

STAFF REPORT

DATE: November 12, 2025
TO: Zoning Board of Appeals
FROM: Helen Miller, Planner
RE: Petition Number: 2025-50
Applicant: Project Development Group LLC
Status of Applicant: Contract Purchaser
Property Owner: David A. Ashby, Mark Ashby, Bonnie Pinnow, and the Ashby Trust
Location: 580 Caton Farm Road
Request: A Special Use Permit to allow a day care facility

Purpose

The applicant is requesting a Special Use Permit to allow a day care facility in the B-1 (neighborhood business) zoning district within a proposed commercial development at 580 Caton Farm Road. Per the City of Joliet Zoning Ordinance, day care facilities may be allowed as Special Uses within commercial zoning districts provided that:

- The use is located not less than 40 feet from any other lot located in a residential district;
- There is not less than 75 square feet of outdoor play area for each child;
- The outdoor play area is enclosed by a fence at least three feet in height.

The Zoning Board of Appeals makes the final decision on this Special Use Permit request.

Site Specific Information

The subject property is part of a 5-acre site that is currently in unincorporated Kendall County with A-1 (agricultural) zoning. The petitioner is proposing the annexation of the site and classification to the City's B-1 (neighborhood business) zoning district in order to develop the property as a commercial center with a day care facility and retail and restaurant uses. Petitions for the annexation, classification, and preliminary Planned Unit Development of 580 Caton Farm Road are scheduled to be heard by the Plan Commission at their November 20, 2025 meeting.

The Planned Unit Development of 580 Caton Farm would create three buildable lots. The lots would be accessed by a new public street that serves the subdivision. The development would also contain access easements along the east-west drive aisles to

provide future access for the adjacent undeveloped lots to the east and west. The subject of the Special Use request is proposed Lot 1. This lot is planned for a day care facility for Children of America and would contain a 10,000-square-foot day care building, a 5,000-square-foot outdoor play area, and surrounding surface parking with around 60 spaces. Proposed Lots 2 and 3 would contain commercial buildings and surface parking for retail and restaurant tenants. Stormwater detention for the subdivision would be on Lot 4 and would be maintained by all lot owners within the PUD.

The Planned Unit Development will address the site layout, exterior building design, and landscaping for the entire subdivision. Any variations from City standards, including the landscape regulations and building design standards, will be included as part of the PUD. The proposed elevations for the day care facility meet the City's Non-Residential Design Standards. If the petitioner chooses to significantly modify the elevations in the future, an amendment to the PUD may be required. Additionally, the PUD will include a variation to allow the day care facility to be located less than 40 feet from any other lot in a residential zoning district. The undeveloped property to the south has R-2 (single-family residential) zoning, and the outdoor play area will be within 40 feet of this shared property line. Significant changes to the approved site layout would also require an amendment to the PUD.

Surrounding Zoning, Land Use and Character

- North: R-2 (single-family residential), residential (detention ponds for Autumn Fields Subdivision)
- South: R-2 (single-family residential), undeveloped / agricultural
- East: Kendall County A-1 (agricultural), residential homestead
- West: R-B (restricted business), undeveloped / agricultural

Applicable Regulations

- Section 47-11.2A Special Uses – B-1 (Neighborhood Business) District
- Section 47-5.2 (A) Special Uses – R-1 (Single-Family Residential) District
- Section 47-5.2 (C) Criteria for issuance of a Special Use Permit
(refer to attachment)

Discussion

The petitioner, Project Development Group LLC, is requesting approval of a Special Use Permit to allow a day care facility as part of a new commercial development at 580 Caton Farm Road. The day care facility would be owned and operated by Children of America, which is a national child-care provider with locations in many states, including Illinois. The facility would be required to meet all state licensing standards for day care centers related to personnel, program requirements, health standards, and building requirements.

The proposed day care facility would have a maximum capacity of 190 children and employ around 25 employees at full capacity. The center would serve children between the ages of 6 weeks and 12 years and also offer before and after care for school-age children. Proposed hours of operation are 6:30 AM to 6:30 PM. The proposed design of the facility reflects the typical layout and appearance for all Children of America facilities. The proposed floor plan shows around 11 classrooms, with a central corridor leading to the outdoor play area on the south side of the building. The building's exterior materials would be a mix of brick, split-face block veneer, and EIFS. Parking would be located along the north and east sides of the building. For drop off and pick up, parents and guardians would park and come inside the building to check in and check out their children. The building is surrounded by a concrete sidewalk for adequate access and egress.

The day care facility proposal includes a 5,000-square-foot outdoor play area enclosed by a fence. The enclosure would be set back 15 feet from the south property line to allow space for the required 15-foot perimeter landscape area adjacent to the undeveloped residentially-zoned property to the south.

Recommended Action

Staff finds that the request meets the special use criteria in that the proposal will not be detrimental to public health and safety, the special use will not impede development of the area, and adequate access is provided. The proposed facility is intended for a national child-care provider and will be required to meet all state day care licensing standards. The day care facility will be part of a new commercial development within a Planned Unit Development. The PUD will regulate the site layout and perimeter landscaping for the entire site. The proposed PUD site plan includes adequate parking for the day care facility as well as the other commercial buildings. Access to the lots will be provided via a new public street off Caton Farm Road. Staff finds that a day care facility is an acceptable use within the B-1 (neighborhood business) zoning district and will be appropriate within the proposed 5-acre commercial subdivision.

Conditions

If the Zoning Board desires to approve the Special Use Permit to allow a day care facility, located at 580 Caton Farm Road, the following conditions would be included:

1. That an outdoor play area shall be provided that includes not less than 75 square feet per each child using the area at any one time;
2. That the outdoor play area shall be enclosed by a fence at least three feet in height;
3. That the Special Use granted shall herein terminate and lapse unless a building permit or certificate of occupancy is obtained not later than 180 days of the

effective date of this ordinance and the erection or alteration of a building is started or the use is commenced within such period. The Board may grant an extension of this period, valid for no more than one hundred and eighty (180) additional days, upon written application and good cause shown without notice or hearing. Whether or not there is an intention to abandon the Special Use, if any special use is discontinued for a continuous period of one year, or if an intent to abandon the Special Use is evident in a shorter period of time, the Special Use for such use shall become void, and such use shall not thereafter be reestablished unless a new Special Use Permit is obtained;

4. Should the property be declared a public nuisance, it shall be subject to a rehearing and a possible revocation of the Special Use Permit.

Figure 1: 5-acre site for the proposed Planned Unit Development of 580 Caton Farm Road, with surrounding zoning (2025)

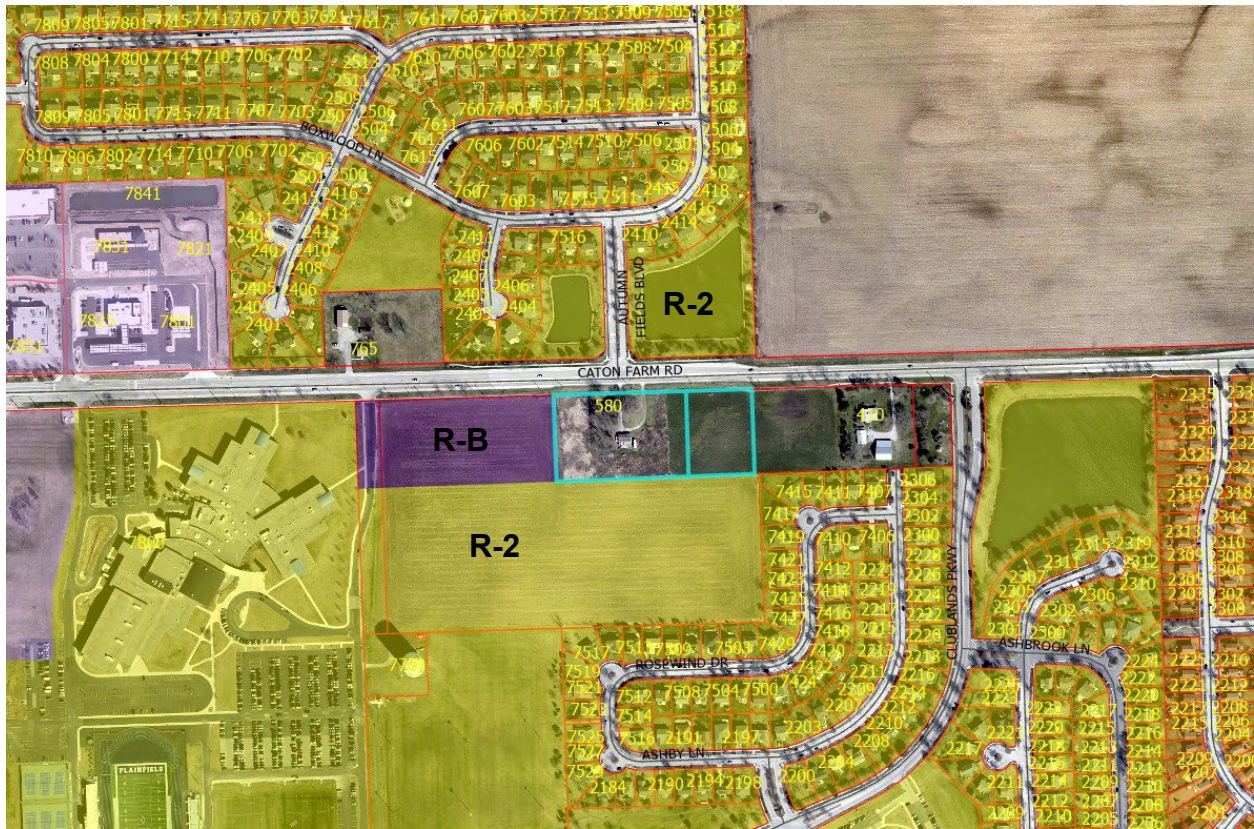
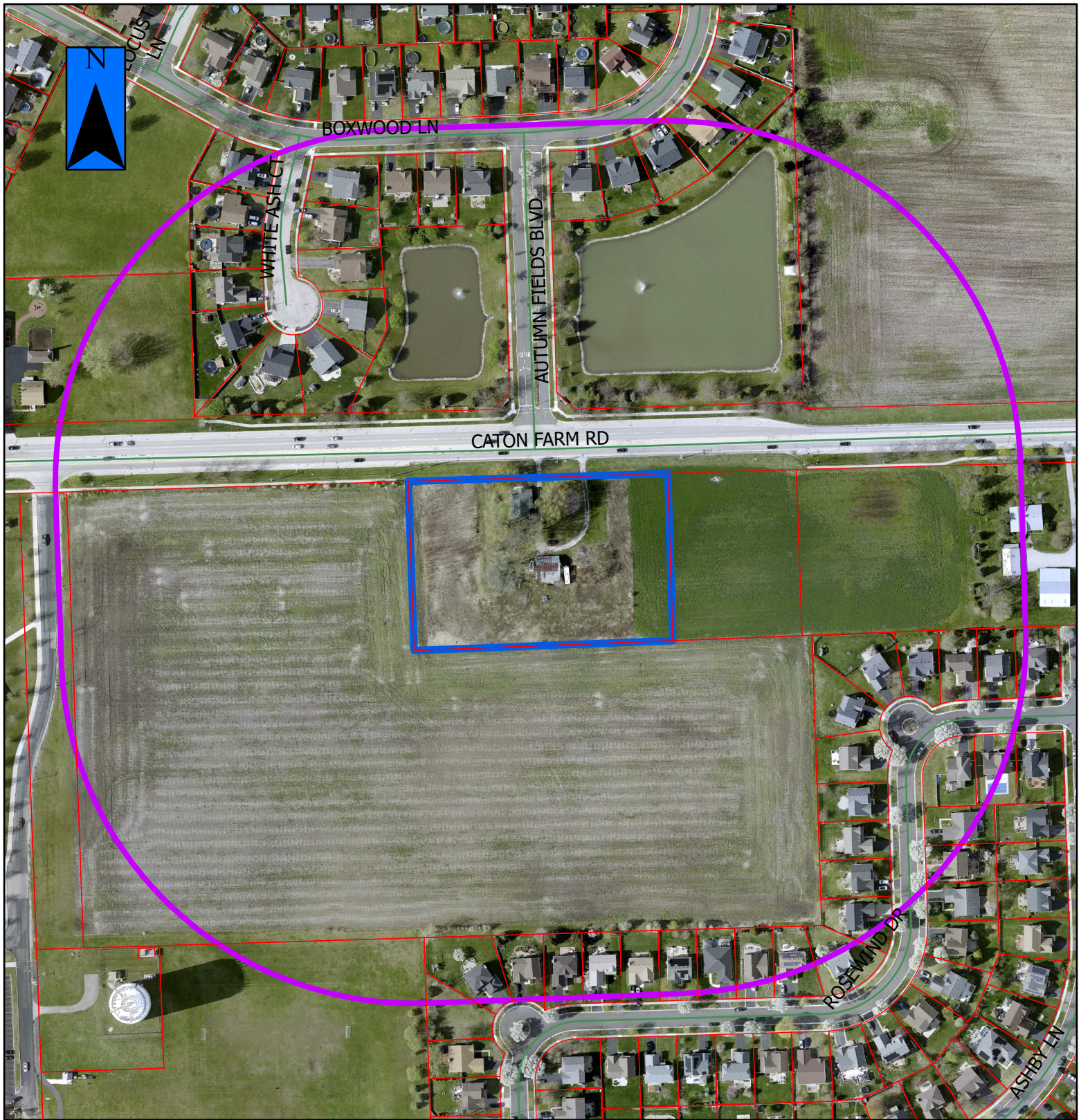


Figure 2: Subject site at 580 Caton Farm Road, view south from Caton Farm Road (April 2025)



Figure 3: Subject site at 580 Caton Farm Road, view south from Autumn Fields Boulevard (April 2025)

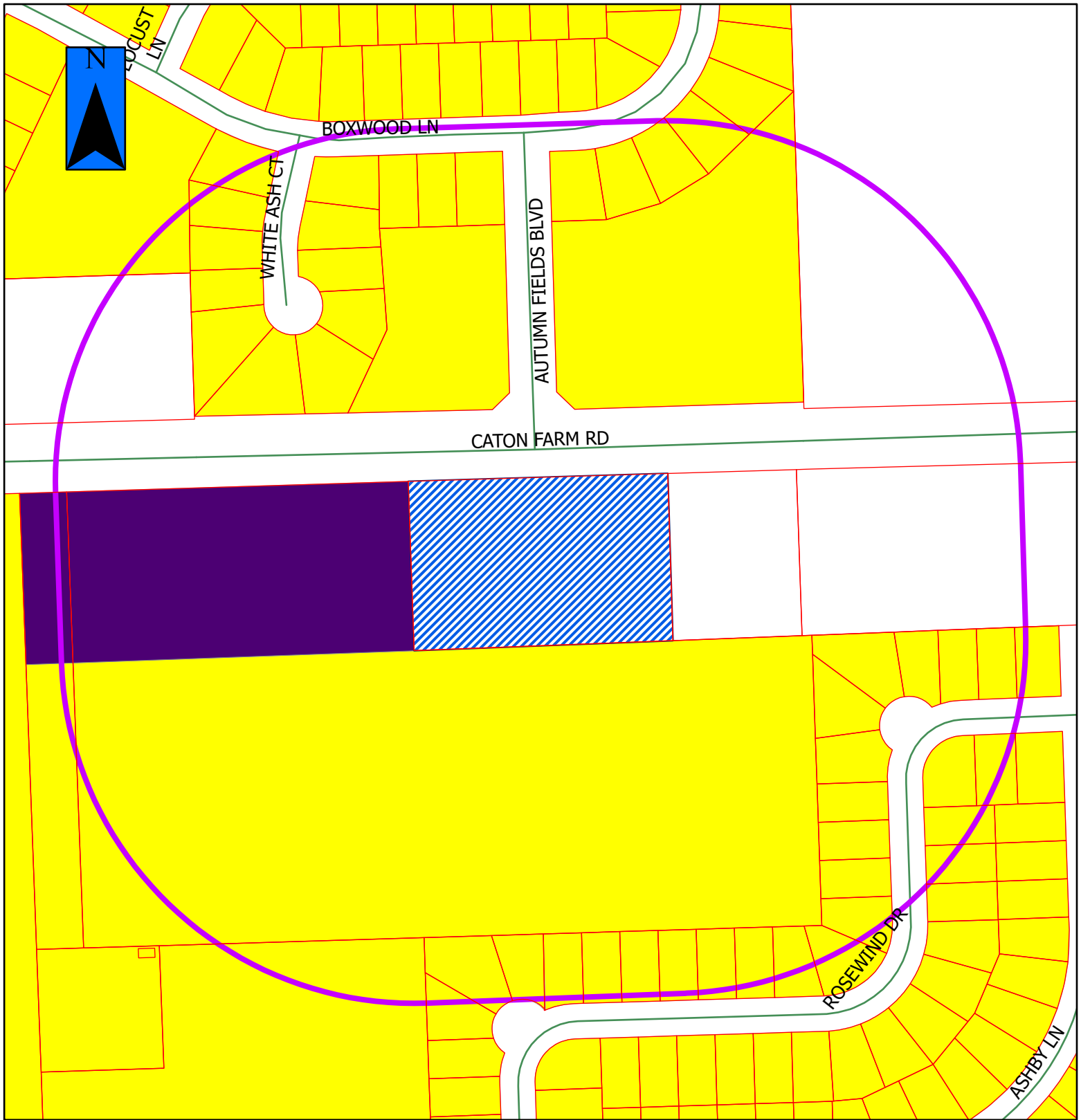




2025-50a



- = Property in Question / Propiedad en cuestión
- = 600' Public Notification Boundary /
Límite de notificación pública de 600 ft (180 m)



2025-50



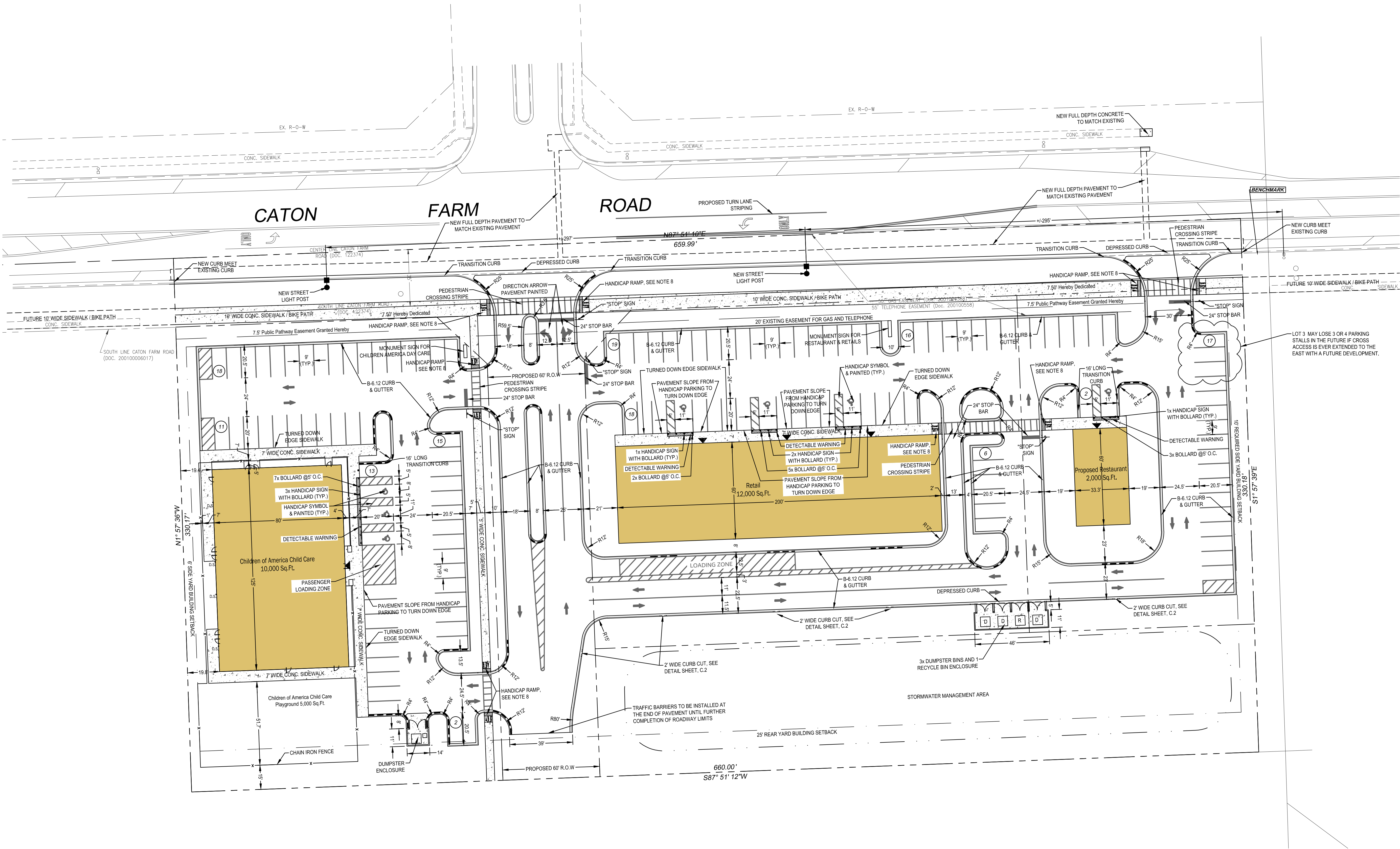
= Property in Question



= 600' Public Notification Boundary

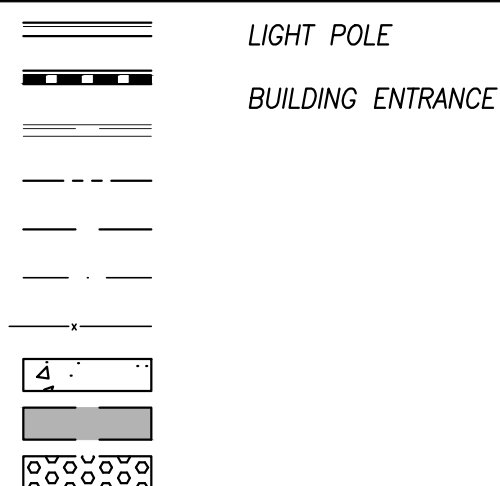
Legend

B-1	I-TA	R-2
B-2	I-TB	R-2A
B-3	I-TC	R-3
I-1	R-1	R-4
I-2	R-1A	R-5
I-T	R-1B	R-B



LEGEND

PROPOSED CURB & GUTTER
REVERSE PITCH CURB
EXISTING CURB & GUTTER
PROPERTY LINE
EASEMENT LINE
SETBACK LINE
CHAIN-LINK FENCE
CONCRETE PAD
FULL DEPTH ASPHALT PAVEMENT
TRUNCATED DOMES



SITE ANALYSIS

580 CATON FARM ROAD
JOLIET, IL 60586

PARCEL AREA
R.O.W. DEDICATION
LOT 1- CHILDREN OF AMERICA CHILD CARE
LOT 2- RETAIL
LOT 3- RESTAURANT
LOT 4- STORMWATER MANAGEMENT

217,332 sf
18,160 sf
54,806 sf
55,545 sf
29,083 sf
32,271 sf

PARKING

CHILDREN OF AMERICA CHILD CARE:
QUANTITY REQD. 56 = 10,000/180 (1 SPACE / 180 SQ FT)
PROVIDED 60 SPACES = 57 STANDARD + 3 ADA

PROPOSED RESTAURANT:
QUANTITY REQD. 12 = 2,000/180 (1 SPACE / 180 SQ FT)
PROVIDED 12 SPACES = 12 STANDARD + 1 ADA

RETAIL:
QUANTITY REQD. 66 = 12,000/180 (1 SPACE / 180 SQ FT)
PROVIDED 68 SPACES = 65 STANDARD + 3 ADA

STALL SPACE REQUIRED 9' X 20' (STANDARD)
PROVIDED 9' X 20' (STANDARD), 13' X 20' (ADA)

SITE IMPERVIOUS

EXISTING IMPERVIOUS AREA: 10,659 SF (0.24 AC)
PROPOSED IMPERVIOUS AREA: 13,349 SF (3.08 AC)
NET NEW IMPERVIOUS AREA: 123,690 SF (2.84 AC)

SITE NOTES

- All dimensions are back of curb unless otherwise noted.
- All curb radii are back of curb unless otherwise noted.
- Contractor to verify dimensions prior to starting work and notify engineer if any discrepancies are found.
- Sidewalk around perimeter of building shall be walk/pavement unless otherwise specified on plans.
- Contractor will be responsible for repairing all existing pavement damaged during construction.
- See details for bituminous and concrete pavement sections.
- Contractor to provide temporary traffic control measures during construction of entrance of R.O.W. in accordance w/ Illinois D.O.T. requirements.
- ADA handicap ramps shall be installed at all locations delineated on plans as well as at all locations where sidewalk abuts drives or roadways. Installing a Detectable Warning and 3' transition curb both side.
- Contractor shall compare architectural and engineering plans for interface compatibility.
- All curb and gutter shall be B6:12 unless otherwise noted on plans
- Pavement striping to be white two coats unless otherwise specified on plans.

New Construction:

580 CATON FARM

580 Caton Farm Road
Joliet, Illinois 60586

REVISIONS:

#	DESCRIPTION	DATE
1	FOR PUD	10/13/2025
2	FOR FINAL ENGINEERING	10/20/2025

PROJECT NUMBER: 25077

DRAWN BY: NS/SAH REVIEWED BY: ME

SHEET TITLE:

SITE PLAN

SHEET NO.

C1.1

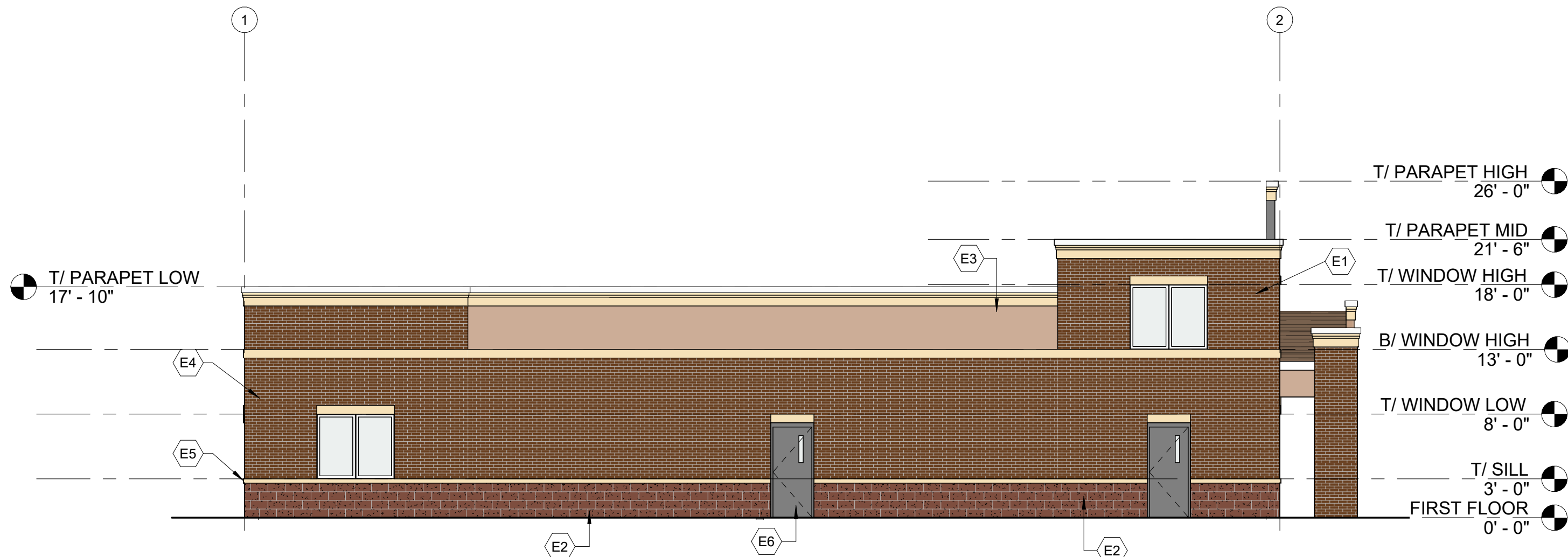
NOT FOR CONSTRUCTION

IF PRINTED TO SCALE, BOTH THESE BARS WILL MEASURE 1"

1 2 3 4 5 6 7 8



4 RIGHT ELEVATION
1/8" = 1'-0"



2 LEFT ELEVATION
1/8" = 1'-0"

EX	EXTERIOR ELEVATION KEYNOTES
E1	BRICK PILASTER BUILD OUT
E2	SPLIT FACE CMU VENEER
E3	E.I.F.S. SYSTEM W/REVEALS
E4	PRECAST LINTEL
E5	4" PRECAST SILL ROUNDED 2", TAPERED INTO EACH DOOR FRAME
E6	GALVANIZED H.M DOOR AND FRAME

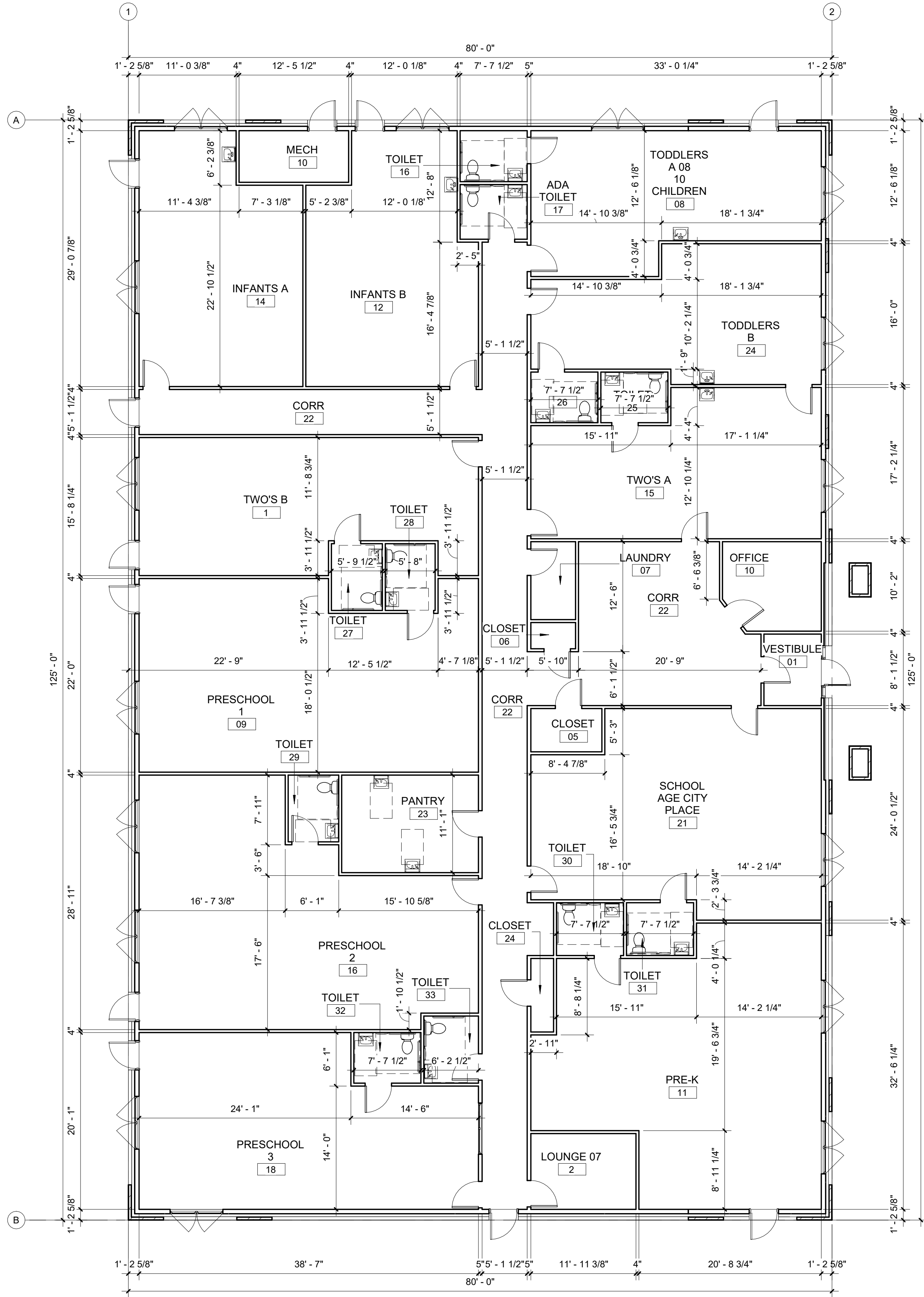
GENERAL NOTES
1. SEE A9.2 FOR EXTERIOR FINISH SCHEDULE
2. ALL EXHAUST FAN VENTING TO BE THRU ROOF (NO VENTING ALLOWED OUT SIDES OF BUILDING THROUGH THE FRONT REAR AND SIDE WALLS OF BUILDING)

CONSULTING ENGINEERS:

CLIENT:

Building Type
580 Caton Farm
580 Caton Farm

REVISIONS		
#	DESCRIPTION	DATE



1 PROPOSED FIRST FLOOR LOT 1
1/8" = 1'-0"

GENERAL NOTES

1. THE TOILET IN ROOM 11.1 THE RESTROOM IN THE TODDLERS ROOM, SHALL BE A CHILD SIZED TOILED AND HAVE A HEIGHT OF 10". THE TOILETS IN ROOMS 13 & 20 , THE ADA RESTROOMS , SHALL HAVE AN ADA COMPLIANT TOILET WITH A HEIGHT OF 17". ALL OTHER TOILETS IN THE BUILDING SHALL BE OF STANDARD HEIGHT 14".
2. ALL DOOR JAMBS TO BE 4" FROM HINGED SIDE TO EDGE OF WALL , UNLESS OTHERWISE NOTED. BOTTOM OF JAMB NOT TO EXCEED 1/4" A.F.F.
3. SEE SHEET A9.1 FOR WINDOW TYPES.
4. ALL WALL TYPES SHOWN ON PLAN ARE NOMINAL THICKNESS. SEE WALL TYPES SCHEDULE FOR ACTUAL WALL THINKNESS.
5. INSTALL 20 AMP DUPLEX OUTLET AT CORRIDORS PER ELECT PLAN.
6. ALL THERMO/ SENSOR TO BE INSTALLED AT 54" A F F WITH TAMPER PROOF COVERS. THERMO/SENSORS TO BE LOCATED IN EACH CLASSROOM AND TO BE INDEPENDENT OF EACH OTHER (SEE M-1).
7. ALL CASEWORK / CABINETS/MILLWORK/COUNTERTOPS SHOWN ON DRAWINGS TO BE PROVIDED BY COSTA CABINETS.
8. ALL COUNTERTOPS TO HAVE RADIUS CORNERS.
9. SEE SHEET A8.2 FOR APPLIANCE LEGEND.
10. FIRE EXTINGUISHER: CONFIRM W/ BUILDING DEPT. REQUIREMENTS FOR FIRE EXTINGUISHER CABINET QUANTITIES & LOCATIONS. REFER TO SPECIFICATIONS FOR CABINET DESCRIPTION & INSTALLATION REQUIREMENTS (INCLUDING RECESSED CABINETS). FIRE EXTINGUISHERS TO BE RECESSED INTO THE WALL.

THE MINIMUM C.O.A REQUIREMENT (OR MORE IF CODE REQUIRED) SHALL BE:
1. IN THE LOUNGE
2. IN THE PANTRY
3. AT THE FRONT DESK
4. AT EACH AND OF THE LONG CORRIDOR.
5. IN THE MECHANICAL, ELECTRICAL / SPRINKLER ROOM.
11. PROVIDE 20'-0" HIGH STANDARD FLAG POLE WITH AN INTERNAL ROPE. AMERICAN FLAG & FLAG POLE CO. 800-426-6235 (SKU S20050125) VERIFY LOCATION WITH C.O.A.
12. PROVIDE FIRE SPRINKLERS THROUGH-OUT. FIRE SPRINKLER CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR SYSTEM TO MEET LOCAL CODES.
- 13.CCTV CAMERAS AND ALL VIDEO TO BE SUPPLIED BY ALWAYS CLOSE BY. QUANTITY AND LOCATION OF CAMERAS TO BE PROVIDED BY "ALWAYS CLOSE BY"

KORU

ARCHITECTS | ENGINEERS | PLANNERS

Koru Group, PLLC
2135 CityGate Lane, STE 330
Naperville, IL 60563

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CONSULTING ENGINEERS:

CLIENT:

Building Type
580 Caton Farm
580 Caton Farm

REVISIONS:

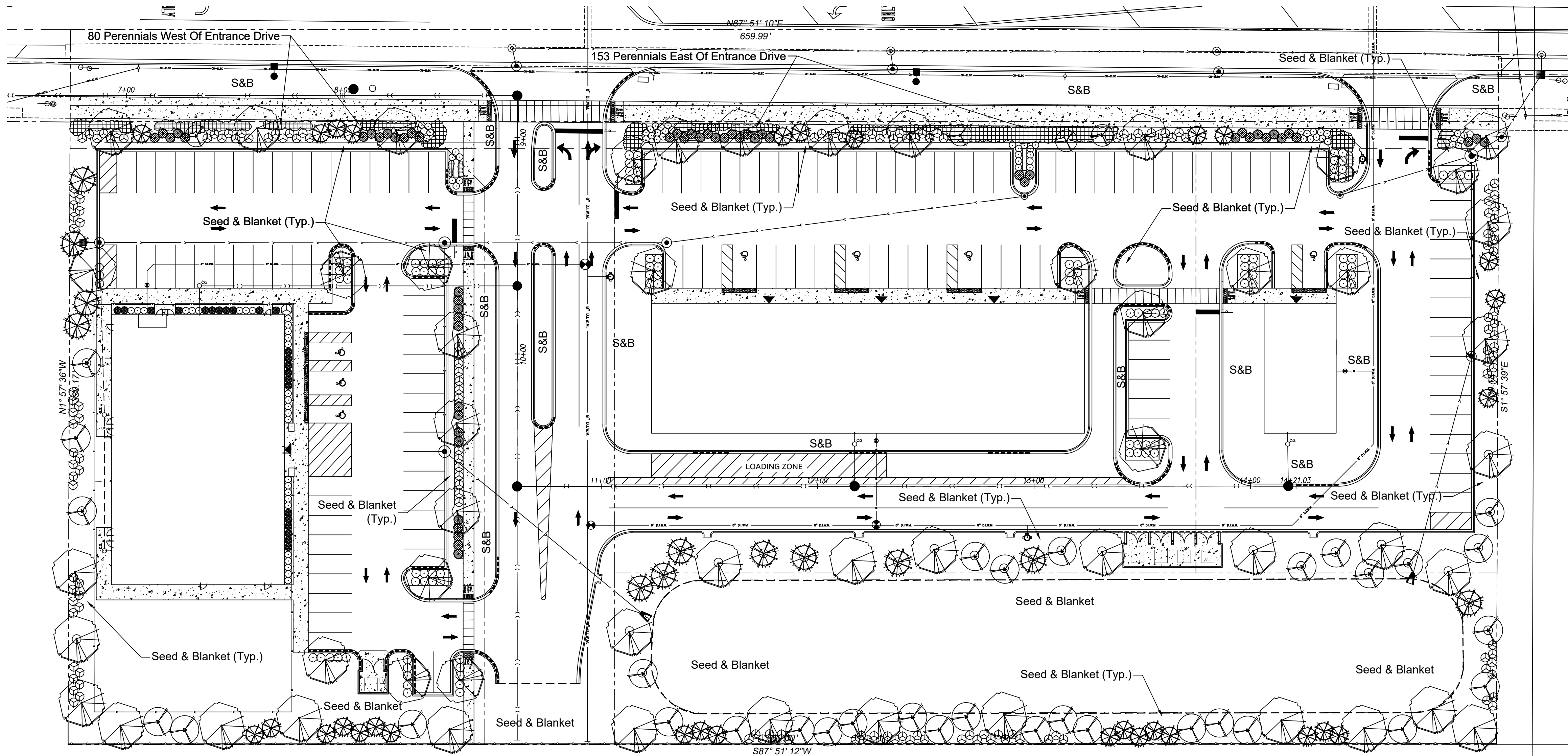
#	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	DATE
2		

FILE NAME: 25077 580 Caton Farm
DRAWN BY: Author REVIEWED BY: Checker
SHEET TITLE:

FIRST FLOOR PLAN

SHEET NO.

A101



NOTE: This plan is preliminary in nature. Plant locations my vary pending final site geometry, utilities locations, grading, etc.

LANDSCAPE CALCULATIONS:

Caton Farm Road Perimeter- West Side (10' Wide): 197 LF (minus Drives)

Requirement: 10' Wide Buffer, 2- Evergreen or Ornamental Trees, 1- Shade Trees, 20- Shrubs & 40- Perennials/100 LF

Calculation: 4- Evergreen or Ornamental Trees, 2- Shade Trees, 40- Shrubs & 80 Perennials

Provided: 5- Evergreen or Ornamental Trees, 3- Shade Trees, 40- Shrubs & 80- Perennials

Caton Farm Road Perimeter- East Side (10' Wide): 382 LF (minus Drives)

Requirement: 10' Wide Buffer, 2- Evergreen or Ornamental Trees, 1- Shade Trees, 20 Shrubs & 40 Perennials/100 LF

Calculation: 8- Evergreen or Ornamental Trees, 4- Shade Trees, 77- Shrubs & 153 Perennials

Provided: 8- Evergreen or Ornamental Trees, 6- Shade Trees, 82- Shrubs & 153 Perennials

West Property Line Perimeter: 330 LF

Requirement: 2- Evergreen or Ornamental Trees + 1- Shade Trees + 10 Shrubs /100 LF

Calculation: 7- Evergreen or Ornamental Trees, 3- Shade Trees & 33 Shrubs

Provided: 7- Evergreen or Ornamental Trees, 3- Shade Trees & 33 Shrubs

East Property Line Perimeter: 330 LF

Requirement: 5' Wide Buffer, 2 Evergreen or Ornamental Trees + 1 Shade Trees & 10 Shrubs/100 LF

Calculation: 7- Evergreen or Ornamental Trees, 3- Shade Trees & 33 Shrubs

Provided: 7- Evergreen or Ornamental Trees, 3- Shade Trees & 33 Shrubs

South Property Line Perimeter: 660 LF - 60 LF ROW = 600LF

Requirement: 15' Wide Buffer, 3 Evergreen Trees + 3 Ornamental Trees + 2 Shade Trees & 5 Shrubs/100 LF

Calculation: 18- Evergreen Trees + 18- Ornamental Trees + 12- Shade Trees & 30 Shrubs

Provided: 18- Evergreen Trees + 18- Ornamental Trees + 12- Shade Trees & 30 Shrubs

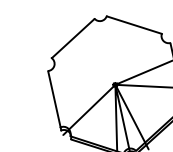
Detention Basin Landscaping: 833 LF H.W.L.

Requirement: 1 Shade Tree + 1 Evergreen Tree + 1- Ornamental Tree/100LF H.W.L.

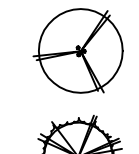
Calculation: 8- Shade Trees, 8- Evergreen Trees & 8- Ornamental Trees

Provided: 8- Shade Trees, 8 Evergreen Trees & 8- Ornamental Trees

LEGEND



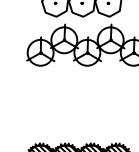
DECIDUOUS SHADE TREE - 2.0"



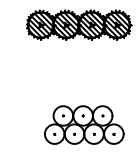
ORNAMENTAL TREE - 6'BB/clump/2"BB



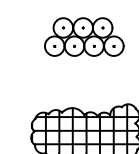
EVERGREEN TREE - 6'BB



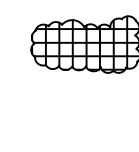
LARGE DECIDUOUS SHRUB- 5 Gal/24" Min.



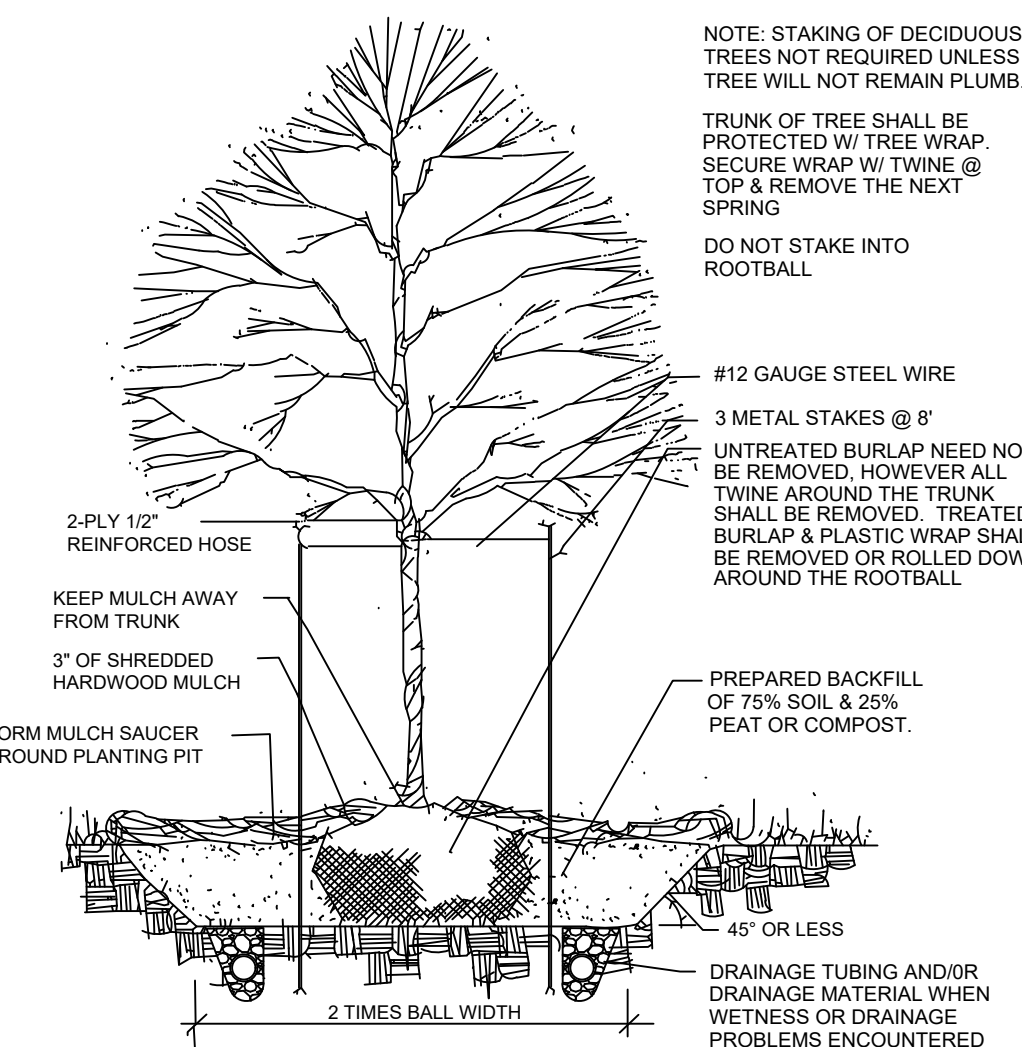
EVERGREEN SHRUBS - 5 Gal.



DWARF DECIDUOUS SHRUB- 3 Gal/24" Min.

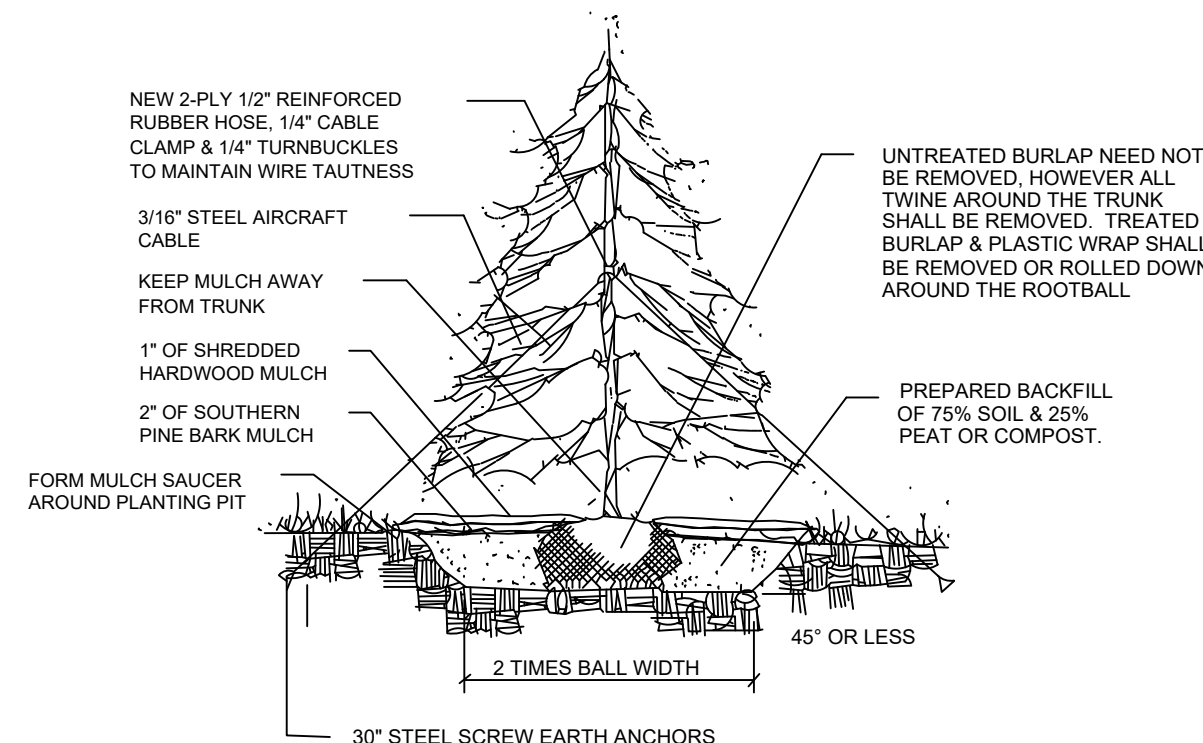


PERENNIALS & ORNAMENTAL GRASSES- 1 Gal./1 Qt.



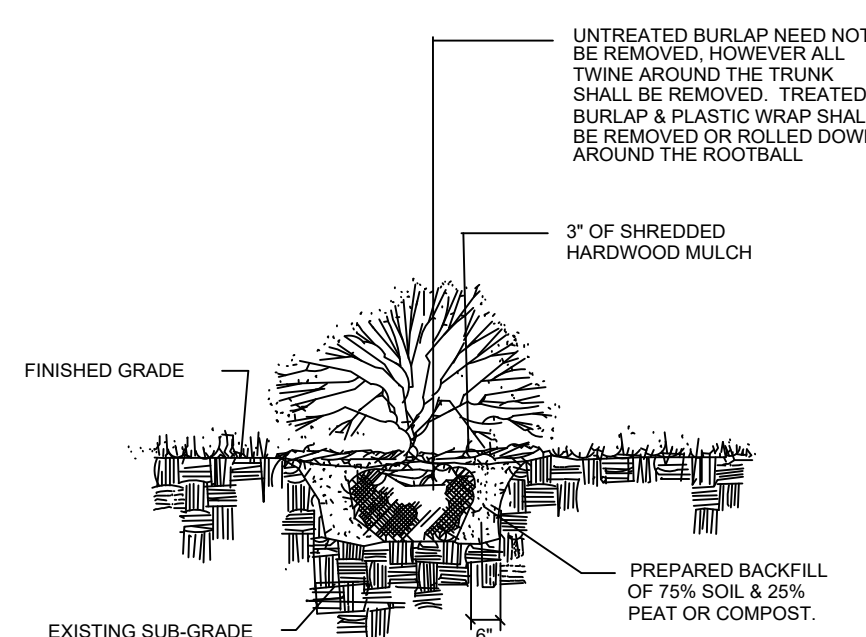
DECIDUOUS TREE

NTS



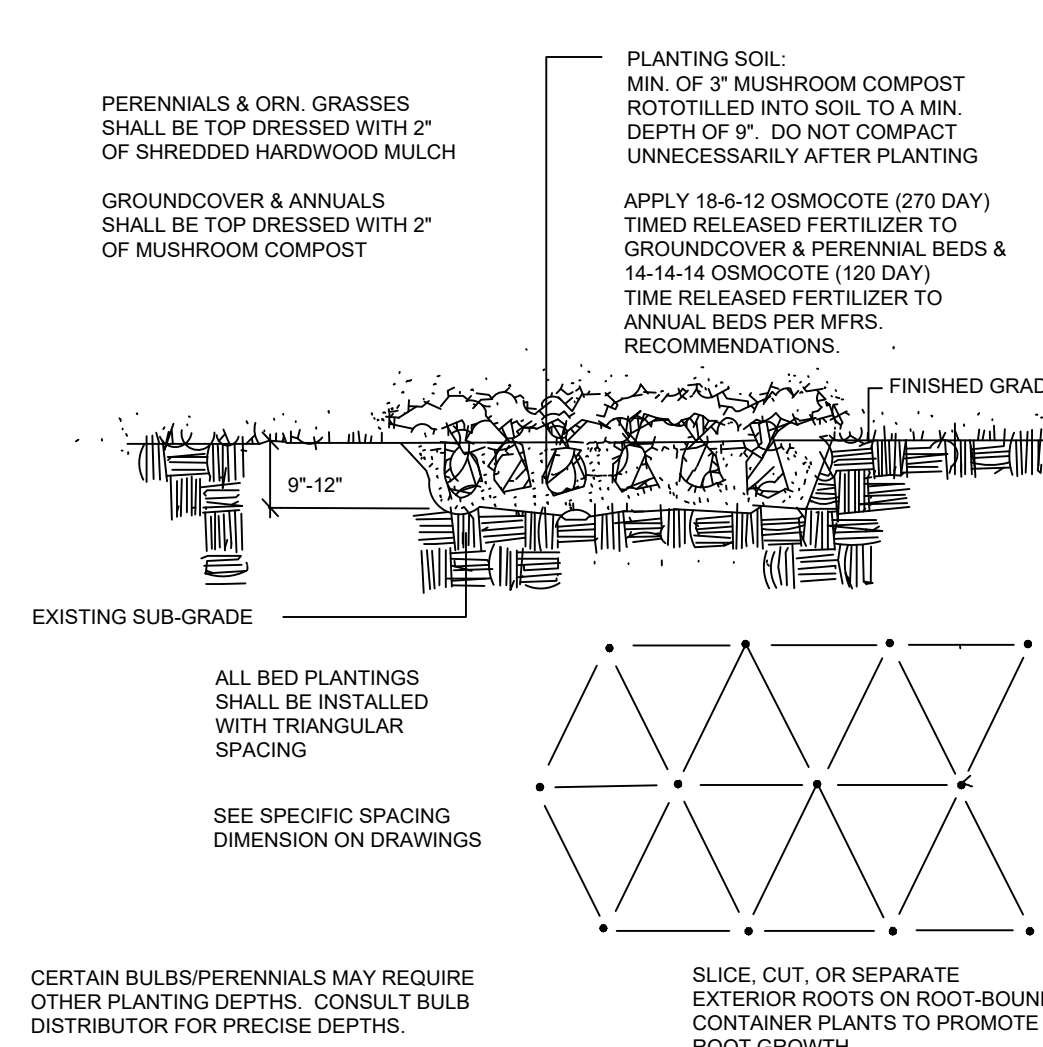
EVERGREEN TREE

NTS



SHRUBS

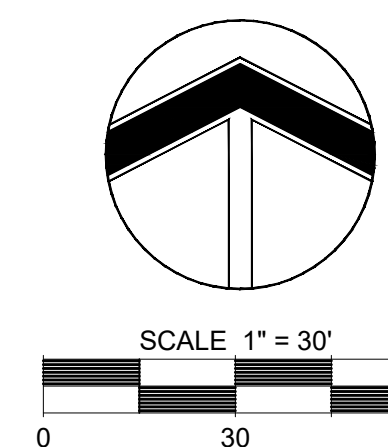
NTS



BED PLANTING DETAIL

NTS

(PERENNIALS, ORNAMENTAL GRASSES VINES, GROUNDCOVER & ANNUALS)



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The drawings, specifications, design ideas, and other information contained within as prepared by the Landscape Architect and/or Land Planner for this project are instruments of the Landscape Architect's and/or Land Planner's service, for use solely with respects to this project and, unless otherwise provided, the Landscape Architect and/or Land Planner shall be deemed the author of these documents and shall retain all common law, statutory, and other rights, including copyright. This drawing is not to be reproduced without the expressed written consent of Heritage Oak Studios, LLC.

REVISIONS

3 - Per City Of Joliet Review	2025-11-11
2 - Per Revised Site Plan	2025-10-14
1 - Revised Per 30' Buffer	2025-09-05

MULTI-TENANT DEVELOPMENT

580 Caton Farm Road
Joliet, Illinois



HERITAGE OAK STUDIOS, LLC

Landscape Architects

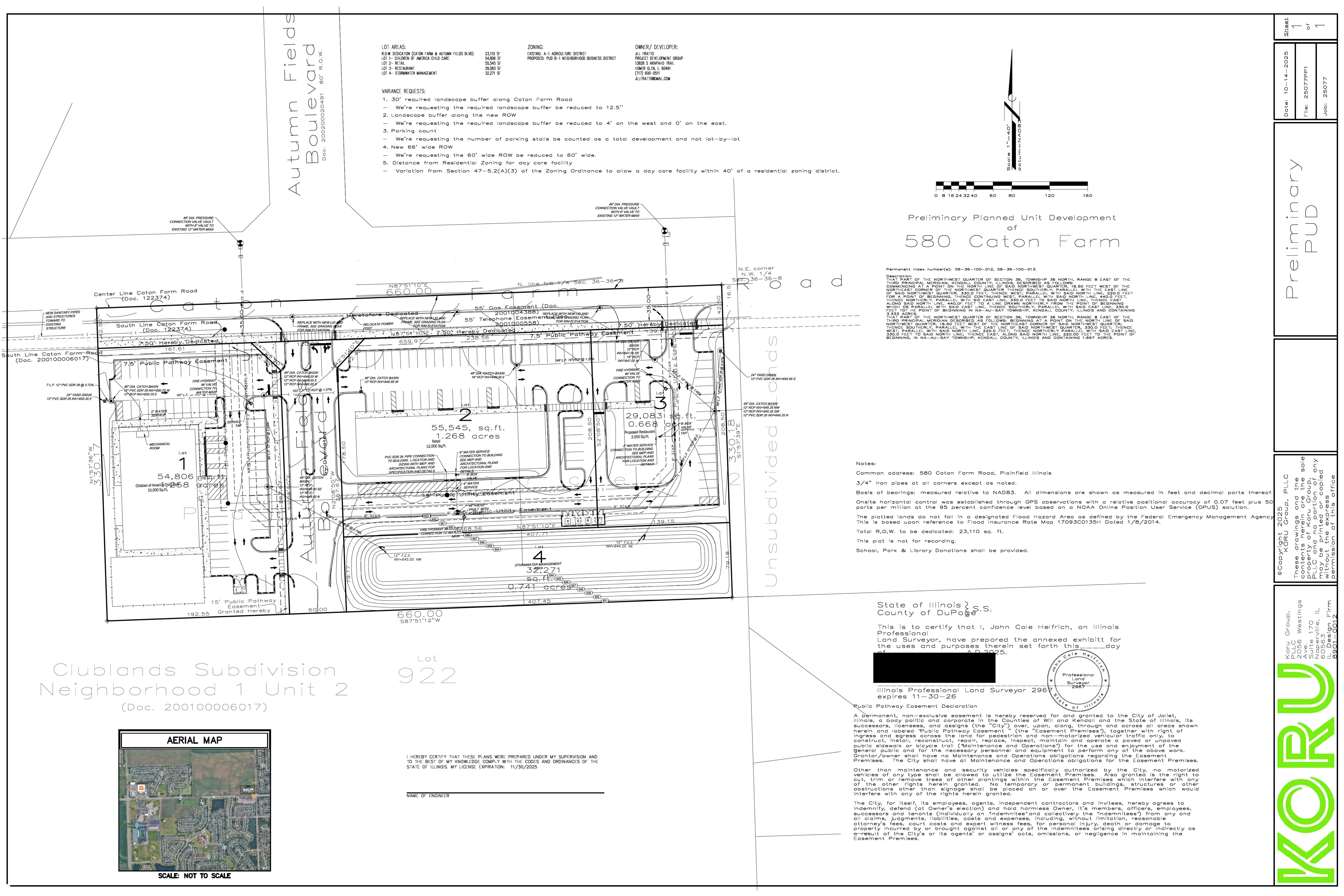
24301 White Oak Drive
Plainfield, IL 60585
PHONE: 815-531-4415

PRELIMINARY LANDSCAPE PLAN

DATE: 2025-08-22
SCALE: 1"=20'
PLANNER: RP
DRAWN BY: RP
CHECKED: _____

SHEET L-1

PROJECT NO.: 2325 - 2463



Sheet	1	of	1
Date: 10-14-2025	File: 25077PP1	Job: 25077	

Preliminary
PUD

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Koru Group,
2050 Westings
Ave.
Suite 170
Naperville, IL
60563
630.553.1001



Preliminary Planned Unit Development
of
580 Caton Farm

Permanent index number(s): 06-36-100-012, 06-36-100-013.
Description:
THAT PART OF THE NORTHWEST QUARTER OF SECTION 36, TOWNSHIP 36 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, KENDALL COUNTY, ILLINOIS, DESCRIBED AS FOLLOWS:
COMMENCING AT A POINT ON THE NORTH LINE OF SAID NORTHWEST QUARTER, 16.50 FEET WEST OF THE NORTHEAST CORNER OF THE NORTHWEST QUARTER, THENCE SOUTHERLY, PARALLEL WITH THE EAST LINE OF SAID NORTHWEST QUARTER, 330.0 FEET; THENCE WEST, PARALLEL WITH SAID NORTH LINE, 220.0 FEET FOR A POINT OF BEGINNING, THENCE CONTINUING WEST, PARALLEL WITH SAID NORTH LINE, 440.0 FEET; THENCE NORTHERLY, PARALLEL WITH SAID EAST LINE, 330.0 FEET TO SAID NORTH LINE, THENCE EAST ALONG SAID NORTH LINE, 440.0 FEET TO A LINE DRAWN NORTHERLY FROM THE POINT OF BEGINNING WHICH IS PARALLEL WITH SAID EAST LINE, THENCE SOUTHERLY, PARALLEL WITH SAID EAST LINE, 330.0 FEET TO THE POINT OF BEGINNING IN NA-AU-SAY TOWNSHIP, KENDALL COUNTY, ILLINOIS AND CONTAINING 3.333 ACRES.
THAT PART OF THE NORTHWEST QUARTER OF SECTION 36, TOWNSHIP 36 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS: BEGINNING AT A POINT ON THE NORTH LINE OF SAID NORTHWEST QUARTER, 16.50 FEET WEST OF THE NORTHEAST CORNER OF SAID NORTHWEST QUARTER, THENCE SOUTHERLY, PARALLEL WITH THE EAST LINE OF SAID NORTHWEST QUARTER, 330.0 FEET; THENCE NORTHERLY, PARALLEL WITH SAID EAST LINE, 220.0 FEET TO SAID NORTH LINE, THENCE EAST ALONG SAID NORTH LINE, 440.0 FEET TO A LINE DRAWN NORTHERLY FROM THE POINT OF BEGINNING WHICH IS PARALLEL WITH SAID EAST LINE, THENCE SOUTHERLY, PARALLEL WITH SAID EAST LINE, 330.0 FEET TO THE POINT OF BEGINNING IN NA-AU-SAY TOWNSHIP, KENDALL COUNTY, ILLINOIS AND CONTAINING 1.667 ACRES.

Notes:
Common address: 580 Caton Farm Road, Plainfield Illinois
3/4" Iron pipes at all corners except as noted.
Basis of bearings: measured relative to NAD83. All dimensions are shown as measured in feet and decimal parts thereof.
Onsite horizontal control was established through GPS observations with a relative positional accuracy of 0.07 feet plus 50 parts per million at the 95 percent confidence level based on a NOAA Online Position User Service (OPUS) solution.
The platted lands do not fall in a designated Flood Hazard Area as defined by the Federal Emergency Management Agency. This is based upon reference to Flood Insurance Rate Map 17093C0135H Dated 1/8/2014.
Total R.O.W. to be dedicated: 23,110 sq. ft.
This plat is not for recording.
School, Park & Library Donations shall be provided.

State of Illinois } s.s.
County of DuPage }
This is to certify that I, John Cole Helfrich, an Illinois Professional Land Surveyor, have prepared the annexed exhibit for the uses and purposes therein set forth this _____ day of _____, A.D. 2025.
[Redacted Signature]
John Cole Helfrich
Professional Land Surveyor 2967
State of Illinois
Illinois Professional Land Surveyor 2967 expires 11-30-26
Public Pathway Easement Declaration
A permanent, non-exclusive easement is hereby reserved for and granted to the City of Joliet, Illinois, a body politic and corporate in the Counties of Will and Kendall and the State of Illinois, its successors, licensees, and assigns (the "City") over, upon, along, through and across all areas shown herein and labeled "Public Pathway Easement" (the "Easement Premises"), together with right of ingress and egress across the land for pedestrian and non-motorized vehicular traffic only, to construct, install, reconstruct, repair, replace, inspect, maintain and operate a paved or unpaved public sidewalk or bicycle trail ("Maintenance and Operations") for the use and enjoyment of the general public and for the necessary personnel and equipment to perform any of the above work. Grantor/owner shall have no Maintenance and Operations obligations regarding the Easement Premises. The City shall have all Maintenance and Operations obligations for the Easement Premises.
Other than maintenance and security vehicles specifically authorized by the City, no motorized vehicles of any type shall be allowed to utilize the Easement Premises. Also granted is the right to cut, trim or remove trees of other plantings within the Easement Premises which interfere with any of the other rights herein granted. No temporary or permanent buildings, structures or other obstructions other than signage shall be placed on or over the Easement Premises which would interfere with any of the rights herein granted.
The City, for itself, its employees, agents, independent contractors and invitees, hereby agrees to indemnify, defend (at Owner's election) and hold harmless Owner, its members, officers, employees, successors and tenants (individually an "indemnitee" and collectively the "indemnitees") from any and all claims, judgments, liabilities, costs and expenses, including, without limitation, reasonable attorney's fees, court costs and expert witness fees, for personal injury, death or damage to property incurred by or brought against all or any of the indemnitees arising directly or indirectly as a result of the City's or its agents' or assigns' acts, omissions, or negligence in maintaining the Easement Premises.

FOR OFFICE USE ONLY

Verified by Planner (please initial): _____

Payment received from: _____

Petition #: _____

Common Address: _____

Date filed: _____

Meeting date requested: _____

ZONING BOARD OF APPEALS

JOLIET, ILLINOIS

PETITION FOR SPECIAL USE PERMIT

City of Joliet Planning Division, 150 W. Jefferson St., First Floor, South Wing, Joliet, IL 60432
Phone (815)724-4050 Fax (815)724-4056

ADDRESS FOR WHICH SPECIAL USE IS REQUESTED: 580 Caton Farm Road

PETITIONER'S NAME: Project Development Group LLC

HOME ADDRESS: _____ ZIP CODE: _____

BUSINESS ADDRESS: _____ ZIP CODE: _____

PHONE: (Primary) _____ (Secondary) _____

EMAIL ADDRESS: _____ FAX: _____

PROPERTY INTEREST OF PETITIONER: Contract Purchaser

OWNER OF PROPERTY: David A. Ashby, Mark Ashby, Bonnie Pinnow, and the Ashby Trust

HOME ADDRESS: _____ ZIP CODE: _____

BUSINESS ADDRESS: _____ ZIP CODE: _____

EMAIL ADDRESS: _____ FAX: _____

Any use requiring a business license shall concurrently apply for a business license and submit a copy with this petition. Additionally, if this request is for operation of a business, please provide the following information:

BUSINESS REFERENCES (name, address, phone):

N/A

OTHER PROJECTS AND/OR DEVELOPMENTS:

N/A

PERMANENT INDEX NUMBER (TAX NO. OR P. I. N.): 06-36-100-012 ;

03-36-100-013 ; _____ ; _____

Property Index Number/P.I.N. can be found on tax bill or Will County Supervisor of Assessments website

LEGAL DESCRIPTION OF PROPERTY (attached copy preferred):

SEE ATTACHED

LOT SIZE: WIDTH: _____ DEPTH: _____ AREA : Approx: 5 AC

PRESENT USE(S) OF PROPERTY: Vacant Farmstead

PRESENT ZONING OF PROPERTY: Kendall County A-1

SPECIAL USE REQUESTED: Day Care Facility

The Zoning Board of Appeals is authorized to grant a special use permit provided the applicant establishes by clear and convincing evidence:

- (1) That the establishment, maintenance, or operation of the special use will not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare; and
- (2) That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood; and
- (3) That the establishment of the special use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district; and
- (4) That adequate utilities, access roads, drainage, and/or other necessary facilities have been or will be provided; and
- (5) That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets; and
- (6) That the special use shall in all other respects conform to the applicable land use regulations of the district in which it is located and shall not be in violation of any other applicable law, ordinance or regulation; and
- (7) At least one (1) year has elapsed since any denial of any prior application for a special use permit that would have authorized substantially the same as all or part of the sites, unless conditions in the area have substantially changed.

Please describe how this request meets the criteria by responding to the following questions in your own words.

1. How will the establishment, maintenance, or operation of the special use affect the public health, safety, morals, comfort, or general welfare?

The development of the proposed site will improve the general area as it will bring a much needed day care facility as well as dining and shopping opportunities for the surrounding residents.

2. How will the special use impact properties in the immediate area?

There will be minimal impact on the surrounding area. There is already a school, a car wash/gas station and ample residential development. The proposed commercial development will be in line with the trend.

3. Will the use impede the normal/orderly development/improvement of surrounding property?

No. This property is one of a few undeveloped in the area.

4. Are adequate utilities, access roads, drainage, and/or other necessary facilities provided?

Yes, and to the extent it is determined at a later date that it is not we will provide for the same as part of the development.

5. Have adequate measures been taken to provide ingress/egress design to minimize traffic congestion in public streets?

Yes

6. Does the use conform to the applicable land use regulations of the district in which it is located and does it violate any other applicable law, ordinance or regulation?

The use is consistent with the code.

7. Has at least one (1) year elapsed since any denial of any prior application for a special use permit that would have authorized substantially the same as all or part of the sites (unless conditions in the area have changed substantially)?

N/A

REQUIRED SUPPORTING ATTACHMENTS

- ☐ Site plan / concept plan / floor plan / building elevation plan
- ☐ Joliet Ownership Disclosure form
- ☐ Business license application (if applicable)

NOTARIZATION OF PETITION

STATE OF ILLINOIS) ss
COUNTY OF WILL)

I, Jill Fratto, depose and say that the above statements are true and correct to the best of my knowledge and belief. I agree to be present in person or by representation when this petition is heard before the Zoning Board of Appeals.

[Redacted Signature]

Petitioner's Signature

Owner's Signature
(If other than petitioner)

Subscribed and sworn to before me
this 14 day of Oct., 2025

[Redacted Notary Signature]



REQUIRED SUPPORTING ATTACHMENTS

- ☐ Site plan / concept plan / floor plan / building elevation plan
- ☐ Joliet Ownership Disclosure form
- ☐ Business license application (if applicable)

NOTARIZATION OF PETITION

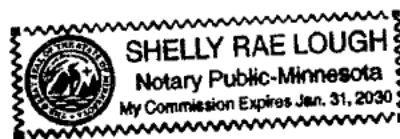
minnesota
STATE OF ~~ILLINOIS~~ ss
COUNTY OF ~~WILL~~ *Carlton*

I, *Bonnie A. Pinnau*, depose and say that the above statements are true and correct to the best of my knowledge and belief. I agree to be present in person or by representation when this petition is heard before the Zoning Board of Appeals.

Petitioner's Signature

[Redacted Signature]

[Signature]
Owner's Signature
(If other than petitioner)



Subscribed and sworn to before me
this 8th day of October, 2025

[Redacted Signature]

REQUIRED SUPPORTING ATTACHMENTS

- ☐ Site plan / concept plan / floor plan / building elevation plan
- ☐ Joliet Ownership Disclosure form
- ☐ Business license application (if applicable)

NOTARIZATION OF PETITION

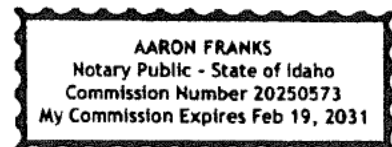
STATE OF ^{Idaho}~~ILLINOIS~~ ss
COUNTY OF ~~WILL~~ ^{Bannock}

I, David Adam Ashby, depose and say that the above statements are true and correct to the best of my knowledge and belief. I agree to be present in person or by representation when this petition is heard before the Zoning Board of Appeals.

Petitioner's Signature

Owner's Signature
(If other than petitioner)

Subscribed and sworn to before me
this 9 day of October, 20 25



REQUIRED SUPPORTING ATTACHMENTS

- ☐ Site plan / concept plan / floor plan / building elevation plan
- ☐ Joliet Ownership Disclosure form
- ☐ Business license application (if applicable)

NOTARIZATION OF PETITION

STATE OF ILLINOIS) ss
COUNTY OF WILL)

I, MAK S. D. 46-1, depose and say that the above statements are true and correct to the best of my knowledge and belief. I agree to be present in person or by representation when this petition is heard before the Zoning Board of Appeals.



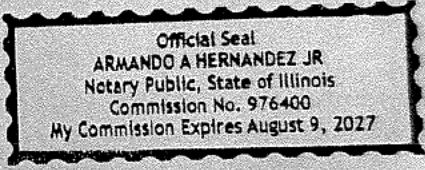
Petitioner's Signature

N/A

Owner's Signature
(If other than petitioner)

Subscribed and sworn to before me
this 09th day of October, 2025




Official Seal
ARMANDO A. HERNANDEZ JR.
Notary Public, State of Illinois
Commission No. 976400
My Commission Expires August 9, 2027

PARCEL 1: THAT PART OF THE NORTHWEST QUARTER OF SECTION 36, TOWNSHIP 36 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS COMMENCING AT A POINT ON THE NORTH LINE OF SAID NORTHWEST QUARTER, 16.50 FEET WEST OF THE NORTHEAST CORNER OF SAID NORTHWEST QUARTER, THENCE SOUTHERLY, PARALLEL WITH THE EAST LINE OF SAID NORTHWEST QUARTER, 330.0 FEET, THENCE WEST, PARALLEL WITH SAID NORTH LINE, 220.0 FEET FOR A POINT OF BEGINNING, THENCE CONTINUING WEST, PARALLEL WITH SAID NORTH LINE, 440.0 FEET, THENCE NORTHERLY, PARALLEL WITH SAID EAST LINE, 330.0 FEET TO SAID NORTH LINE, THENCE EAST, ALONG SAID NORTH LINE, 440.0 FEET TO A LINE DRAWN NORTHERLY FROM THE POINT OF BEGINNING, WHICH IS PARALLEL WITH SAID EAST LINE, THENCE SOUTHERLY, PARALLEL WITH SAID EAST LINE, 330.0 FEET TO THE POINT OF BEGINNING IN NA-AU-SAY TOWNSHIP, KENDALL COUNTY, ILLINOIS AND CONTAINING 3.333 ACRES.

PARCEL 2: THAT PART OF THE NORTHWEST QUARTER OF SECTION 36, TOWNSHIP 36 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN DESCRIBED AS FOLLOWS: BEGINNING AT A POINT ON THE NORTH LINE OF SAID NORTHWEST QUARTER, 16.50 FEET WEST OF THE NORTHEAST CORNER OF SAID NORTHWEST QUARTER; THENCE SOUTHERLY, PARALLEL WITH THE EAST LINE OF SAID NORTHWEST QUARTER, 330.0 FEET; THENCE WEST, PARALLEL WITH SAID NORTH LINE, 220.0 FEET; THENCE NORTHERLY, PARALLEL WITH SAID EAST LINE, 330.0 FEET TO SAID NORTH LINE; THENCE EAST, ALONG SAID NORTH LINE, 220.0 FEET TO THE POINT OF BEGINNING IN NA-AU-SAY TOWNSHIP, KENDALL COUNTY, ILLINOIS AND CONTAINING 1.667 ACRES.

CITY OF JOLIET OWNERSHIP DISCLOSURE FORM

The City of Joliet requires that applicants for zoning relief, subdivision approval, building permits and business licenses disclose the identity of all persons having an ownership interest in the business and the real property associated with the application. A copy of this form must be completed and submitted with other application materials. Failure to properly complete and submit this form may result in the denial of the application.

I. INFORMATION ABOUT THE APPLICATION

This form is submitted as part of an application for the following (check all that apply):

- ☒ Rezoning, Special Use Permit, Variation, or Other Zoning Relief (Complete Sections II and III)
- ☐ Preliminary Plat, Final Plat, or Record Plat of Subdivision (Complete Sections II and III)
- ☐ Building Permit (Complete Sections II and III)
- ☐ Business License (Complete All Sections)

II. INFORMATION ABOUT THE PROPERTY

The address and PIN(s) of the real property associated with this application are:

580 Caton Farm Road, Plainfield (unincorporated), Illinois 60586

PIN(s): 06-36-100-012 & 06-36-100-013

III. PROPERTY OWNERSHIP

Select the type of owner of the real property associated with this application and fill in the appropriate contact information below:

- ☒ **Individual:** State the names, addresses, and phone #'s of the individual owner(s)
- ☐ **Corporation:** State the names, addresses, and phone #'s of all persons holding 3% or more of the stock of the corporation and the percentage of shares held by such stockholders
- ☐ **Limited Liability Company:** State the names, addresses, and phone #'s of all members of the company along with the percentage of ownership held by each member
- ☒ **Land Trust:** State the names, addresses, and phone #'s of the trustee(s) and all beneficiaries
- ☐ **Partnership:** State the names, addresses, and phone #'s of all partners
- ☐ **Other type of organization:** State the names, addresses, and phone #'s of all persons having a legal or equitable ownership interest in the organization or the right to direct the affairs of the organization

Ashby Family Trust - Mark Ashby & Bonnie Pinnow Trustees - [REDACTED]

David Adam Ashby

E-MAIL: [REDACTED]

FAX:

IV. BUSINESS OWNERSHIP

If the owner of the business is different than the owner of the real property associated with the application, then the following information must be provided:

Select the type of business owner associated with this application and fill in the contact information below:

- ☐ **Individual:** State the names, addresses, and phone #'s of the individual owner(s)
- ☐ **Corporation:** State the names, addresses, and phone #'s of all persons holding 3% or more of the stock of the corporation and the percentage of shares held by such stockholders
- ☒ **Limited Liability Company:** State the names, addresses, and phone #'s of all members of the company along with the percentage of ownership held by each member
- ☐ **Partnership:** State the names, addresses, and phone #'s of all partners
- ☐ **Other type of organization:** State the names, addresses, and phone #'s of all persons having a legal or equitable ownership interest in the organization

Jill Fratto - [REDACTED] - 100%

E-MAIL: _____ FAX: _____

NOTE:

If a stockholder, member, beneficiary or partner disclosed in Section III or Section IV is not an individual, then the individuals holding the legal or equitable title to the real property or business associated with the application must also be disclosed. For example, if the real property associated with an application is owned by a land trust, and the beneficiary of the land trust is a limited liability company, then the members of the limited liability company must be disclosed. If one of the members of the limited liability company is a partnership, then the identity of the partners must be disclosed. If one of the partners is a corporation, then all persons owning 3% or more of the issued stock must be disclosed.

★ **SIGNED:** [REDACTED]

★ **DATE:** 9/5/2025

Name, Title, and Telephone Numbers of Person Completing and Submitting This Form:

IV. BUSINESS OWNERSHIP

If the owner of the business is different than the owner of the real property associated with the application, then the following information must be provided:

Select the type of business owner associated with this application and fill in the contact information below:

- ☐ **Individual:** State the names, addresses, and phone #'s of the individual owner(s)
- ☐ **Corporation:** State the names, addresses, and phone #'s of all persons holding 3% or more of the stock of the corporation and the percentage of shares held by such stockholders
- ☒ **Limited Liability Company:** State the names, addresses, and phone #'s of all members of the company along with the percentage of ownership held by each member
- ☐ **Partnership:** State the names, addresses, and phone #'s of all partners
- ☐ **Other type of organization:** State the names, addresses, and phone #'s of all persons having a legal or equitable ownership interest in the organization

Jill Fratto - [REDACTED] - 100%

E-MAIL: _____ FAX: _____

NOTE:

If a stockholder, member, beneficiary or partner disclosed in Section III or Section IV is not an individual, then the individuals holding the legal or equitable title to the real property or business associated with the application must also be disclosed. For example, if the real property associated with an application is owned by a land trust, and the beneficiary of the land trust is a limited liability company, then the members of the limited liability company must be disclosed. If one of the members of the limited liability company is a partnership, then the identity of the partners must be disclosed. If one of the partners is a corporation, then all persons owning 3% or more of the issued stock must be disclosed.

★ **SIGNED:** [REDACTED]

★ **DATE:** 9/5/25

Name, Title, and Telephone Numbers of Person Completing and Submitting This Form:

IV. BUSINESS OWNERSHIP

If the owner of the business is different than the owner of the real property associated with the application, then the following information must be provided:

Select the type of business owner associated with this application and fill in the contact information below:

- ☐ Individual: State the names, addresses, and phone #'s of the individual owner(s)
- ☐ Corporation: State the names, addresses, and phone #'s of all persons holding 3% or more of the stock of the corporation and the percentage of shares held by such stockholders
- ☒ Limited Liability Company: State the names, addresses, and phone #'s of all members of the company along with the percentage of ownership held by each member
- ☐ Partnership: State the names, addresses, and phone #'s of all partners
- ☐ Other type of organization: State the names, addresses, and phone #'s of all persons having a legal or equitable ownership interest in the organization

Jill Fratto - [REDACTED] - 100%

E-MAIL: _____ FAX: _____

NOTE:

If a stockholder, member, beneficiary or partner disclosed in Section III or Section IV is not an individual, then the individuals holding the legal or equitable title to the real property or business associated with the application must also be disclosed. For example, if the real property associated with an application is owned by a land trust, and the beneficiary of the land trust is a limited liability company, then the members of the limited liability company must be disclosed. If one of the members of the limited liability company is a partnership, then the identity of the partners must be disclosed. If one of the partners is a corporation, then all persons owning 3% or more of the issued stock must be disclosed.

★ SIGNED, [REDACTED]

★ DATE: 9/5/2023

Name, Title, and Telephone Numbers of Person Completing and Submitting This Form:

Bonnie A. Pinnow [REDACTED]

ZONING BOARD OF APPEALS

CRITERIA FOR SPECIAL USES

Section 47-5.2 (C) of the Zoning Ordinance states:

A special use permit shall not be granted unless the applicant establishes by clear and convincing evidence:

	Does the evidence presented sustain this criteria?	Comments
(1) That the establishment, maintenance or operation of the special use will not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare; and		
(2) That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood; and		
(3) That the establishment of the special use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district; and		
(4) That adequate utilities, access roads, drainage, and/or other necessary facilities have been or will be provided; and		
(5) That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets; and		
(6) That the special use shall in all other respects conform to the applicable land use regulations of the district in which it is located and shall not be in violation of any other applicable law, ordinance or regulation; and		
(7) At least one (1) year has elapsed since any denial of any prior application for a special use permit that would have authorized substantially the same as all or part of the sites, unless conditions in the area have substantially changed.		