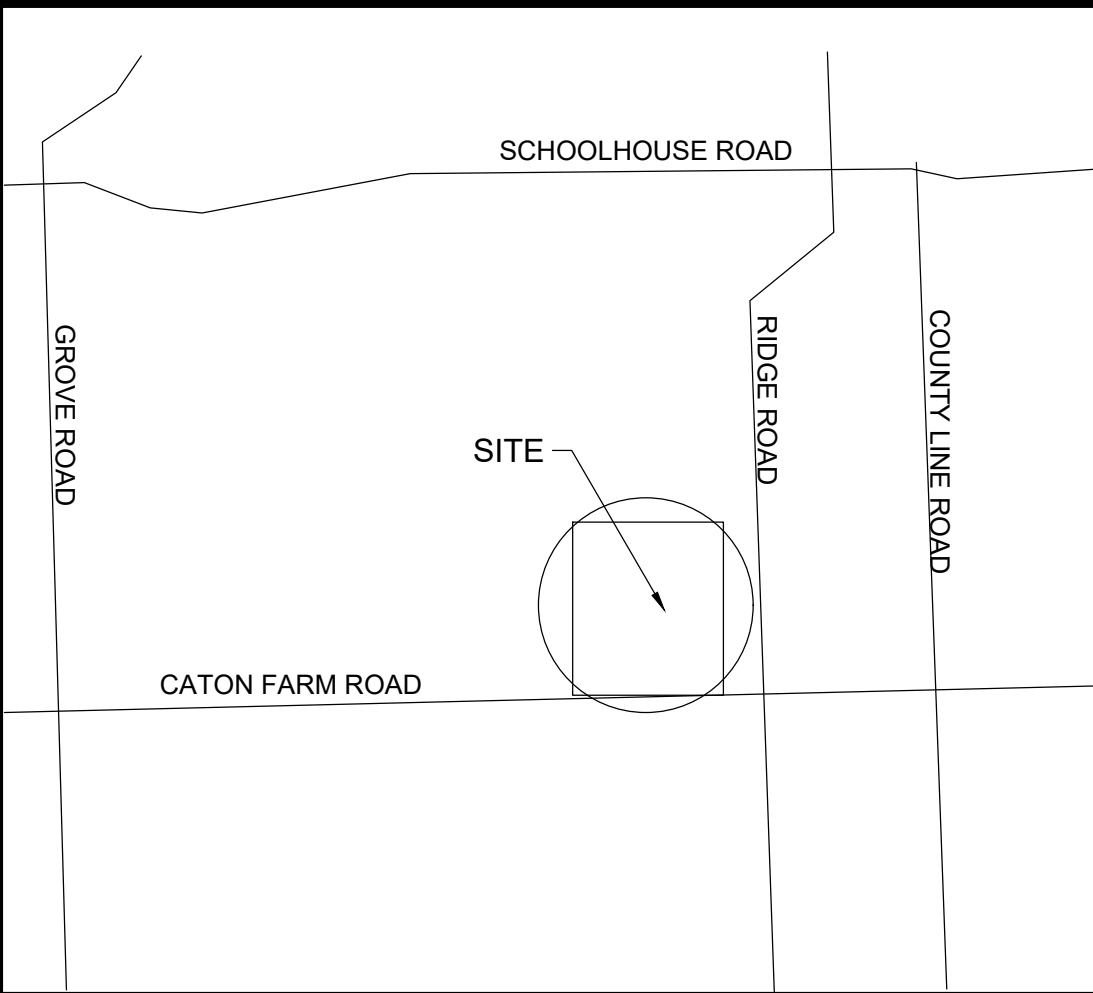




FLOODPLAIN: ACCORDING TO FEMA FIRM MAP 17093C0135H EFF. 1/8/2014 NO FLOODPLAIN EXISTS ON THIS SITE. ALL OF THE SITE IS WITHIN ZONE "X" (AREAS OF MINIMAL FLOOD HAZARD).

TOPOGRAPHY
TOPOGRAPHIC SURVEY PREPARED BY V3 COMPANIES DATED 09/05/2024
TOPOGRAPHIC SURVEY PREPARED BY V3 COMPANIES DATED 11/21/2024

THIS PLAT IS NOT
FOR RECORD

OWNER / DEVELOPER

McNaughton Development
11S220 S. Jackson, St.
Burr Ridge, IL 60527-6818
630.325.3400

ENGINEER/SURVEYOR

V3 Companies, Ltd.
7325 Janes Avenue, Suite 100
Woodridge, Illinois 60517
630.724.9200

AREA TABLE - PHASE 3

SINGLE FAMILY LOTS	650,150 SQ. FT.	14.9254 AC.
RIGHT OF WAY HEREBY DEDICATED	137,426 SQ. FT.	3.1549 AC.
TOTAL AREA THIS SUBDIVISION	787,576 SQ. FT.	18.0803 AC.

LEGAL DESCRIPTION

PARCEL 1:

THE EAST 60 ACRES OF THE SOUTHWEST 1/4 OF SECTION 26, TOWNSHIP 36 NORTH, RANGE 8, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN THE TOWNSHIP OF NA-AU-SAY, KENDALL COUNTY, ILLINOIS.

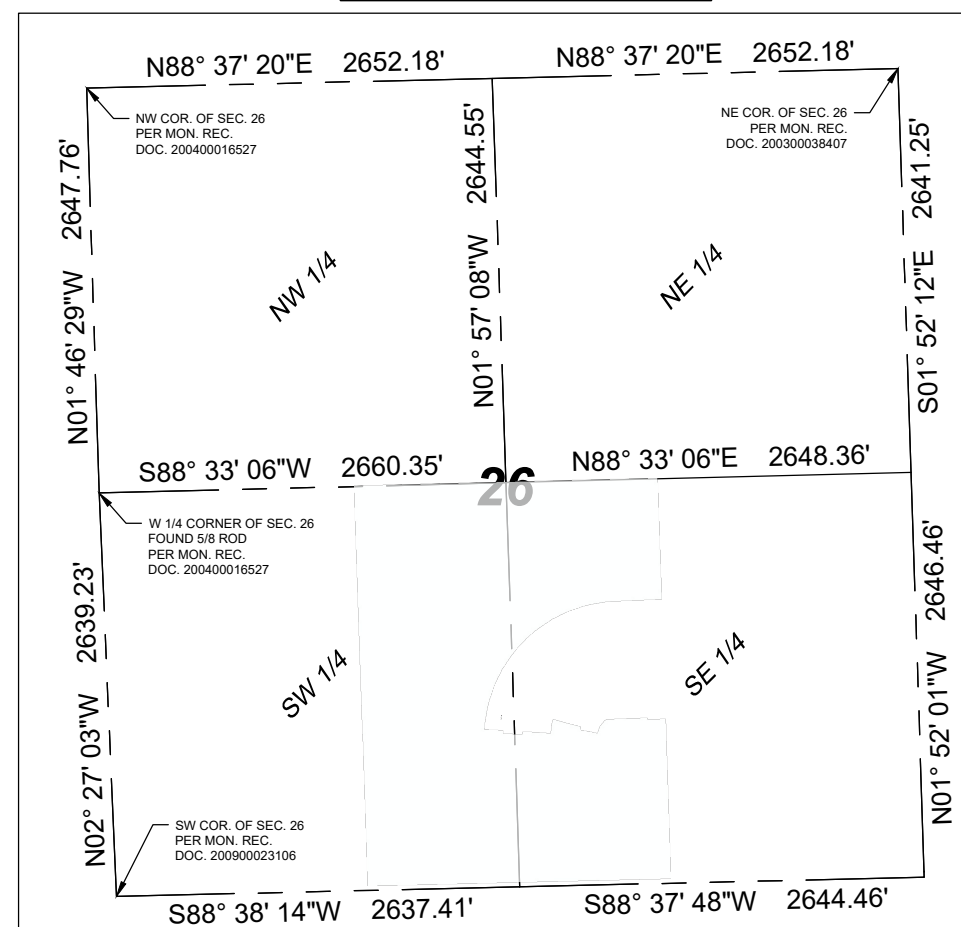
PARCEL 2:

THE WEST 60 ACRES OF THE SOUTHEAST 1/4 OF SECTION 26, TOWNSHIP 36 NORTH, RANGE 8, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN THE TOWNSHIP OF NA-AU-SAY, KENDALL COUNTY, ILLINOIS.

USE EXCEPTIONS

- EXCEPTION TO REDUCE THE REQUIRED ROW FROM 66' TO 60'.
- EXCEPTION TO ALLOW 4.45 DWELLING UNITS PER ACRE IN THE PROPOSED R-2 ZONING AREA INSTEAD OF THE MAXIMUM ALLOWABLE DENSITY OF 2.5 DWELLING UNITS PER ACRE, PER THE KENDALL COUNTY LAND USE PLAN.
- EXCEPTION TO ALLOW 9.42 DWELLING UNITS PER ACRE IN THE PROPOSED R-4 ZONING AREA INSTEAD OF THE MAXIMUM ALLOWABLE DENSITY OF 6 DWELLING UNITS PER ACRE, PER THE REGULATIONS OF THE R-4 ZONING DISTRICT.
- EXCEPTION TO ALLOW ROUNDABOUT AND EYEBROW RADI TO BE REDUCED FROM 75' TO 60'.
- EXCEPTION TO REDUCE THE REQUIRED ROW OF GREYWALL BOULEVARD FROM 75' TO 70'.
- REQUESTING AN EXCEPTION TO THE USE OF BRICK OR STONE IN EXTERIOR ELEVATIONS, PER SECTION 47-17.30(E) OF THE CITY'S ZONING ORDINANCE, TO ALLOW THE ATTACHED ELEVATIONS.

SECTION 26-36-8

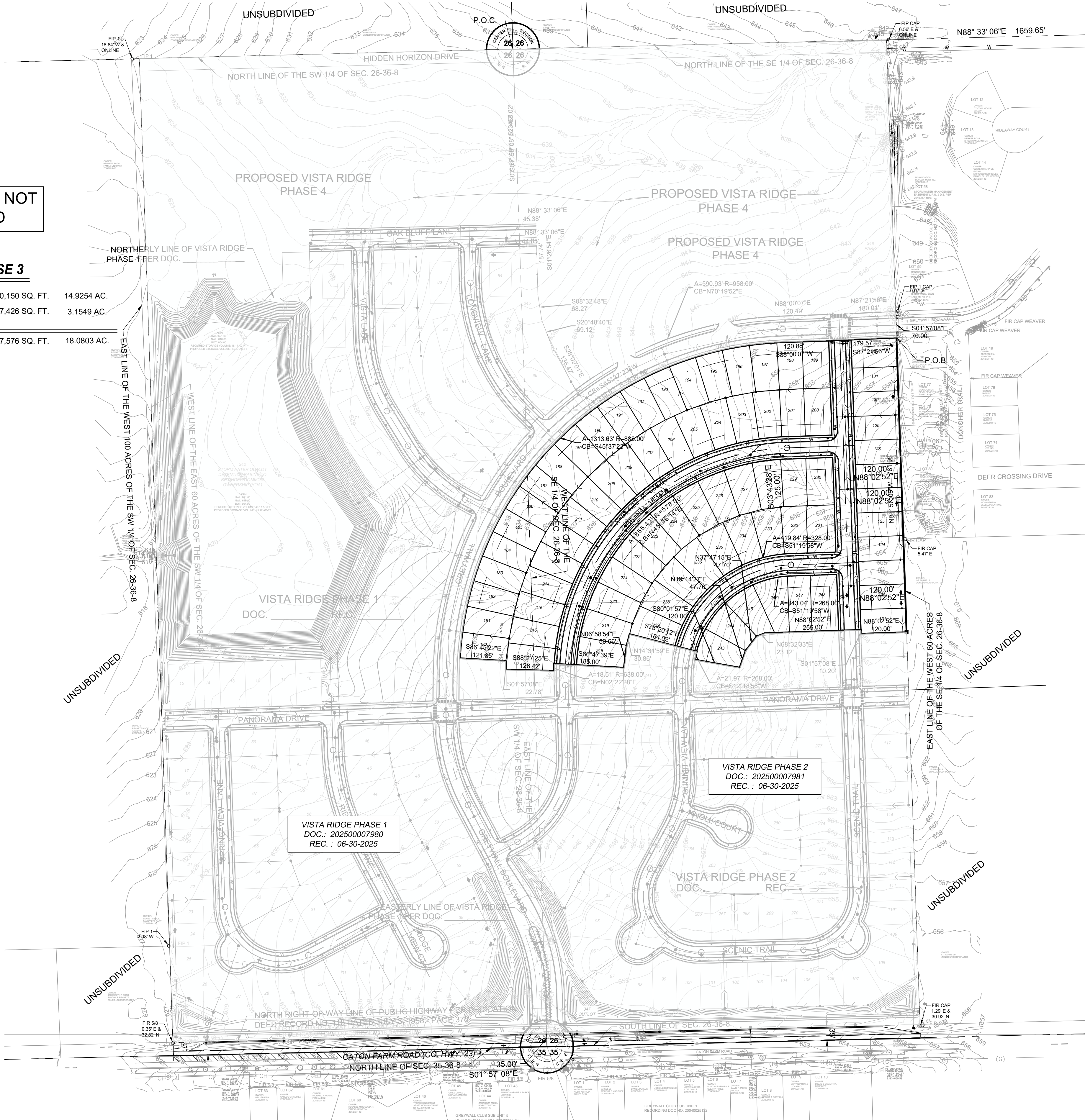


NOTES

- ONCE THE PLAT SHOWN HEREON IS RECORDED AND UPON COMPLETION OF CONSTRUCTION, 5/8" IRON RODS WITH PLASTIC CAPS SHALL BE SET AT ALL LOT CORNERS AND CHANGES IN GEOMETRY, UNLESS SHOWN OTHERWISE.
- ALL MEASUREMENTS AND DISTANCES ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF. ARC DISTANCES ARE ALONG ALL CURVES.
- SINGLE FAMILY ZONING R-2

**FINAL PLAT
OF RESUBDIVISION OF
LOT 1 OF VISTA RIDGE, PHASE 3
- A PLANNED UNIT DEVELOPMENT**

PART OF SECTION 26, TOWNSHIP 36 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN THE TOWNSHIP OF NA-AU-SAY, KENDALL COUNTY, ILLINOIS



CITY COUNCIL CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF WILL)

APPROVED AND ACCEPTED BY THE MAYOR AND THE CITY COUNCIL OF THE CITY OF JOLIET, ILLINOIS, AT A MEETING HELD THE ____ DAY OF _____, A.D., 20__.

APPROVED BY ORDINANCE NO. _____

MAYOR _____

CITY CLERK _____

PLAN COMMISSION CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF WILL)

APPROVED BY THE PLAN COMMISSION OF THE CITY OF JOLIET, WILL COUNTY, ILLINOIS

THIS ____ DAY OF _____, A.D., 20__.

CHAIRMAN OF THE PLAN COMMISSION _____

SECRETARY _____

LEGEND

EXISTING	PROPOSED	DESCRIPTION
		SANITARY SEWER
		SANITARY FORCE MAIN
		STORM SEWER
		COMBINED SEWER
		WATER MAIN
		OVERHEAD ELECTRIC LINE
		OVERHEAD ELECTRIC POLE
		UTILITY STRUCTURE WITH CLOSED LID
		CURB INLET
		DRAINAGE STRUCTURE WITH OPEN LID
		FIRE HYDRANT
		VALVE IN VALVE BOX
		GATE VALVE IN VALVE VAULT
		FLARED END SECTION (F.E.S.)
		CONTOUR
		STORMWATER OVERFLOW ROUTE
		RIGHT-OF-WAY LINE
		PROPERTY LINE (EXTERIOR)
		LOT LINE (INTERIOR)
		EASEMENT LINE
		CENTERLINE
		B-6.12 CURB & GUTTER

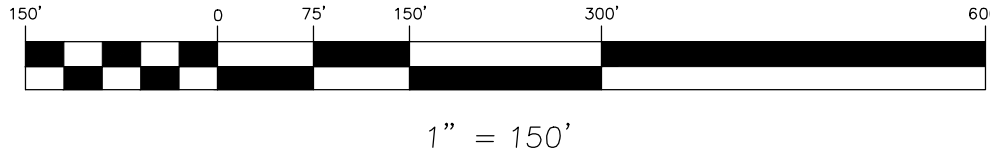
SITE DATA- PHASE 3

PHASE 3 AREA	= 18.0803 AC.
ROW DEDICATION	= 3.1549 AC.
78 SINGLE FAMILY LOTS + ROW	= 18.0803 AC.
GROSS LAND USE (78 LOTS + ROW)	= 100%
NET LAND USE (78 LOTS W/OUT ROW)	= 14.9254 AC.
SINGLE FAMILY DENSITY (78/14.9254)	= 5.22 DU/AC
MINIMUM LOT SIZE	= 7,600 SF
MAXIMUM LOT SIZE	= 10,386 SF
AVERAGE LOT SIZE	= 8,335 SF

BASIS OF BEARINGS

THE BASIS OF BEARINGS IS THE STATE PLANE COORDINATE SYSTEM (SPCS) NAD 83 (2011) ZONE 1201 (ILLINOIS - EAST) WITH PROJECT ORIGIN AT LATITUDE: 41-33-52.32432 N LONGITUDE: 88-17-04.93388 W ELLIPSOIDAL HEIGHT: 549.261 SFT GROUND SCALE FACTOR: 1.0000510085 GEOID 18US ALL MEASUREMENTS ARE ON THE GROUND.

GRAPHIC SCALE



BENCHMARK

SOURCE:

STATION DESIGNATION: DP5475
ESTABLISHED BY: V3
DATE: 2013

ELEVATION: 603.19 (PUBLISHED AND HELD)
DATUM: NAVD83
DESCRIPTION: STAINLESS STEEL ROD IN CASE 8 FEET WEST OF THE EDGE OF PAVEMENT OF STATE HIGHWAY 59 AND 50 FEET SOUTH OF A LIGHT POLE AND 17 FEET EAST OF THE EAST EDGE OF A SIDEWALK.
LAT 41-33-53.1; LONG 88-12-01.2

SITE
STATION DESIGNATION: SBM #1
ESTABLISHED BY: V3
DATE: 08-27-2024

ELEVATION: 633.15 (MEASURED)
DATUM: NAVD83
DESCRIPTION: NW BOLL ON LIGHT STANDARD 4 FEET SOUTH OF SOUTH CURB LINE OF CATON FARM ROAD AND 809 FEET WEST OF WEST CURB LINE OF GREYWALL BOULEVARD.

SITE
STATION DESIGNATION: SBM #2
ESTABLISHED BY: V3
DATE: 08-27-2024

ELEVATION: 652.81 (MEASURED)
DATUM: NAVD83
DESCRIPTION: SET CUT CROSS IN SOUTH CURB OF CATON FARM ROAD 363 FEET EAST OF EAST CURB LINE OF GREYWALL BOULEVARD.

THE ELEVATIONS ABOVE WERE KNOWN TO BE ACCURATE AT THE TIME THEY WERE ESTABLISHED. V3 DOES NOT CERTIFY TO THE ACCURACY THEREAFTER, NOR ASSUMES RESPONSIBILITY FOR THE MIS-USE OR MIS-INTERPRETATION OF THE INFORMATION SHOWN HEREON.

IT IS ADVISED THAT ALL OF THE ABOVE ELEVATIONS BE CHECKED BETWEEN EACH OTHER AND VERIFY A MINIMUM OF 3 SURROUNDING UTILITY RIM ELEVATIONS AND ANY ADJACENT BUILDING FINISHED FLOOR OR TOP OF FOUNDATION ELEVATIONS SHOWN HEREON PRIOR TO USE OR COMMENCEMENT OF ANY CONSTRUCTION OR OTHER WORK.

PERSONS USING THIS INFORMATION ARE TO CONTACT V3 IMMEDIATELY WITH ANY DISCREPANCIES FOUND PRIOR TO THE START OF ANY WORK.

LEGEND

	SECTION CORNER
	SUBDIVISION BOUNDARY LINE
	UNDERLYING LOT LINE
	EXISTING LOT LINE
	PROPOSED LOT LINE
	EXISTING EASEMENT LINE
	PROPOSED EASEMENT LINE
	BUILDING SETBACK LINE
	SECTION LINE

N	NORTH
S	SOUTH
E	EAST
W	WEST
CB	CHORD BEARING
A	ARC LENGTH
R	RADIUS
PU&DE	PUBLIC UTILITY & DRAINAGE EASEMENT
D.E.	DRAINAGE EASEMENT
(0.00')	RECORD DATUM
0.00'	CALCULATED DATUM
■	SET CONCRETE MONUMENT
B.S.L.	BUILDING SETBACK LINE
○ FIP	FOUND IRON PIPE W/SIZE



Engineers
Scientists
Surveyors

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Woodridge, IL 60517
630.724.9200 voice
630.724.0384 fax
v3co.com

PREPARED FOR:
McNaughton Development
11S220 S. Jackson, St. 101
Burr Ridge, IL 60527-6818
630.325.3400

NO.	DATE	DESCRIPTION	REVISIONS	NO.	DATE	DESCRIPTION
1	05-01-26	REVISED PER CITY COMMENTS				
2	06-02-26	REVISED PER CITY COMMENTS				

FINAL PLAT

LOT 1 OF VISTA RIDGE, PHASE 3
A PLANNED UNIT DEVELOPMENT

DRAFTING COMPLETED: 1-27-25
FIELD WORK COMPLETED: N/A

DRAWN BY: MG
CHECKED BY: RMW

PROJECT MANAGER: CDB
SCALE: 1" = 150'

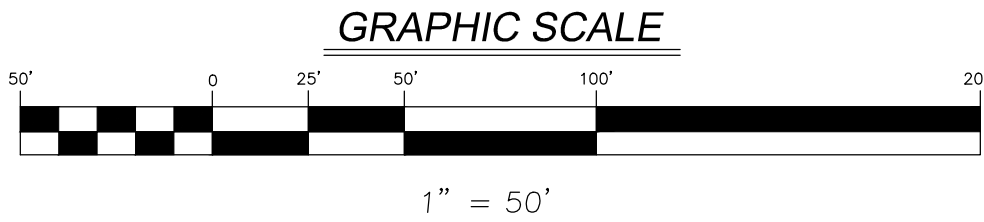
Project No: 241015
Group No: VP04.7

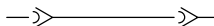
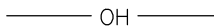
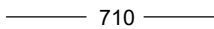
SHEET NO.
1 of 3

THIS PLAT IS NOT
FOR RECORD

FINAL PLAT
OF RESUBDIVISION OF
LOT 1 OF VISTA RIDGE, PHASE 3 - A PLANNED UNIT DEVELOPMENT

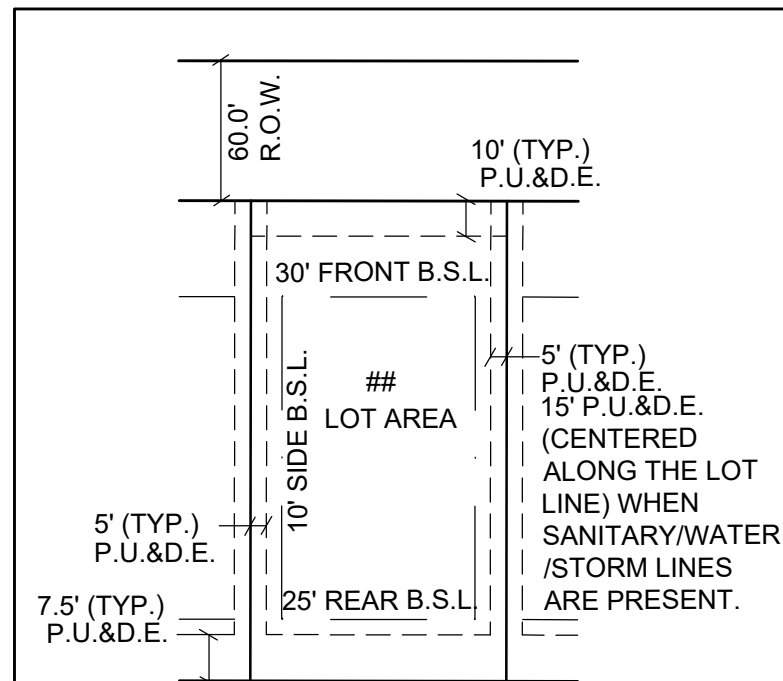
PART OF SECTION 26, TOWNSHIP 36 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL
MERIDIAN, IN THE TOWNSHIP OF NA-AU-SAY, KENDALL COUNTY, ILLINOIS.



LEGEND		
EXISTING	PROPOSED	DESCRIPTION
		SANITARY SEWER
		SANITARY FORCE MAIN
		STORM SEWER
		COMBINED SEWER
		WATER MAIN
		OVERHEAD ELECTRIC LINE
		OVERHEAD ELECTRIC POLE
		UTILITY STRUCTURE WITH CLOSED LID
		CURB INLET
		DRAINAGE STRUCTURE WITH OPEN LID
		FIRE HYDRANT
		VALVE IN VALVE BOX
		GATE VALVE IN VALVE VAULT
		FLARED END SECTION (F.E.S.)
		CONTOUR
		STORMWATER OVERFLOW ROUTE
		RIGHT-OF-WAY LINE
		PROPERTY LINE (EXTERIOR)
		LOT LINE (INTERIOR)
		EASEMENT LINE
		CENTERLINE
		B-6.12 CURB & GUTTER

LEGEND	
	SECTION CORNER
	SUBDIVISION BOUNDARY LINE
	UNDERLYING LOT LINE
	EXISTING LOT LINE
	PROPOSED LOT LINE
	EXISTING EASEMENT LINE
	PROPOSED EASEMENT LINE
	BUILDING SETBACK LINE
	SECTION LINE
N	NORTH
S	SOUTH
E	EAST
W	WEST
CB	CHORD BEARING
A	ARC LENGTH
R	RADIUS
PU&DE	PUBLIC UTILITY & DRAINAGE EASEMENT
D.E.	DRAINAGE EASEMENT
(0.00')	RECORD DATUM
0.00'	CALCULATED DATUM
■	SET CONCRETE MONUMENT
B.S.L.	BUILDING SETBACK LINE
○ FIP	FOUND IRON PIPE W/SIZE

TYPICAL LOT DETAIL
N.T.S.



Engineers
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PREPARED FOR:
McNaughton Development
11S220 S. Jackson, St. 101
Burr Ridge, IL 60527-6818
630.325.3400

NO.		DATE		DESCRIPTION	
1	05-01-26	REVISED PER CITY COMMENTS			
2	06-02-26	REVISED PER CITY COMMENTS			

FINAL PLAT		Project No:		241015	
LOT 1 OF VISTA RIDGE, PHASE 3 - A PLANNED UNIT DEVELOPMENT		Group No:		VP04.7	
DRAFTING COMPLETED: 1-27-25		DRAWN BY: MG		PROJECT MANAGER: CDB	
FIELD WORK COMPLETED: N/A		CHECKED BY: RMW		SCALE: 1" = 150'	
				SHEET NO.	
				2 of 3	

FINAL PLAT
OF RESUBDIVISION OF
LOT 1 OF VISTA RIDGE, PHASE 3 - A PLANNED UNIT DEVELOPMENT

PUBLIC UTILITIES AND DRAINAGE EASEMENT PROVISIONS

EASEMENTS ARE HEREBY RESERVED AND GRANTED TO THE CITY OF JULIET AND OTHER GOVERNMENTAL AUTHORITIES HAVING JURISDICTION OF THE LAND SUBDIVIDED HEREBY, OVER THE ENTIRE EASEMENT AREA FOR INGRESS, EGRESS AND THE PERFORMANCE OF MUNICIPAL AND OTHER GOVERNMENTAL SERVICES, INCLUDING BUT NOT LIMITED TO, WATER, STORM AND SANITARY SEWER SERVICE AND MAINTENANCE. THERE IS HEREBY RESERVED FOR AND GRANTED TO THE CITY AN EASEMENT FOR RIGHT OF ACCESS ON, OVER, ALONG AND UNDER THE LAND SUBDIVIDED HEREBY FOR THE LIMITED PURPOSE OF READING, EXAMINING, INSPECTING, INSTALLING, OPERATING, MAINTAINING, REPAIRING, REMOVING, REPLACING, TESTING, AND/OR REPLACING CITY OWNED UTILITY EQUIPMENT AND METERS WHICH SERVE SAID PROPERTY, INCLUDING NECESSARY PERSONNEL AND EQUIPMENT TO DO ANY OF THE ABOVE WORK.

I, CHRISTOPHER D. BARTOSZ, ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3189, DO HEREBY AUTHORIZE THE CITY OF JOLIET OR THEIR AGENT TO FILE WITH THE KENDALL COUNTY RECORDER'S OFFICE THE RECORD PLAT KNOWN AS VISTA RIDGE PHASE 3, BEING A SUBDIVISION OF PART OF SECTION 26, TOWNSHIP 36 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN THE TOWNSHIP OF NA-AU-SAY, KENDALL COUNTY, ILLINOIS.

SURVEYOR'S CERTIFICATE

THIS IS TO CERTIFY THAT I, CHRISTOPHER D. BARTOSZ, ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3189 HAVE SURVEYED AND SUBDIVIDED THE FOLLOWING DESCRIBED PROPERTY:

THAT PART OF THE EAST 60 ACRES OF THE SOUTHWEST 1/4 OF SECTION 26 TOGETHER WITH THAT PART OF THE WEST 60 ACRES OF THE SOUTHEAST 1/4 OF SAID SECTION 26, ALL IN TOWNSHIP 36 NORTH, RANGE 8, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN THE TOWNSHIP OF NA-AU-SAY, KENDALL COUNTY, ILLINOIS, DESCRIBED AS FOLLOWS:

LOT 1, VISTA RIDGE PHASE 3 PER DOC 202500007982

I FURTHER CERTIFY THAT THIS LAND IS WITHIN THE CORPORATE LIMITS OF A MUNICIPALITY WHICH HAS AUTHORIZED A COMPREHENSIVE PLAN AND IS EXERCISING THE SPECIAL POWERS AUTHORIZED BY DIVISION 12 OF ARTICLE 11 OF THE ILLINOIS MUNICIPAL CODE, AS NOW OR HEREAFTER AMENDED.

I FURTHER CERTIFY THAT THE ANNEXED PLAT IS A CORRECT REPRESENTATION OF SAID SURVEY AND SUBDIVISION. ALL DISTANCES ARE SHOWN IN FEET AND DECIMALS THEREOF. PERMANENT MONUMENTS WILL BE SET AT ALL LOT CORNERS AND CHANGES OF DIRECTION, EXCEPT WHERE CONCRETE MONUMENTS ARE INDICATED.

I FURTHER CERTIFY THAT THE ABOVE DESCRIBED PROPERTY IS IN AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN (ZONE X) AS DEFINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP OF KENDALL COUNTY, ILLINOIS & INCORPORATED AREAS (COMMUNITY PANEL NO. 17093C0135H) EFFECTIVE DATE 1/8/2014.

DATED THIS _____ DAY OF _____, A.D., 20____

CHRISTOPHER D. BARTOSZ
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 35-3189
MY LICENSE EXPIRES ON NOVEMBER 30, 2026.
V3 COMPANIES, LTD. PROFESSIONAL DESIGN FIRM NO. 184000902
THIS DESIGN FIRM NUMBER EXPIRES APRIL 30, 2025.
cdbartosz@v3co.com

A circular professional seal for Christopher D. Bartosz, a Professional Land Surveyor in the State of Illinois. The seal features the text "CHRISTOPHER D. BARTOZ" around the top inner edge and "WOODRIDGE, ILLINOIS" around the bottom inner edge. In the center, it reads "#3189 PROFESSIONAL LAND SURVEYOR STATE OF ILLINOIS".

NOTES

1. The right of way width, pavement widths, and pavement thicknesses indicated on this sheet are minimums required by the City of Joliet. Greater dimensions may be provided and the City of Joliet may require greater dimensions as determined by the City. The developer/contractor shall review the plat and the plans to confirm the various widths indicated on this sheet and shall report any discrepancy to the City prior to proceeding with construction.
2. The location of proposed utilities as indicated hereon are based upon the experience of the City of Joliet and are so indicated to ensure the orderly development of the land. Strict adherence to the indicated location is required. Requests to change the location of the proposed utilities shall be submitted in writing to the City of Joliet. Utilities not meeting these requirements shall be removed and replaced as directed by the City of Joliet.
3. Arterial street and divided arterial streets are to be coordinated with the City of Joliet.
4. Local residential streets require only stop bars and crosswalk markings. Markings shall be thermoplastic in accordance with IDOT Standard Specifications. Refer to such drawings covering pavement markings, street signs and traffic control signs. A plan of proposed pavement markings shall be submitted to the City of Joliet for approval.
5. Vertical curves shall be provided with algebraic differences of 1.2% or greater and meet the following: minimum length of 100 feet, minimum K value of 25.
6. Minimum curb radius at the intersection of two local streets shall be twenty (20') feet and the minimum curb radius at an intersection not involving local streets shall be twenty-five (25') feet.
7. The cross slope on all streets, including intersections, shall be two (2%) percent or less.
8. Subbase and subgrade shall be tested in accordance with the Standard Specifications. Compaction testing shall be at the developer/contractor's expense and shall be performed by an independent laboratory. Test results shall be submitted to the City prior to placing any material on the subbase subgrade. Once in place density test shall be completed for each lift according to the Standard Specifications.
9. Adequacy of subgrade shall be determined solely by the City based on a contractor performed proof roll with a fully loaded tri axle dump truck.
10. The contractor shall submit a detailed paving plan to the City. The paving plan shall show the location and type of jointing to be used in the construction. The location and type of jointing shall meet the requirements of the IDOT Standard Specifications.
6. Hot-Mix Asphalt & Portland Cement Concrete shall be tested in accordance with the Standard Specifications. Testing shall be at the developer/contractor's expense and shall be performed by an independent laboratory. Test results shall be submitted to the City for review. All existing practice and procedures shall meet IDOT QA/QC requirements.
7. Mix designs shall be submitted to the City for approval prior to construction of pavement. Chemical modification of soils per IDOT Standard Specifications shall be performed at the direction of the City of Joliet and be completed to a minimum depth of 14 inches. The mix design shall be determined in accordance with IDOT design procedures for soil modification or stabilization. The proposed design and construction procedure shall be submitted to the City. Unsatisfactory soil modifications, as determined by the City, may require an increase in depth of the aggregate base or binder. Geogrid may be used in lieu of, or in conjunction with, the chemical modification of soils, as directed by the City.
8. Minor arterials, arterials, and major arterials cross sections shall be determined by the IDOT pavement design manual and be approved by the Director of Public Works.
9. All streets constructed, reconstructed, paved, or overlaid (including asphalt, chip seal, slurry seal, or similar process/material) by City forces, under City contract, or under permit shall be accompanied by a warranty bond for a period of three (3) years upon acceptance of the improvements.
10. All streets constructed, reconstructed, paved, or overlaid (including asphalt, chip seal, slurry seal, or similar process/material) by City forces, under City contract, or under permit shall not thereafter be cut or opened for a period of ten years for construction/reconstruction and five years for overlays. If a street is to be opened during the moratorium period, the applicant will be subject to additional paving requirements as determined by the Director of Public Works.
11. Curb flag shall be 9 inches minimum or match pavement thickness, whichever is greater.

PAVEMENT LEGEND

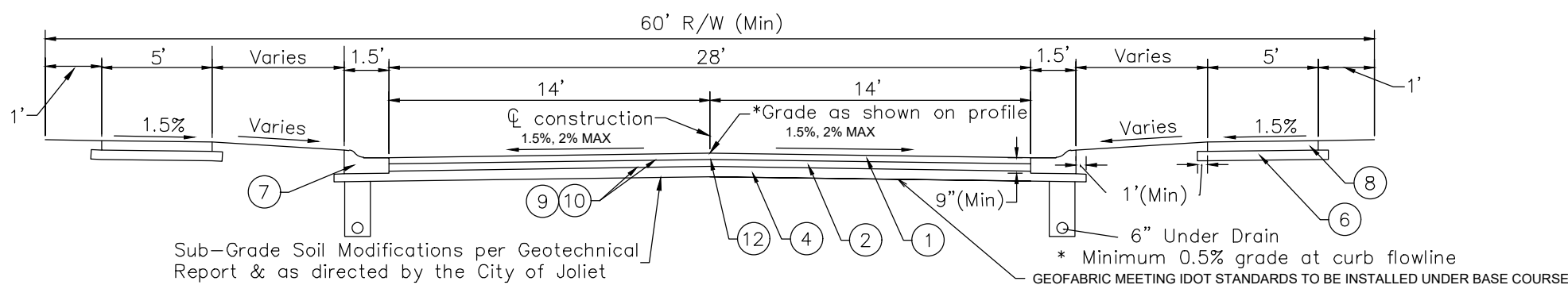
- ① Hot-Mix Asphalt, Surface Course, IL-9.5, Mix "D", N50, 1.5"
- ② Hot-Mix Asphalt, Binder Course, IL-19.0, N50, 2.5"
- ③ Hot-Mix Asphalt, Binder Course, IL-19.0, N50, 4"
- ④ Sub-Base Granular Material, Type B, CA-06, 10"
- ⑤ Sub-Base Granular Material, Type B, CA-06, 6"
- ⑥ Sub-Base Granular Material, Type B, CA-06, 4"
- ⑦ Combination Concrete Curb & Gutter, Type B6.12 / M3.12
- ⑧ Portland Cement Concrete Sidewalk, 5" Thick
- ⑨ Bituminous Material Prime Coat
- ⑩ Aggregate Prime Coat
- ⑪ Strip Reflective Crack Control Treatment (as required)
- ⑫ Longitudinal Joint Sealant (LJS)

HOT-MIX ASPHALT MIXTURE REQUIREMENTS		
MIXTURE TYPE		AIR VOIDS @ Ndes
FLEXIBLE DEPTH PAVEMENT		
HOT-MIX ASPHALT SURFACE COURSE, MIX "D", N50 (I-9.5mm);	1½"	4% @ 50 Gyr.
HOT-MIX ASPHALT BINDER COURSE, I-19.0, N50, 2½"		4% @ 50 Gyr.
DRIVEWAYS		
HOT-MIX ASPHALT SURFACE COURSE, MIX "D", N50 (I-9.5mm)		4% @ 50 Gyr.

THE WEIGHT USED TO CALCULATE ALL HMA SURFACE MIXTURE QUANTITIES IS 112 LBS/SQ. YD/IN.

THE "AC TYPE" FOR POLYMERIZED HMA MIXES SHALL BE "SBS/SBR PG70-22" AND FOR NON-POLYMERIZED HMA THE "AC TYPE" SHALL BE "PG 64-22" UNLESS MODIFIED BY DISTRICT ONE

SPECIAL PROVISIONS. FOR "PERCENT OF RAP" SEE IDOT DISTRICT ONE SPECIAL PROVISIONS.



LOCAL RESIDENTIAL STREETS — Not to scale



Engineers
Scientists
Surveyors

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Woodridge, IL 60517
630.724.9200 voice
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v3co.com

PREPARED FOR:
McNaughton Development
11S220 S. Jackson, St. 101
Burr Ridge, IL 60527-6818
630.325.3400

[illegible]

FINAL PLAT

LOT 1 OF VISTA RIDGE, PHASE 3 - A PLANNED UNIT DEVELOPMENT
A PLANNED UNIT DEVELOPMENT

Project No: 241015

Group No: VP04.7

DRAFTING COMPLETED:	1-27-25	DRAWN BY:	MG	PROJECT MANAGER:	CDB
FIELD WORK COMPLETED:	N/A	CHECKED BY:	RMW	SCALE:	1" = N/A

SHEET NO. 3 of