



City of Joliet

Zoning Board of Appeals

Meeting Agenda

Board Members
Ralph Bias
Ed Hennessy
Bob Nachtrieb
Debbie Radakovich
Jane McGrath Schmig
Jesse Stiff

Thursday, April 16, 2026

2:00 PM

City Hall, Council Chambers

Citizens who are unable to attend the meeting can email comments in advance of the meeting to publiccomment@joliet.gov.

CALL TO ORDER

ROLL CALL

APPROVAL OF MINUTES

Zoning Board of Appeals Meeting Minutes 2-19-26

Attachments: [Zoning Board of Appeals Meeting Minutes 02-19-26.pdf](#)

CITIZENS TO BE HEARD ON AGENDA ITEMS

This section is for anyone wanting to speak regarding agenda items and are allowed a maximum of 4 minutes. It is not a question and answer period and staff, and the Zoning Board of Appeals members do not generally respond to public comments. The City Clerk has a copy of the public speaking procedures; please note, speakers who engage in conduct injurious to the harmony of the meeting shall be called to order by the Presiding Officer and may forfeit the opportunity to speak.

OLD BUSINESS: PUBLIC HEARING

During the Public Hearing, members of the public will be allowed to present evidence and ask questions subject to the rules of the meeting.

NEW BUSINESS: PUBLIC HEARING

During the Public Hearing, members of the public will be allowed to present evidence and ask questions subject to the rules of the meeting.

PETITION 2026-04: A series of Variations on signage, located at 16329 S. Boulevard Place. (COUNCIL DISTRICT #1)

Attachments: [16329 S. Boulevard PL Staff Report Packet](#)

PETITION 2026-05: A Variation on signage to exceed the maximum total sign area in the B-2 (central business) district, located at 203 N. Ottawa Street. (COUNCIL DISTRICT #5)

Attachments: [203 N Ottawa Packet.pdf](#)

PETITION 2026-06: A Variation to allow an illuminated subdivision monument sign in the R-1A (single-family residential) zoning district, located at SEC Theodore Street and Staghorn Drive. (COUNCIL DISTRICT #3)

Attachments: [ZBA 2026-06 \(SEC Theodore St and Staghorn Dr\) Staff Report Packet.pdf](#)

PETITION 2026-07: A Special Use Permit to allow a duplex, located at 1216 Fairview Avenue. (COUNCIL DISTRICT #4)

PETITION 2026-08: A Variation of Use for an R-3 (one- and two-family residential) use in the R-2 (single-family residential) zoning district, located at 1216 Fairview Avenue. (COUNCIL DISTRICT #4)

PETITION 2026-09: A series of Variations to deviate from Zoning Ordinance standards for a lot located within an R-2 (single-family residential) zoning district, located at 1216 Fairview Avenue. (COUNCIL DISTRICT #4)

****TO BE DEFERRED****

Attachments: [Fairview Deferred.pdf](#)

PETITION 2026-10: A Variation of Use to allow an indoor and outdoor commercial recreation facility, a B-3 (general business) use, in the R-B (restricted business) district, located at 749 Houbolt Road. (COUNCIL DISTRICT #5)

PETITION 2026-11: A Variation to allow unlighted outdoor recreational facilities within 200 feet of a single-family residential zoning district, located at 749 Houbolt Road. (COUNCIL DISTRICT #5)

Attachments: [ZBA 2026-10 2026-11 \(749 Houbolt Rd\) Staff Report Packet.pdf](#)

PETITION 2026-12: A Variation to increase maximum area of a ground sign for a non-residential use in the R-2 (single-family residential) zoning district, located at 1516 Edgerton Drive. (COUNCIL DISTRICT #2)

Attachments: [1516 Edgerton Packet.pdf](#)

PETITION 2026-13: A Special Use Permit to allow a tattoo studio, located at 81 N. Chicago Street. (COUNCIL DISTRICT #5)

PETITION 2026-14: A Variation of Use to allow a tattoo studio, a B-3 (general business) use, in the B-2 (central business) district, located at 81 N. Chicago Street. (COUNCIL DISTRICT #5)

PETITION 2026-15: A Variation to allow a tattoo studio within 1,000 feet of a library, located at 81 N. Chicago Street. (COUNCIL DISTRICT #5)

Attachments: [81 N Chicago Packet.pdf](#)

PETITION 2026-16: A Special Use Permit to allow a self-storage facility, located at 2450 W. Jefferson Street. (COUNCIL DISTRICT #5)

PETITION 2026-17: A Variation from the Non-Residential Design Standards to allow engineered wood siding in the I-1 (light industrial) zoning district, located at 2450 W. Jefferson Street. (COUNCIL DISTRICT #5)

Attachments: [ZBA 2026-16 2026-17 \(2450 W Jefferson St\) Staff Report Packet.pdf](#)

PETITION 2026-18: A Special Use Permit to allow an automotive repair facility, located at 370 Ruby Street. (COUNCIL DISTRICT #4)

PETITION 2026-19: A Variation from the spacing requirements for an automotive repair facility near a residential zoning district, located at 370 Ruby Street. (COUNCIL DISTRICT #4)

Attachments: [ZBA 2026-18 2026-19 \(370 Ruby St\) Staff Report Packet.pdf](#)

PETITION 2026-20: A Variation of Use to allow conversion of a single-unit residence into a two-unit residence, an R-3 (one- and two-family residential) use, in the R-2 (single-family residential) zoning district, located at 540 Bluff Street. (COUNCIL DISTRICT #4)

PETITION 2026-21: A Variation to reduce the front yard setback to allow a second story addition, located at 540 Bluff Street. (COUNCIL DISTRICT #4)

Attachments: [ZBA 2026-20 2026-21 \(540 Bluff St\) Staff Report Packet.pdf](#)

PETITION 2026-22: A Variation of Use to allow the continuation of a three-unit residence, an R-4 (multi-family residential) use, in the R-2 (single-family residential) zoning district, located at 201 N. William Street. (COUNCIL DISTRICT #2)

Attachments: [ZBA 2026-22 \(201 N William St\) Staff Report Packet.pdf](#)

NEW BUSINESS

Election of Vice Chair

OLD/NEW BUSINESS—NOT FOR FINAL ACTION OR RECOMMENDATION

PUBLIC COMMENT

This section is for anyone wanting to speak regarding non-agenda items and are allowed a maximum of 4 minutes. It is not a question and answer period and staff, and the Zoning Board of Appeals members do not generally respond to public comments. The City Clerk has a copy of the public speaking procedures; please note, speakers who engage in conduct injurious to the harmony of the meeting shall be called to order by the Presiding Officer and may forfeit the opportunity to speak.

ADJOURNMENT

This meeting will be held in an accessible location. If you need a reasonable accommodation, please contact The City Clerk Office, 150 West Jefferson Street, Joliet, Illinois 60432 at (815) 724-3780.



City of Joliet

150 West Jefferson Street
Joliet, IL 60432

Memo

File #: TMP-9651

Agenda Date:4/16/2026

City of Joliet

150 West Jefferson Street
Joliet, IL 60432



Meeting Minutes - Pending Approval

Thursday, February 19, 2026

2:00 PM

City Hall, Council Chambers

Zoning Board of Appeals

Board Members

Ralph Bias

Ed Hennessy

Bob Nachtrieb

Debbie Radakovich

Brigette Roehr

Jane McGrath Schmig

Jesse Stiff

Citizens who are unable to attend the meeting can email comments in advance of the meeting to publiccomment@joliet.gov.

CALL TO ORDER

ROLL CALL

Present Ralph Bias, Ed Hennessy, Bob Nachtrieb, Debbie Radakovich, Jane McGrath Schmig and Jesse Stiff
Absent Brigette Roehr

ALSO PRESENT: Community Development Director Dustin Anderson, Planning Director Jayne Bernhard, Interim Corporation Counsel Todd Lenzie, Interim Deputy Coporation Counsel Stephanie Silkey, Assistant Corporation Counsel Deanna Donnelly, Legal Assistant Katy Fyksen, Planner Raymond Heitner, Planner Francisco Jimenez, Planner Helen Miller, Economic Development Specialist Emily McGuire, and Records Coordinator Lauren Helland

APPROVAL OF MINUTES

Zoning Board of Appeals Meeting Minutes 1-15-26

[TMP-9445](#)

Attachments: [Zoning Board of Appeals Meeting Minutes 01-15-26.pdf](#)

A motion was made by Bob Nachtrieb, seconded by Ralph Bias, to approve Zoning Board of Appeals Meeting Minutes 1-15-26. The motion carried by the following vote:

Aye: Bias, Hennessy, Nachtrieb, Radakovich, McGrath Schmig and Stiff

Absent: Roehr

CITIZENS TO BE HEARD ON AGENDA ITEMS

None

OLD BUSINESS: PUBLIC HEARING

None

NEW BUSINESS: PUBLIC HEARING

PETITION 2026-03: A series of Variations to reduce the required rear and side yard setbacks for a new detached garage from 3 feet to 1 foot, located at 108 Hunter Avenue. (COUNCIL DISTRICT #5)

[TMP-9446](#)

Attachments: [ZBA 108 Hunter Avenue - Staff Report Packet Redactedv2.pdf](#)

Planning Director Jayne Bernhard read the staff report into the record. Fabian Contreras appeared on behalf of the petition. In response to Mr. Bias's question regarding an existing structure, Mr. Contreras explained he would like to move the structure one foot. No one from the public spoke in favor of or in opposition

to the petition.

A motion was made by Ralph Bias, seconded by Jesse Stiff, to approve PETITION 2026-03: A series of Variations to reduce the required rear and side yard setbacks for a new detached garage from 3 feet to 1 foot, located at 108 Hunter Avenue. (COUNCIL DISTRICT #5). The motion carried by the following vote:

Aye: Bias, Hennessy, Nachtrieb, Radakovich, McGrath Schmig and Stiff

Absent: Roehr

OLD/NEW BUSINESS—NOT FOR FINAL ACTION OR RECOMMENDATION

None

PUBLIC COMMENT

None

ADJOURNMENT

A motion was made by Ralph Bias, seconded by Jesse Stiff, to approve adjournment. The motion carried by the following vote:

Aye: Bias, Hennessy, Nachtrieb, Radakovich, McGrath Schmig and Stiff

Absent: Roehr

This meeting will be held in an accessible location. If you need a reasonable accommodation, please contact The City Clerk Office, 150 West Jefferson Street, Joliet, Illinois 60432 at (815) 724-3780.



City of Joliet

150 West Jefferson Street
Joliet, IL 60432

Memo

File #: ID-2245-20

Agenda Date:4/16/2026

STAFF REPORT

DATE: April 16, 2026
TO: Zoning Board of Appeals
FROM: Ray Heitner - Planner
RE: Petition Number: 2026-04
Applicant: David Mikel – SES Branding
Status of Applicant: Agent of the property owner
Location: 16329 S. Boulevard Place
Request: A series of Variations on signage (COUNCIL DISTRICT #1)

Purpose

The applicant is requesting the following variations to allow signage as shown on the attached elevations for a new Longhorn Steakhouse restaurant at 16329 S. Boulevard Place:

- Variation to allow two wall signs on the north side of the building
- Variation to allow two wall signs on the west side of the building

The Zoning Board of Appeals makes the final decision on these variation requests.

Site Specific Information

The subject property is a 1.5-acre lot within the Boulevard Place Planned Unit Development (PUD) located northwest of the Plainfield Road and Interstate 55 interchange. The proposed restaurant is under construction on Lot 7 of the Boulevard Unit 4 subdivision within the PUD.

When the Boulevard Place PUD was last amended in 2019, the City of Joliet entered into an Intergovernmental Agreement to adopt Design Guidelines that both municipalities would use to establish mandatory development standards for properties within the PUD footprint. The Design Guidelines are intended to supplant each municipality's zoning regulations. The Site Development Standards section within the Design Guidelines regulates signage. Section 3b(v) of the Standards states that only one wall sign per building frontage of the building shall be permitted. The petitioner wishes to install two signs on the north and west sides of the restaurant. Staff views the requested variations as a minor change from the concept and intent of the Boulevard Place Design Guidelines, which allows for the City's discretion to require approval of the requested Variations by the Zoning Board of Appeals.

Both the north and west sides of the building would include an approximately sized, 69-square-foot, internally illuminated, channel letter sign spelling out the restaurant's name. These façades would also include an approximately sized, 20-square-foot, steer logo sign that is a common feature of other Longhorn Steakhouse restaurants. The requested size of all signage is within the allowable square footage.

Surrounding Zoning, Land Use and Character

The subject property is the Boulevard Place PUD and is surrounded by B-3 (General Business) district zoning on the west, north, and east sides. Interstate 55 right-of-way is directly south of the subject property.

Applicable Regulations

- Section 2(f)(g) Planned Development Design Guidelines – Minor Changes
- Section 3b Planned Development Design Guidelines – Wall Signs
- Section 47-19.8 Findings of Facts Supporting a Variation (refer to attachment)

Analysis

Approval of the requested variations would allow the developer to install two signs on the north and west facades of the proposed restaurant building. Section 47-19.8 of the City's Zoning Ordinance details the findings of fact that need confirmation to support a variation request. Staff does not believe a hardship or practical difficulty to allow the proposed signage exists. The property in question can still yield a reasonable return if the variations are not granted and there are no perceived unique circumstances.

However, staff does believe that the variations, if granted, will not alter the essential character of the locality. The requested signage is a common feature on other Longhorn Steakhouses throughout the country. Staff concurs with the applicant's assertion that the proposed signage is architecturally integrated with the building design, utilizes channel letters and halo-illuminated logos that are consistent with other commercial developments in the PUD area, and does not introduce excessive height, animation, or off-premise messaging. The signage as proposed does not introduce visual clutter beyond what is typical for similar properties in the PUD area. For these reasons, staff supports the requested variations to allow additional signage on the north and west facades of the building.

Conditions

None.

ZONING BOARD OF APPEALS
CRITERIA FOR VARIATIONS

Section 47-19.8 of the Zoning Ordinance states:

A variation shall not be granted in any case unless the Board shall find and clearly state in its record of the case that:

	Does the evidence presented sustain this criteria?	Comments
<p>(1) Reasons sustaining the contention that strict enforcement of the Ordinance would involve practical difficulties or impose exceptional hardship were found as follows:</p> <p>(a) _____</p> <p>(b) _____</p> <p>(c) _____</p> <p>(list of reasons)</p>		
<p>(2) Adequate evidence was submitted to establish practical difficulties or particular hardship so that, in the judgment of the Board, a variation is permitted because the evidence sustained the existence of each of the three following conditions:</p> <p>(a) The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in the particular district or zone.</p> <p>(b) The plight of the owner is due to unique circumstances.</p> <p>(c) The variation, if granted, will not alter the essential character of the locality.</p>		
<p>(3) A public hearing was held on such variation of which at least 15 days and not more than 30 days notice was published in the _____ (name of newspaper) on _____ (date).</p>		



Zoning Board of Appeals Application Packet

Variation

This packet should contain all of the following documents:

- Application;
- Ownership disclosure form;
- Public notice sign posting requirements and sign template

If you have any questions please contact the Planning Division staff.

Joliet Planning Division - 150 West Jefferson Street,
First Floor-South Wing, Joliet, Illinois 60432

Phone Number: (815) 724-4050

Email Address: zoning@joliet.gov

Filing Fees:

The following fees **will be invoiced** once the petition is accepted:

Filing Fee Type	Amount
Variation for a Single-Family Home	\$200.00
Variation for a Mutli-Family Property	\$500.00
Variation for a Non-Residential Property	\$500.00
Additional Variations	\$50.00 each
Sign Deposit Fees (properties that are less than one (1) acre)	\$100.00 (\$50.00 for an English sign & \$50.00 for a Spanish sign)

Notice of Petition Request:

In accordance with Resolution No. 1694 of the City of Joliet, all persons residing within 600 ft. of the property referred to in this application must be notified of the proposed re-zoning. The Planning Division will notify these residents 10 days prior to the meeting of the Zoning Board of Appeals.

Sign Deposits:

At least one sign shall be posted no later than 15 days, but not more than 30 days before, the hearing date. The sign shall contain the time and place of the public hearing and the nature of the request. It shall be placed in a conspicuous location on the property so it may be observed and read from the street. If the property is less than one (1) acre, the sign shall be provided by the City of Joliet Planning Staff upon the applicant's payment of the \$50.00 deposit for each sign. It shall be the applicant's responsibility to post the sign. If the property is larger than one (1) acre, the applicant shall be responsible for creating and erecting the sign. **For properties larger than one (1) acre, please refer to the "Requirements For Posting Land Use Change Informational Signs" sheet in this packet.**

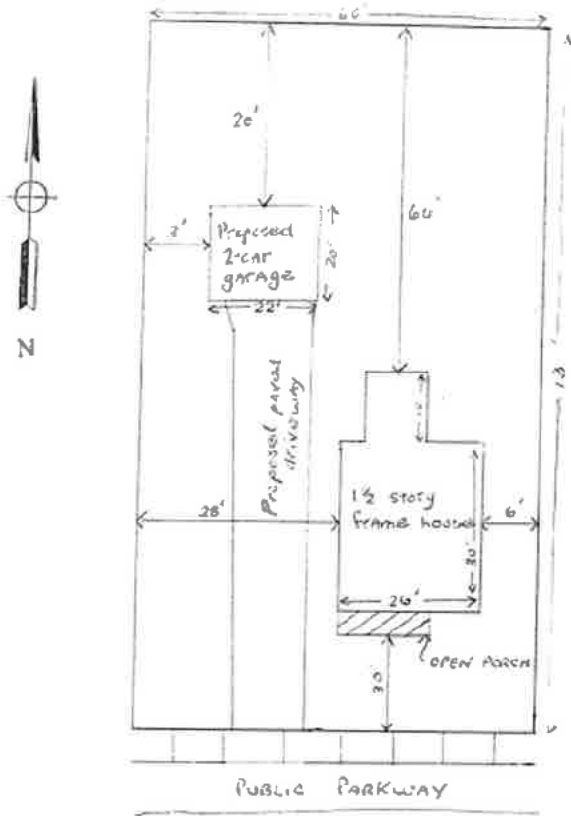
Upon completion of the public hearing, the sign(s) shall be removed and returned to the City of Joliet within ten (10) days. If the applicant fails to remove the sign within ten days, the City of Joliet may remove the sign, and the cost of the removal shall be deducted from the applicant's sign deposit. Please allow approximately 10-15 days for sign deposit refund processing.

Failure to post the notice sign as required may result in the deferral of action on, or the denial of the applicant's petition.

EXAMPLES:

PLAT OF SURVEY

LOT 7, EXCEPT THE NORTH 80 FEET THEREOF, IN KATHERINE S. NICHOLSON'S SUBDIVISION OF THE SOUTHWEST PART OF BLOCK 49, OF THE CANAL TRUSTEES' SUBDIVISION OF THE WEST HALF OF SECTION 9, IN TOWNSHIP 35 NORTH, AND IN RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED MAY 3, 1901 IN PLAT BOOK 11, PAGE 66, SITUATED IN THE CITY OF JOLIET, WILL COUNTY, ILLINOIS.



Sample Site Plan
(For illustrative purposes only)



Sample Floor Plan
(For illustrative purposes only)

FOR OFFICE USE ONLY

***Verified by Planner (please initial): _____ ***

Payment received from:

Petition #: _____

Common Address: _____

Date filed: _____

Meeting date assigned: _____

ZONING BOARD OF APPEALS

JOLIET, ILLINOIS

PETITION FOR VARIATION/APPEAL

City of Joliet Planning Division, 150 W. Jefferson St., Joliet, IL 60432

Ph (815)724-4050 Fax (815)724-4056

ADDRESS FOR WHICH VARIATION IS REQUESTED: 16329 S Boulevard Place

PETITIONER'S NAME: David Mikel - SES Branding

HOME ADDRESS: _____ ZIP CODE: _____

BUSINESS ADDRESS: 6001 Nimitz Parkway, South Bend, IN ZIP CODE: 46628

PHONE: (Primary) [REDACTED] (Secondary) [REDACTED]

EMAIL ADDRESS: [REDACTED] FAX: _____

PROPERTY INTEREST OF PETITIONER: Agent of property owner

OWNER OF PROPERTY: Edward McGowan, Managing Member, 5530 Acquisition, LLC

HOME ADDRESS: _____ ZIP CODE: _____

BUSINESS ADDRESS: 5420 W 112nd St., Alsip, IL ZIP CODE: 60803

EMAIL ADDRESS: [REDACTED] FAX: _____

Any use requiring a business license shall concurrently apply for a business license and submit a copy with this petition. Additionally, if this request is for operation of a business, please provide the following information:

BUSINESS REFERENCES (name, address, phone or email):

OTHER PROJECTS AND/OR DEVELOPMENTS:

PERMANENT INDEX NUMBER (TAX NO. OR P. I. N.): 0603234010070000 ;
_____ ; _____ ; _____ .

Property Index Number/P.I.N. can be found on tax bill or Will County Supervisor of Assessments website

LEGAL DESCRIPTION OF PROPERTY (an attached copy preferred):

LOT 7 The Boulevard Unit 4, a ReSub of Lots 2, 3 & 4 in Unit 2 of The Boulevard PUD, being
a Sub in Sec 23, T36N-R9E.

LOT SIZE: WIDTH: _____ DEPTH: _____ AREA: 1.51 acres

PRESENT USE(S) OF PROPERTY: vacant

PRESENT ZONING OF PROPERTY: B3

VARIATION/APPEAL REQUESTED: Request to place more than one sign (2) on two separate elevations.
Allowed 241.8 SF, proposing 315 SF

RESPONSE TO VARIATION CRITERIA

The Zoning Board of Appeals is authorized to grant or recommend relief only when it has received adequate evidence to establish a practical difficulty or hardship. The evidence must support each of the following three conditions:

- (a) The property in question cannot yield a reasonable return by use permitted and subject to the conditions allowed by the regulations in the particular district or zone.
- (b) The plight of the owner is due to unique circumstances.
- (c) The variation, if granted, will not alter the essential character of the locality.

Please describe how this request meets the criteria by responding to the following questions in your own words.

1. How do the applicable zoning regulations prevent the property in question from yielding a reasonable return?
See attached document.

2. What unique circumstances exist which mandate a variance?

See attached document.

3. What impact would the granting of this variance have upon the essential character of the general area? Please include both positive and negative impacts.

See attached document.

REQUIRED SUPPORTING ATTACHMENTS

- Site plan / concept plan / floor plan / building elevation plan
- Joliet Ownership Disclosure form
- Business license application (if applicable)

NOTARIZATION OF PETITION

STATE OF ^{Indiana} ~~ILLINOIS~~ ss
COUNTY OF ~~WILL~~ ^{St. Joseph}

I, [redacted], depose and say that the above statements are true and correct to the best of my knowledge and belief. I agree to be present in person or by representation when this petition is heard before the Zoning Board of Appeals.

[redacted signature area]

Owner's Signature
(If other than petitioner)

Subscribed and sworn to before me
this 29th day of January, 20 26

[redacted notary area]

CITY OF JOLIET OWNERSHIP DISCLOSURE FORM

The City of Joliet requires that applicants for zoning relief, subdivision approval, building permits and business licenses disclose the identity of all persons having an ownership interest in the business and the real property associated with the application. A copy of this form must be completed and submitted with other application materials. Failure to properly complete and submit this form may result in the denial of the application.

I. INFORMATION ABOUT THE APPLICATION

This form is submitted as part of an application for the following (check all that apply):

- Rezoning, Special Use Permit, Variation, or Other Zoning Relief (Complete Sections II and III)
- Preliminary Plat, Final Plat, or Record Plat of Subdivision (Complete Sections II and III)
- Building Permit (Complete Sections II and III)
- Business License (Complete All Sections)

II. INFORMATION ABOUT THE PROPERTY

The address and PIN(s) of the real property associated with this application are:

16329 S Boulevard Place, Joliet, IL 60586

PIN(s): 06-03-23-401-007-0000

III. PROPERTY OWNERSHIP

Select the type of owner of the real property associated with this application and fill in the appropriate contact information below:

- Individual:** State the names, addresses, and phone #'s of the individual owner(s)
- Corporation:** State the names, addresses, and phone #'s of all persons holding 3% or more of the stock of the corporation and the percentage of shares held by such stockholders
- Limited Liability Company:** State the names, addresses, and phone #'s of all members of the company along with the percentage of ownership held by each member
- Land Trust:** State the names, addresses, and phone #'s of the trustee(s) and all beneficiaries
- Partnership:** State the names, addresses, and phone #'s of all partners
- Other type of organization:** State the names, addresses, and phone #'s of all persons having a legal or equitable ownership interest in the organization or the right to direct the affairs of the organization

SSBO Acquisition, LLC

5420 W. 122nd Street

Alsip, IL, 60803

E-MAIL: [REDACTED] FAX: _____

IV. BUSINESS OWNERSHIP

If the owner of the business is different than the owner of the real property associated with the application, then the following information must be provided:

Select the type of business owner associated with this application and fill in the contact information below:

- Individual:** State the names, addresses, and phone #'s of the individual owner(s)
- Corporation:** State the names, addresses, and phone #'s of all persons holding 3% or more of the stock of the corporation and the percentage of shares held by such stockholders
- Limited Liability Company:** State the names, addresses, and phone #'s of all members of the company along with the percentage of ownership held by each member
- Partnership:** State the names, addresses, and phone #'s of all partners
- Other type of organization:** State the names, addresses, and phone #'s of all persons having a legal or equitable ownership interest in the organization

E-MAIL: _____ FAX: _____

NOTE:
If a stockholder, member, beneficiary or partner disclosed in Section III or Section IV is not an individual, then the individuals holding the legal or equitable title to the real property or business associated with the application must also be disclosed. For example, if the real property associated with an application is owned by a land trust, and the beneficiary of the land trust is a limited liability company, then the members of the limited liability company must be disclosed. If one of the members of the limited liability company is a partnership, then the identity of the partners must be disclosed. If one of the partners is a corporation, then all persons owning 3% or more of the issued stock must be disclosed.

SIGNED: _____

DATE: 1-28-2020 _____

Name, Title, and Telephone Numbers of Person Completing and Submitting This Form:

PRINT

How to Post a Sign for any Land Use Change

In an effort to increase the awareness of neighborhoods of potential land use changes in their areas, the City of Joliet requires posting of a sign giving notice of a hearing on a proposed land use change. All petitions filed for review by the Zoning Board of Appeals and Plan Commission must follow these procedures:

1. At least one sign for every 500 feet of street frontage, with a minimum of one sign on each street abutting the property shall be posted. If the property in question is more than 1 acre please refer to page 2 for information.
2. The sign shall be posted at least 15 days but not more than 30 days before the hearing date.
3. The sign shall contain the time and place of the public hearing and the nature of the land use change being requested. It shall be placed in a conspicuous location on the property so it may be observed and read from the street.
4. The sign shall be provided by the City of Joliet Planning Division upon the applicant's payment of a \$50.00 deposit for each sign.
5. It shall be the applicant's responsibility to post the sign. Written certification of the posting of the sign shall be provided by the applicant to the City with the date and location of the posting of the sign.
6. Upon completion of the public hearing, the sign shall be removed and returned to the City within ten days. The applicant's deposit shall be refunded upon return of the sign.
7. Failure to post the sign as required may result in the deferral of action on, or the denial of, the applicant's petition.

Requirements For Posting Land Use Change Informational Signs

(6) Land Use Change Informational Signs: In addition to the publication of newspaper notice for a public hearing on any request for a land use change (such as a petition for a variation, special exception, variation of use, or zoning reclassification) and any request for subdivision approval (preliminary plat), notice of a public hearing on such land use change shall be given by posting one or more land use change informational signs on the subject property in accordance with the following provisions:

(A) For parcels comprising 1 acre or more:

- (1) The applicant or the applicant’s agent shall erect a sign or signs with minimum dimensions of three (3) by four (4) feet. The number and location of the sign(s) shall be determined by the City Manager or his designee.
- (2) The sign(s) shall conform to the format provided by the City Manager or his designee and shall contain the time and place of public hearing and the nature of the application (SEE BELOW)
- (3) The sign(s) shall be posted at least 15 days but not more than 30 days before the public hearing date.
- (4) It shall be the responsibility of the applicant to prepare and create such signs and to erect whatever framework that may be necessary to display the signage.
- (5) Upon completion of the public hearing, the sign(s) shall be removed within 10 days. If the applicant fails to remove the sign, the City of Joliet may remove the sign, and the cost of such removal shall be billed to the applicant and shall constitute a debt payable to the City.

**NOTICE OF PUBLIC MEETING
CITY OF JOLIET, IL**

DATE/TIME: _____

LOCATION: City Hall Council Chambers
150 W. Jefferson St., Joliet

DESCRIPTION OF REQUEST:

FOR MORE INFORMATION CALL: 815-724-4040 OR
815-724-4050

**COMMUNITY DEVELOPMENT DEPARTMENT
CITY OF JOLIET**



Restaurant #23L0046

NEC of U.S. Rte 30 & The Boulevard Joliet, IL 60431



Ph: 1.800.599.7696
Fax: 1.574.237.6166

www.siteenhancementservices.com



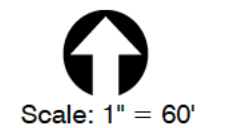
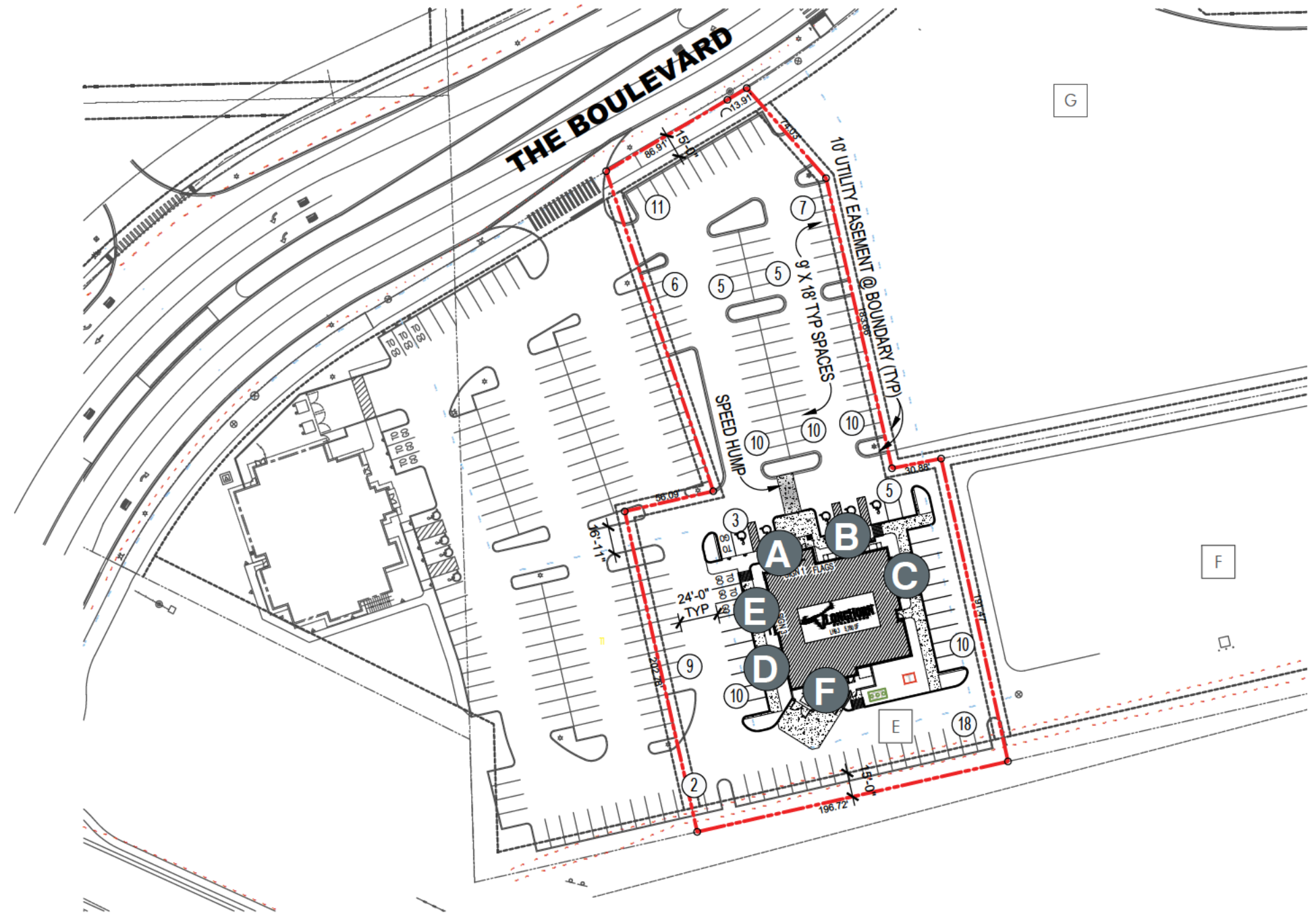
TRAFFIC PATTERNS

Restaurant # 23L0046
NEC of U.S. Rte 30 & The Boulevard Joliet, IL 60431



SITE PLAN

- A** 36" Channel Letters on Raceway: 68.9 SF
- B** 3'-9" x 5'-3" Steer Logo: 19.7 SF
- C** 36" Channel Letters on Raceway: 68.9 SF
- D** 36" Channel Letters on Raceway: 68.9 SF
- E** 3'-9" x 5'-3" Steer Logo: 19.7 SF
- F** 36" Channel Letters on Raceway: 68.9 SF
- G** Custom 11 3/4" x 5'-6" Tenant Panel on Shared Sign: 5.6 SF
 See aerial for shared sign location
- H** Custom 11 3/4" x 5'-6" Tenant Panel on Shared Sign: 5.6 SF
 See aerial for shared sign location

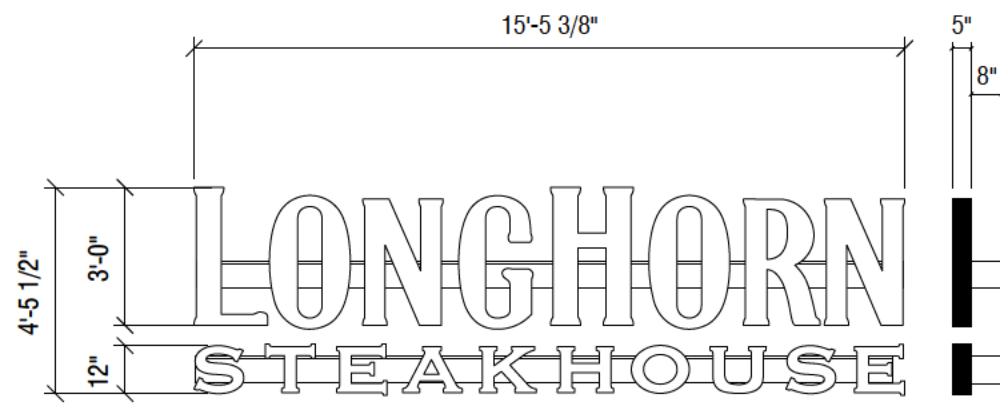


FRONT ELEVATION

Restaurant # 23L0046
 NEC of U.S. Rte 30 & The Boulevard Joliet, IL 60431



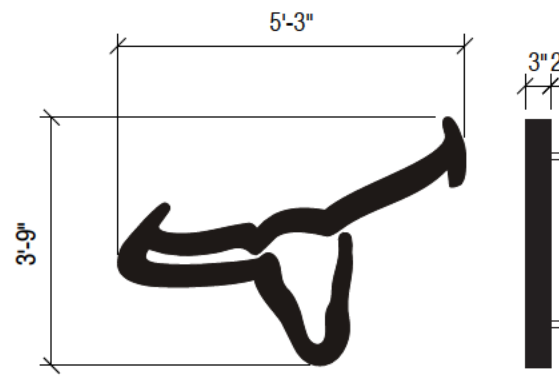
Scale: 3/32" = 1'



A 36" Channel Letters on Raceway (Internally Illuminated w/ LED)
 Utilized Square Footage: 68.9 SF
 Scale: 1/4"=1'



ILLUMINATION VIEW



B Steer Logo (Halo Illuminated w/ LED)
 Utilized Square Footage: 19.7 SF
 Scale: 3/8"=1'



ILLUMINATION VIEW





LEFT ELEVATION

Restaurant # 23L0046
 NEC of U.S. Rte 30 & The Boulevard Joliet, IL 60431



Scale: 3/32" = 1'



C 36" Channel Letters on Raceway (Internally Illuminated w/ LED)
 Utilized Square Footage: 68.9 SF
 Scale: 1/4" = 1'



ILLUMINATION VIEW





RIGHT ELEVATION

Restaurant # 23L0046
 NEC of U.S. Rte 30 & The Boulevard Joliet, IL 60431



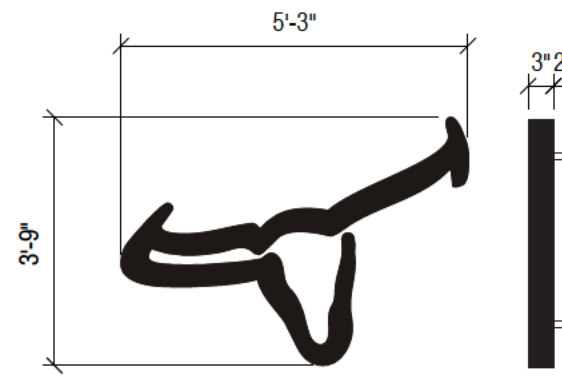
Scale: 3/32" = 1'



D 36" Channel Letters on Raceway (Internally Illuminated w/ LED)
 Utilized Square Footage: 68.9 SF
 Scale: 1/4"=1'



ILLUMINATION VIEW



E Steer Logo (Halo Illuminated w/ LED)
 Utilized Square Footage: 19.7 SF
 Scale: 3/8"=1'



ILLUMINATION VIEW





REAR ELEVATION

Restaurant # 23L0046
 NEC of U.S. Rte 30 & The Boulevard Joliet, IL 60431



Scale: 3/32" = 1'



F 36" Channel Letters on Raceway (Internally Illuminated w/ LED)
 Utilized Square Footage: 68.9 SF
 Scale: 1/4" = 1'

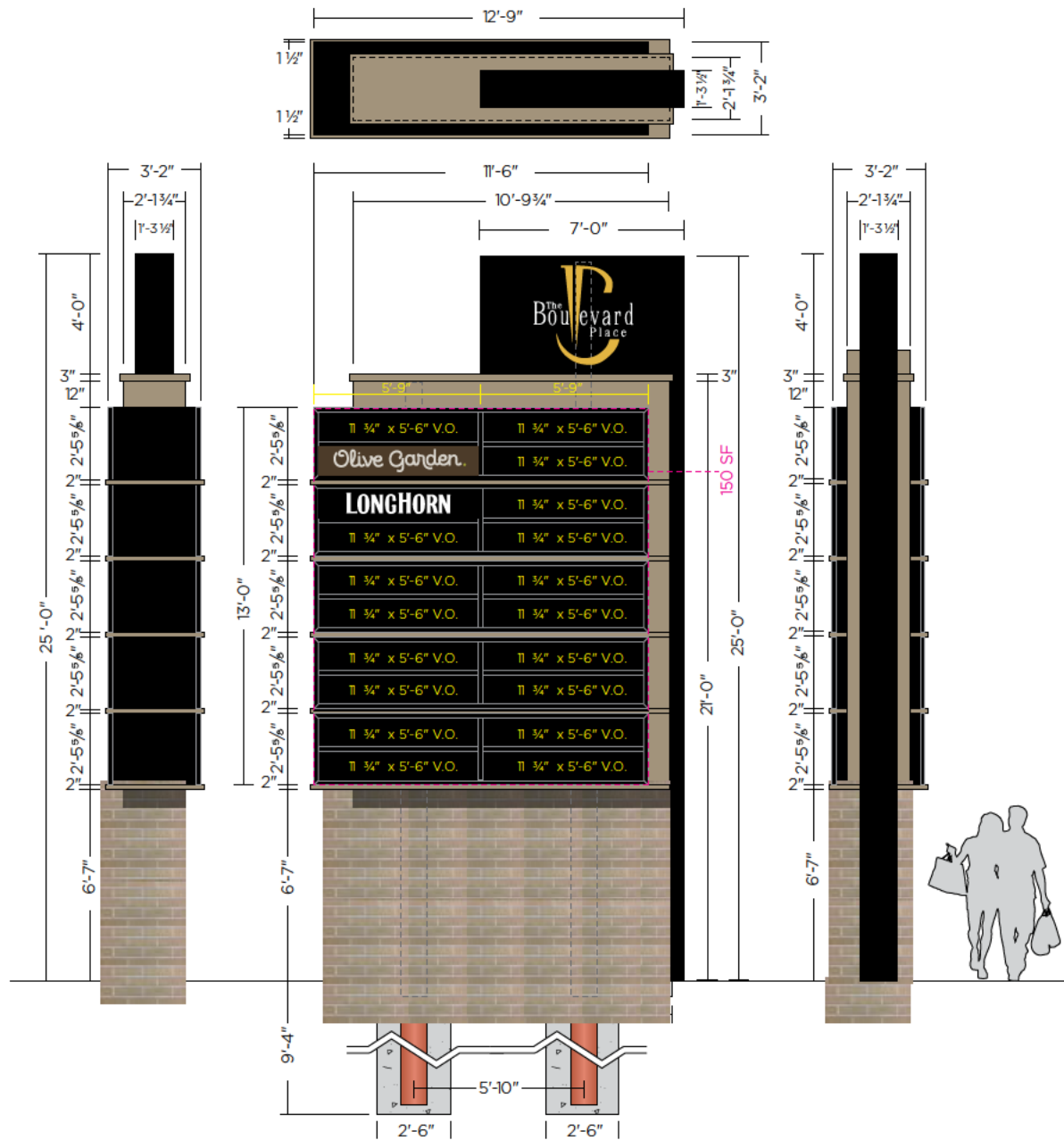


ILLUMINATION VIEW





GROUND SIGN



Scale: 1/8" = 1'



- G** Custom 11' 3/4" x 5' 6" Tenant Panel on D/F Shared Monument
- H** Utilized Square Footage: 5.6 SF
- H** Scale: 1"=1'



A
C
D
F



MATERIAL FINISH COLORS			
Returns	Faces	Faces	Trimcap
Pre-finished Aluminum Matte Black finish	7328 White Acrylic	2283 Red Acrylic w/ 3M 3635-210 White Perforated Vinyl	Black

RACEWAY COLORS		
Raceway Option 1	Raceway Option 2	Raceway Option 3
Benjamin Moore #063 "Pennies from Heaven"	Benjamin Moore "Brookline Beige" HC 47	Benjamin Moore "Country Redwood" HC-183
Quantity	Quantity	Quantity

ELECTRICAL REQUIREMENTS

Total: T.B.D. Amps

(1) 120V 20A Circuit Required.

ALL BRANCH CIRCUITS SHALL BE DEDICATED TO SIGNS (INCLUDING GROUND AND NEUTRAL) AND SHALL NOT BE SHARED WITH OTHER LOADS.

LH-36RW / INTERNALLY ILLUMINATED CHANNEL LETTERS ON RACEWAYS / TOTAL: 68.90 SQ.FT.

QTY: ONE (1) SCALE : 1/2" = 1'-0"

"LONGHORN":
FACES: (.187) #2283 RED ACRYLIC W/ 3m # 3635-210 WHITE PERFORATED VINYL APPLIED 1ST SURFACE
 (LETTERS TO APPEAR WHITE DURING DAY & RED AT NIGHT).
RETURNS: 5" DEEP, .040 PRE-FINISHED MATTE BLACK ALUMINUM W/ BLACK TRIMCAP.
NOTE: INTERIOR OF LETTERS TO BE PAINTED W/ WHITE LIGHT ENHANCEMENT PAINT.
ILLUMINATION: GE RED LED MODULES & POWER SUPPLIES(PER GE LAYOUT)

"STEAKHOUSE":
FACES: (.187) #7328 WHITE ACRYLIC.
RETURNS: 5" DEEP, .040 PRE-FINISHED MATTE BLACK ALUMINUM W/ BLACK TRIMCAP.
NOTE: INTERIOR OF LETTERS TO BE PAINTED W/ WHITE LIGHT ENHANCEMENT PAINT.
ILLUMINATION: GE WHITE LED MODULES & POWER SUPPLIES(PER GE LAYOUT)

CUSTOMER TO PROVIDE:
 (For New / Remodel Construction) ADEQUATE BEHIND THE WALL BACKING AND ACCESS AS REQUIRED TO INSTALL SIGNAGE. CUSTOMER TO FORWARD COPY OF FINAL APPROVED SIGNAGE DRAWINGS TO BUILDING SITE CONTACT SO THAT THESE PROVISIONS CAN BE MADE DURING CONSTRUCTION AND PRIOR TO SIGN INSTALLATION.

ALL BRANCH (PRIMARY ELECTRICAL SERVICE) CIRCUITS & FINAL CONNECTION TO EACH SIGN (WITHIN 5 FT.) TO BE BY CERTIFIED ELECTRICIAN:

- All branch circuits for signs must be totally dedicated to signs (including dedicated ground and dedicated neutral per circuit).
- Sign circuits must not be shared with other loads such as lighting, air conditioning, and other equipment.
- Properly sized ground wire that can be traced back to the breaker panel must be provided.
- Number and size of circuits for each sign to meet Federal Health Sign's requirement.

Any deviation from the above recommendations may result in:

- Damage to or improper operation of the sign(s).
- Delays and additional costs.

Notes:

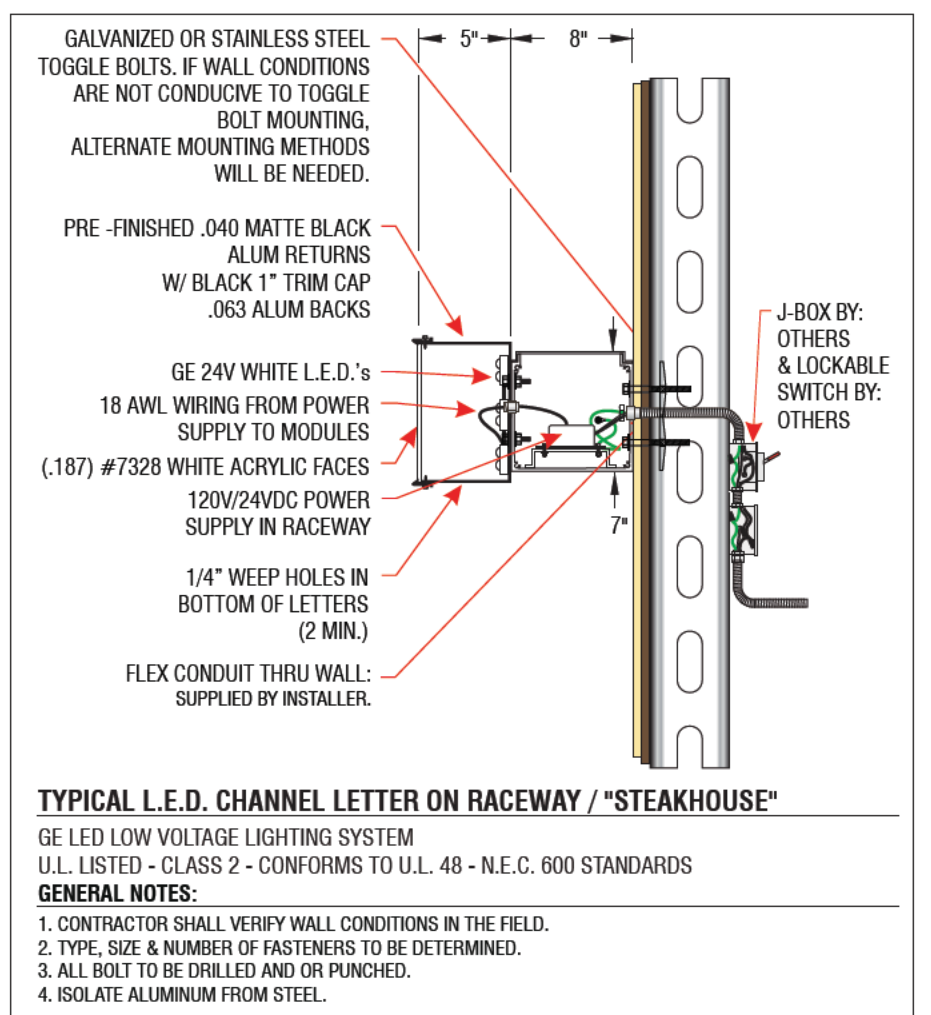
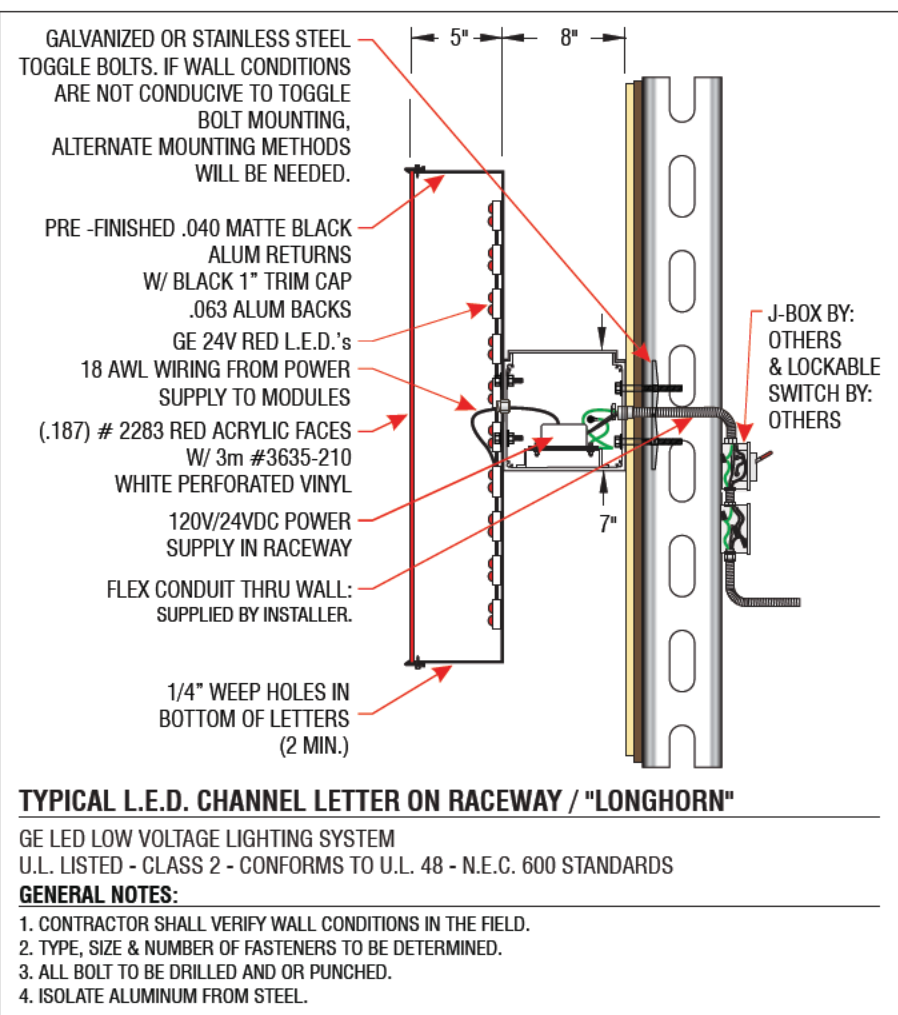
- Certain electrical components of signs will fail prematurely if signs are not shut-off for a period of time, once, each day. For best performance, we recommend signs to be connected to an automatic controlling device such as an Energy Management System, Time Clock or Photo Cell that will automatically shut-off the sign for a period of time, each day. Failure to do so will cause damage to the electrical components of the sign and will void the warranty.
- Some dimming devices will also adversely affect sign electrical components, causing failure. Any dimming of the sign without consultation with Federal Health Sign Co. will void the warranty.

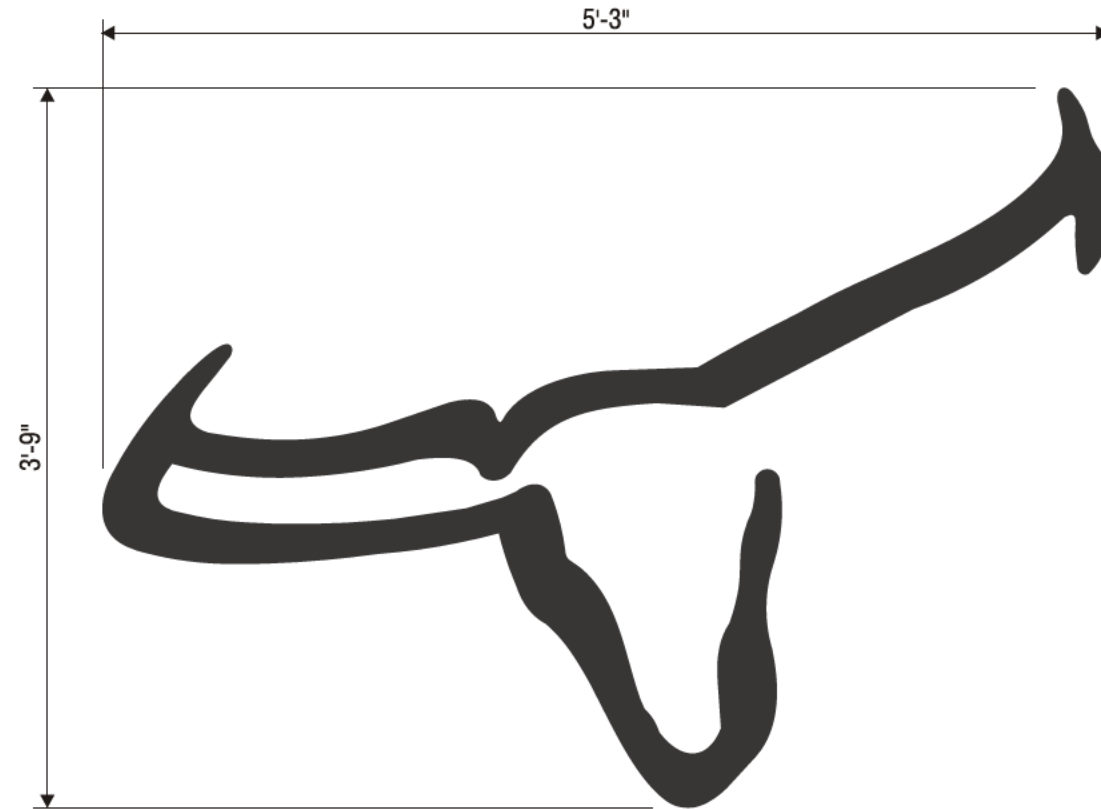
INSTALLER IS RESPONSIBLE FOR:

PROVIDING AND INSTALLING ALL COMPONENTS REQUIRED TO RUN SECONDARY WIRING (CONNECTORS, GTO CONDUIT, ETC.) TO BE DETERMINED BY LOCAL CODE AND SITE CONDITIONS.

PROVIDING ALL NEEDED INSTALLATION HARDWARE AS DETERMINED BY LOCAL CODE AND SITE CONDITIONS.

SEALING BUILDING PENETRATIONS WITH SILICONE TO PREVENT MOISTURE PENETRATION @ EXTERIOR LOCATIONS.





LH-45STEER / HALO-ILLUMINATED REVERSE CHANNEL STEER / 19.68 SQ.FT.

"LONGHORN":

FACE & RETURNS: FABRICATED FROM ALUMINUM & PAINTED SATIN BLACK FINISH.

NOTE: INTERIOR OF LETTERS TO BE PAINTED W/ WHITE LIGHT ENHANCEMENT PAINT.

ILLUMINATION: GE WHITE LED MODULES POWERED BY REMOTE POWER SUPPLIES.(PER GE LAYOUT)

SCALE : 1" = 1'-0"

CUSTOMER TO PROVIDE:

(For New / Remodel Construction) ADEQUATE BEHIND THE WALL BACKING AND ACCESS AS REQUIRED TO INSTALL SIGNAGE. CUSTOMER TO FORWARD COPY OF FINAL APPROVED SIGNAGE DRAWINGS TO BUILDING SITE CONTACT SO THAT THESE PROVISIONS CAN BE MADE DURING CONSTRUCTION AND PRIOR TO SIGN INSTALLATION.

ALL BRANCH (PRIMARY ELECTRICAL SERVICE) CIRCUITS & FINAL CONNECTION TO EACH SIGN (WITHIN 5 FT.) TO BE BY CERTIFIED ELECTRICIAN:

- A. All branch circuits for signs must be totally dedicated to signs (including dedicated ground and dedicated neutral per circuit).
- B. Sign circuits must not be shared with other loads such as lighting, air conditioning, and other equipment.
- C. Properly sized ground wire that can be traced back to the breaker panel must be provided.
- D. Number and size of circuits for each sign to meet Federal Heath Sign's requirement.

Any deviation from the above recommendations may result in:

- 1. Damage to or improper operation of the sign(s).
- 2. Delays and additional costs.

Notes:



- Ⓢ Certain electrical components of signs will fail prematurely if signs are not shut-off for a period of time, once, each day. For best performance, we recommend signs to be connected to an automatic controlling device such as an Energy Management System, Time Clock or Photo Cell that will automatically shut-off the sign for a period of time, each day. Failure to do so will cause damage to the electrical components of the sign and will void the warranty.
- Ⓢ Some dimming devices will also adversely affect sign electrical components, causing failure. Any dimming of the sign without consultation with Federal Heath Sign Co. will void the warranty.

INSTALLER IS RESPONSIBLE FOR:

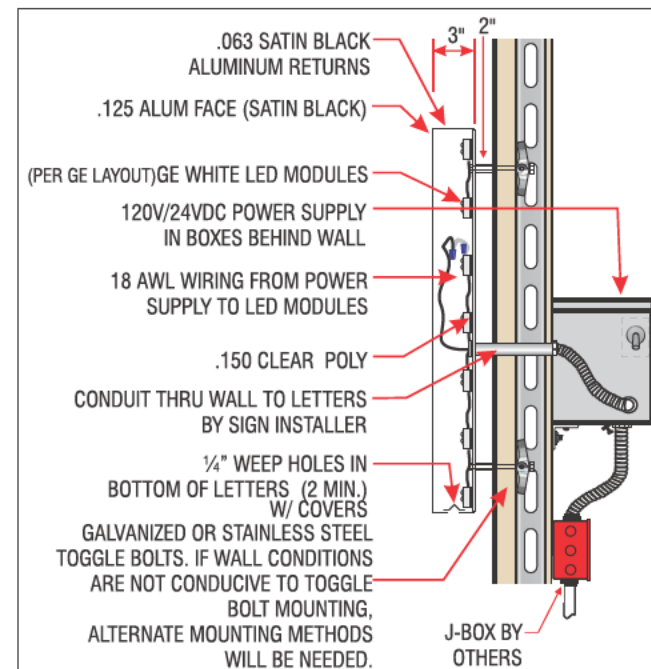
PROVIDING AND INSTALLING ALL COMPONENTS REQUIRED TO RUN SECONDARY WIRING (CONNECTORS, GTO CONDUIT, ETC.) TO BE DETERMINED BY LOCAL CODE AND SITE CONDITIONS.

PROVIDING ALL NEEDED INSTALLATION HARDWARE AS DETERMINED BY LOCAL CODE AND SITE CONDITIONS.

SEALING BUILDING PENETRATIONS WITH SILICONE TO PREVENT MOISTURE PENETRATION @ EXTERIOR LOCATIONS.

MATERIAL FINISH COLORS	
Face & Returns	Logo Back
	
Satin Black Painted Aluminum	Clear Polycarbonate

ELECTRICAL REQUIREMENTS
Total: <u>.3</u> Amps
(1) 120V 20A Circuit Required.
ALL BRANCH CIRCUITS SHALL BE DEDICATED TO SIGNS (INCLUDING GROUND AND NEUTRAL) AND SHALL NOT BE SHARED WITH OTHER LOADS.



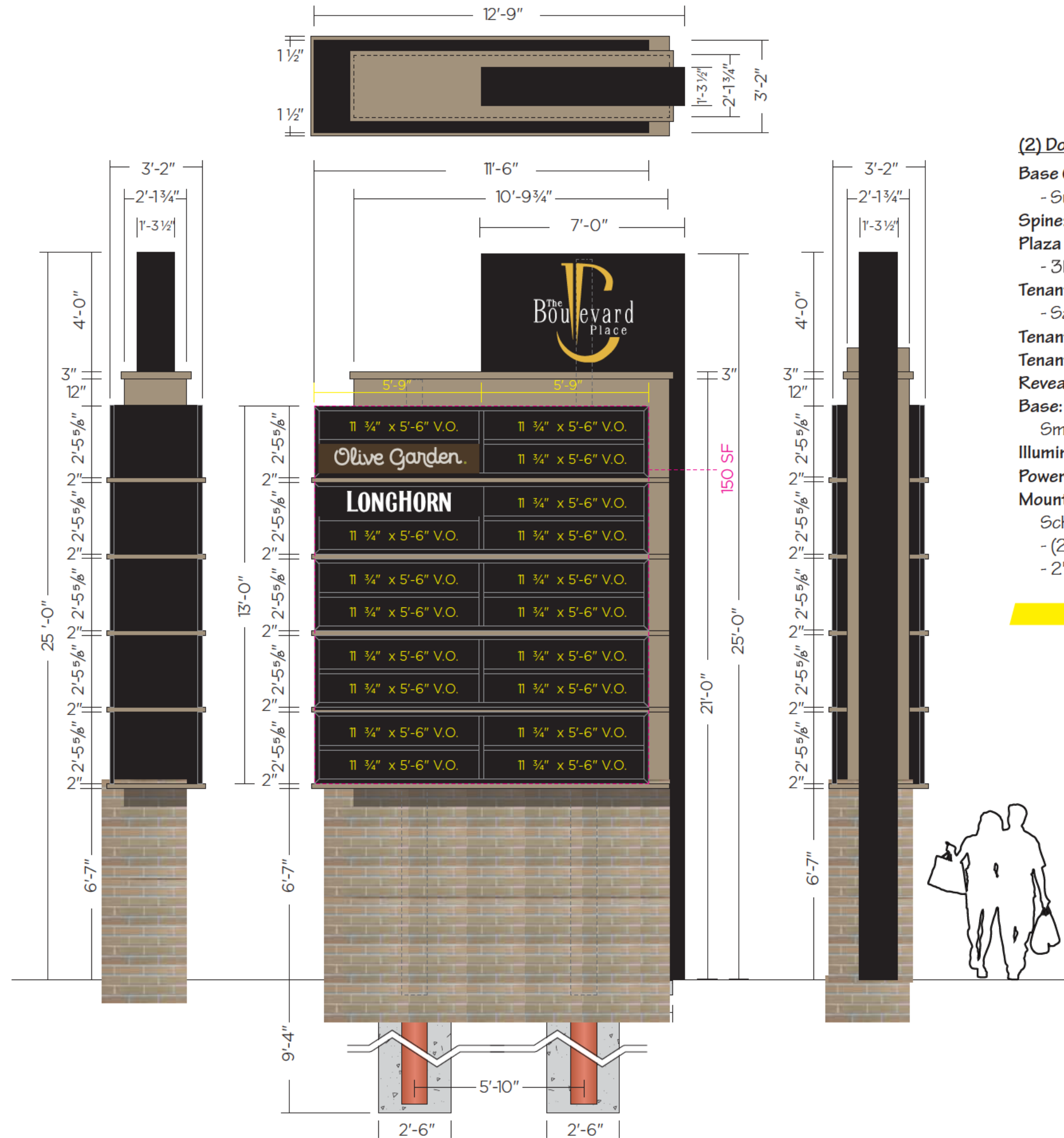
TYPICAL L.E.D. REVERSE CHANNEL "STEER"

GE LED LOW VOLTAGE LIGHTING SYSTEM

U.L. LISTED - CLASS 2 - CONFORMS TO U.L. 48 - N.E.C. 600 STANDARDS

GENERAL NOTES:

- 1. CONTRACTOR SHALL VERIFY WALL CONDITIONS IN THE FIELD.
- 2. TYPE, SIZE & NUMBER OF FASTENERS TO BE DETERMINED.
- 3. ALL BOLT TO BE DRILLED AND OR PUNCHED.
- 4. ISOLATE ALUMINUM FROM STEEL.



(2) Double Face Illuminated Monument Signs

Base Cabinet & Cap: Fabricated Aluminum Painted to Match Brick - Color T.B.D.

- Suede Finish

Spine: Fabricated Aluminum Painted Black - Satin Finish

Plaza Graphics: Routed & Backed w/ White Acrylic

- 3M 3630-25 Sunflower Translucent Vinyl Applied

Tenant Cabinet / Retainers / Dividers: Fabricated Aluminum Painted Black

- Satin Finish

Tenant Panels: White Polycarbonate w/ 3M 7725-12 Black Vinyl Applied

Tenant Graphics: T.B.D.

Reveals: Aluminum Tubes Painted to Match Brick - Color T.B.D.

Base: Masonry by Others - Brick Veneer #4 - Glen-Gery Dunes Gray

Smooth Sioux City Brick (Utility)

Illumination: White LEDs w/ 12V 60W 120/277V Power Supplies

Power: (1) 20Amp @ 120Volts Electrical Circuit Run to Site by Others

Mounting: (2) 10" (10 3/4" O.D.) Std. Steel Pipes w/ (2) 6" (6.625" O.D.)

Sch. 40 Steel Pipes Sleeved - Welded

- (2) 2'-6" dia. x 9'-4" deep Concrete Foundations

- 2'-6" W x 11'-1" L x 6" deep Concrete Pad for Masonry



BRICK COLOR "B" GLEN-GERY DUNES
GRAY SMOOTH SIOUX CITY BRICK
(UTILITY)



BOULEVARD PLACE: PLANNED DEVELOPMENT DESIGN GUIDELINES

August, 2019

Prepared by Houseal Lavigne

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INTENT AND APPLICABILITY

Intent





The Boulevard Place Planned Development covers approximately 171 acres of property located generally at the northwest corner I-55 and US Route 30, including areas in both the City of Joliet and the Village of Plainfield. The Planned Development designates a portion of Boulevard Place consisting of approximately 54 acres for commercial development. Approximately 18 acres of the commercial development is designated for a large box warehousing store which is not intended to be governed by these Design Guidelines. The remainder of the commercial development, consisting of Phases 2, 3 and 4 as depicted in Figure 1 and being comprised of approximately 36 acres (the “Subject Property”), shall be governed by these Design Guidelines. The intent is to establish a hybrid lifestyle shopping center with a pedestrian friendly, mixed-use environment.

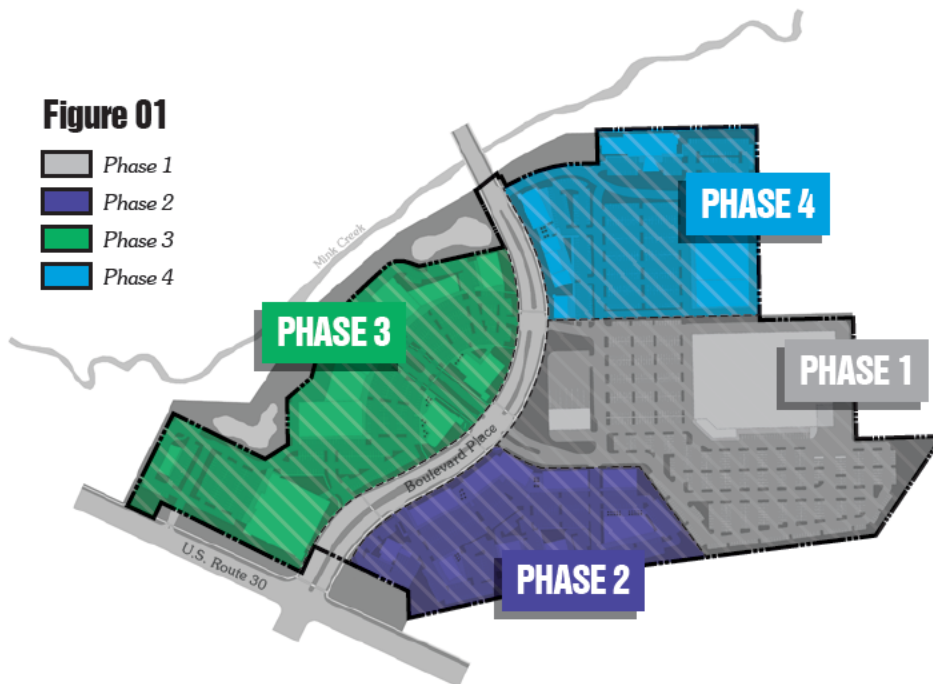
The Boulevard Place Planned Development Design Guidelines have been developed to encourage the use of exciting and unique storefronts and gathering spaces to create a shopping environment that attracts customers and results in increased sales. Through careful planning each store and building should become inviting and effective retail establishments which will be compatible with the overall design and quality of the development. The streetscape should be designed to encourage patrons to linger and relax through well landscaped areas and pedestrian amenities. The various buildings which will comprise Boulevard Place should create a unique environment that makes the development a new destination for shopping and dining in the region.

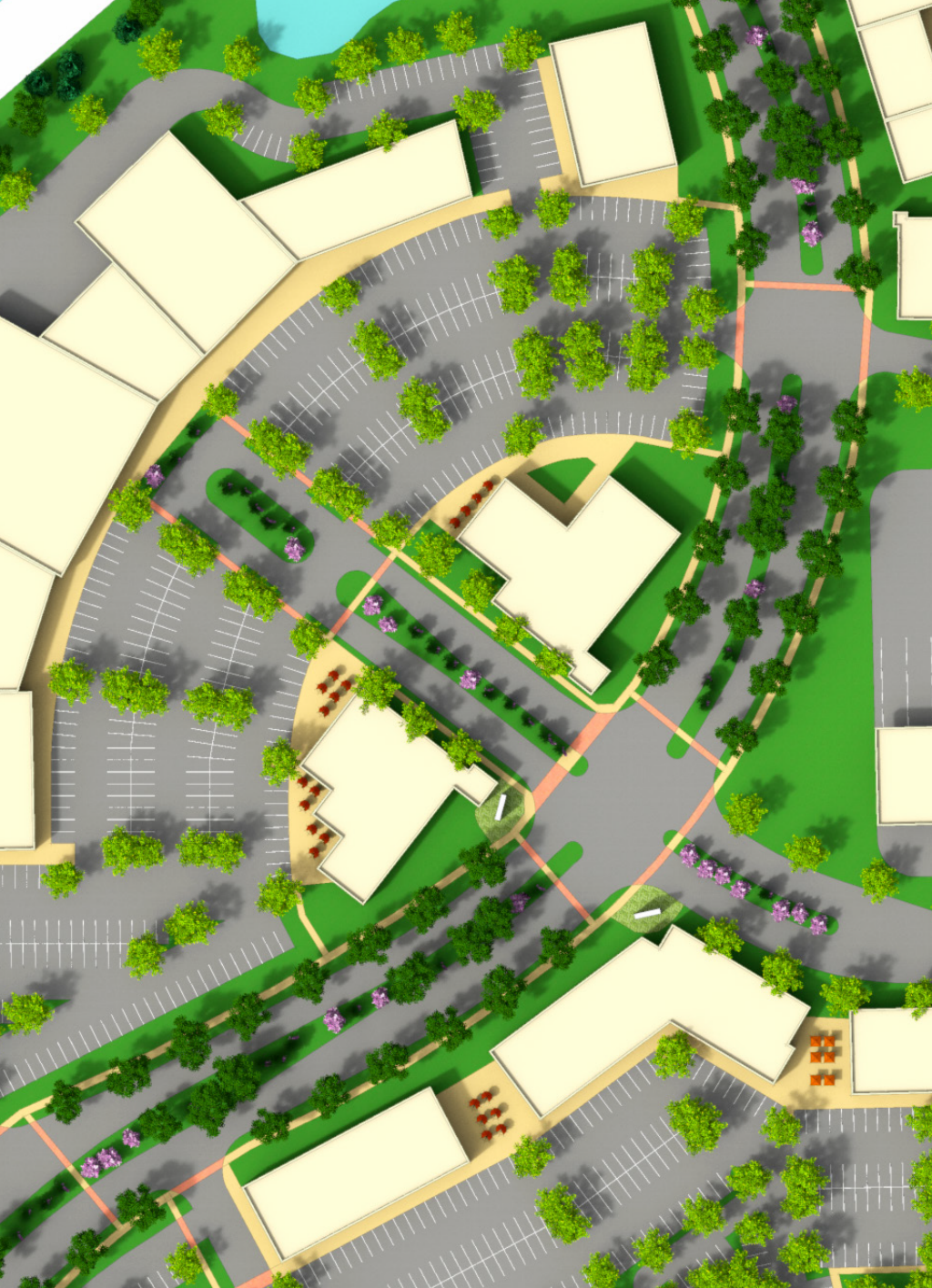
Applicability

The City of Joliet and the Village of Plainfield each have independent regulations that govern development within their boundaries. However, these ordinances were not designed to function in a complementary fashion and, in some instances, contain directly conflicting provisions. In the spirit of intergovernmental cooperation and in an effort to bridge the differences between the applicable regulations of each community, The Boulevard Place Planned Development Design Guidelines have been established as mandatory development standards for the Subject Property and approved as part of The Boulevard Place Planned Development by each of Joliet and Plainfield. The Boulevard Place Planned Development Design Guidelines are intended supplant the zoning regulations of the applicable municipality in order to create a coherent and uniform set of standards to govern the development and operation of the Subject Property.

Figure 01

-  Phase 1
-  Phase 2
-  Phase 3
-  Phase 4





RELATIONSHIP TO ZONING AND SUBDIVISION ORDINANCES

Design Guidelines General Framework

The Design Guidelines are comprised of standards for permitted land uses, site development standards, building layout and dimensional standards, building design standards, and open space requirements.

Applicable Zoning

The Design Guidelines supersede the development standards of the Joliet and Plainfield zoning and sign ordinances. Where the Design Guidelines are silent on any matter relating to land use, building, or development, the applicable provisions of the municipal ordinances of governing jurisdiction shall apply, but only to the extent that the provisions do not conflict with these Design Guidelines.

Building Code

The provisions of The Boulevard Place Planned Development and the Design Guidelines are not intended, in any way, to modify or amend the provisions of the building codes or other applicable life safety ordinance or laws of Plainfield or Joliet. In any case where building codes or life safety regulations conflict with The Boulevard Place Planned Development, the building or life safety regulations shall apply.

ADMINISTRATION

Procedures

1. Jurisdiction.

a. Plainfield

- i. A portion of the subject property is located in the Village of Plainfield. The Village of Plainfield shall have sole and exclusive jurisdiction over the review and approval of plans for that portion of the subject property located in the Village of Plainfield. The Village acknowledges that portions of the subject property located in the Village of Plainfield will service buildings located in the City of Joliet and that portions of the subject property located in the City of Joliet will service buildings located in the Village of Plainfield. The Village acknowledges that it will benefit from areas within its jurisdiction that will service buildings located in the City of Joliet and will not withhold or otherwise delay the review and approval of plans, the signature of plats or the issuance of permits for said portions of the the subject property that may provide parking, signage or other benefits (consistent with these Design Guidelines) for that portion of the subject property located in the City of Joliet. Where any portion of the subject property is located entirely within the jurisdiction of the City of Joliet, the Village acknowledges that it shall have no authority to review plans or issues permits for said portion of the subject property.

b. Joliet

- i. A portion of the subject property is located in the City of Joliet. The City of Joliet shall have sole and exclusive jurisdiction over the review and approval of plans for that portion of the subject property located in the City of Joliet. The City acknowledges that portions of the subject property located in the City of Joliet will service buildings located in the Village of Plainfield and that portions of the subject property located in the Village of Plainfield will service buildings located in the City of Joliet. The City acknowledges that it will benefit from areas within its jurisdiction that will service buildings located in the Village of Plainfield and will not withhold or otherwise delay the review and approval of plans, the signature of plats or the issuance of permits for said portions of the subject property that may provide parking, signage or other benefits (consistent with these Design Guidelines) for that portion of the subject property located in the Village of Plainfield. Where any portion of the subject property is located entirely within the jurisdiction of the Village of Plainfield, the City acknowledges that it shall have no authority to review plans or issues permits for said portion of the subject property.

c. Intergovernmental Cooperation

- i. It is anticipated that the Village of Plainfield and the City of Joliet will enter into an intergovernmental agreement (IGA) concerning, among other things, the provision of utility services, police and fire services, snow plowing and the maintenance of public right-of-way. The IGA is intended to provide efficient utility services to the subject property and ensure uniform operation as a singular planned development between jurisdictions.

2. Pre-filing Review and Transmittal of Application.

a. Conference.

- i. A prospective applicant, prior to submitting a formal application for the development of any portion of the subject property, shall meet for a pre-filing conference(s) with the appropriate designee as defined herein, the designee, and any other Plainfield or Joliet official or employee designated by the designee. The purpose of the conference(s) is to help the applicant understand the vision, purpose, and intent of The Boulevard Place Planned Development, and the Design Guidelines, and the application requirements.

- b. Filing of Application. Following the completion of the pre-filing conference(s), the applicant shall file an application for the development of a site in The Boulevard Place Planned Development in accordance with this Section. The appropriate designee as defined herein shall deliver copies of the application to other Plainfield or Joliet departments for review and comment if deemed necessary by the designee.

- c. Deficiencies. The appropriate designee as defined herein shall determine whether the application is complete. If the designee determines that the application is not complete, he/she shall notify the applicant in writing of any deficiencies.

- d. Review by Designee. Upon receiving the complete application, the appropriate designee as defined herein shall determine whether the proposed development:

- i. Would constitute a minor change to The Boulevard Place Planned Development and Design Guidelines; or
- ii. Would constitute a major change to The Boulevard Place Planned Development and Design Guidelines.

- e. Major Change. Major Changes are modifications which alter the concept or intent of The Boulevard Place Planned Development or these Design Guidelines. Factors which shall be considered in determining whether a proposed change constitutes a major change include those which:

- i. Are inconsistent with the Intent and Purpose set forth herein;
- ii. Seek approval of a use not specifically permitted or substantially similar to a use permitted herein;
- iii. Require greater than 10 percent modification of the standards set forth herein; or
- iv. Require a deviation or variance from an otherwise applicable provision (one that has not been modified by these Design Guidelines or as set forth in the Planned Development Ordinance) of the Municipal Code of Plainfield or Joliet, whichever is applicable.

- f. Minor Change. Minor Changes are modifications that are not defined as major changes and do not alter the concept or intent of The Boulevard Place Planned Development or Design Guidelines. Final approvals of a site plan, landscape plan, engineering plans, and building elevations for each Phase or any sub phase of Boulevard Place shall be processed as a Minor Change unless a Major Change is required pursuant to the definition of a Major Change as set forth herein. Minor Changes shall be approved by the applicable jurisdiction provided that the application meets the requirements of these Design Guidelines and any other applicable municipal code provisions.

- g. Process for Review and Approval. The Major Change or Minor Change, as applicable, shall be processed in accordance with the applicable municipal code. All Major Changes shall require a public hearing before the applicable planning and zoning commission and shall be approved by ordinance of the Village Board or City Council, as appropriate. Minor Changes shall not require a public hearing, but shall be approved administratively, or at the Village's or City's sole discretion, may require approval by the Village Board or City Council by ordinance with the recommendation of the Plan Commission.

3. Application Requirements.

- a. The applicable municipal application for a major change, minor change, or planned development, whichever is applicable, shall be filed with the appropriate designee as defined herein. Said application shall specify whether it is for a Major Change or Minor Change and shall be in such form and accompanied by such information, as shall be determined by the designee. Every application shall contain, at a minimum, the following information, and related data:
 - i. The names and addresses of the owner of the subject site, the applicant, and all persons having an ownership or beneficial interest in the subject site and proposed planned site development.
 - ii. A statement from the owner of the subject site, if not the applicant, approving of the filing of the application by the particular applicant.
 - iii. A survey of, and legal description and street address for the subject site.
 - iv. A statement indicating compliance of the proposed planned site development with The Boulevard Place Planned Development and Design Guidelines, or if not compliant, the manner in which it is not compliant and justification for approval of a Major Change.
 - v. A scaled site plan showing the existing contiguous land uses, natural topographic features, development phase, public thoroughfares, transportation, and utilities along with the proposed planned site development showing building façade designation; building location and relation; build-to-line; and building separation.
 - vi. Schematic drawings illustrating the design and character of the building elevations. The drawings shall also include a schedule showing the number, type, and floor area of all uses or combinations of uses, and the floor area of the entire development.
 - vii. A landscaping plan showing the location, size, character and composition of vegetation and other material.
 - viii. Engineering plan, either final engineering or preliminary engineering, as may be appropriate based on whether applicant is seeking a Minor Change or a Major Change.
 - ix. A schedule of development showing the approximate date for beginning and completion of each stage of construction of the planned site development..

Interpretations

If uncertainty exists regarding the interpretation of terms, development standards, architectural standards, or any other regulation contain within these guidelines, the appropriate designee as defined herein shall determine the intent of the provision in question.

PERMITTED LAND USES

Permitted uses in The Boulevard Place Planned Development are reflected in Table 01.

1. Permitted Uses. Uses which are marked by a “P” in the table are allowed as a matter of right.
2. Conditional Uses. Uses which are marked by a “C” in the table shall require approval as a Major Change in order to determine if the use is appropriate in the context of the Purpose and Intent of The Boulevard Place Planned Development and these Design Guidelines.
3. Uses Not Permitted. Uses which are marked by a “X” in the table are prohibited, unless subsequently permitted as a Major Change.
4. Uses Not Listed. In the event that a use is proposed that is not listed in the table, the appropriate designee as defined herein shall determine if the use is the same or similar to a use listed in the table. If it is, the use shall be treated in the same manner as the “similar” use. If not, the use is prohibited.

Table 01: Permitted Land Uses			
Permitted Land Use	Phase 2	Phase 3	Phase 4
Retail Uses			
General retail	P	P	P
Wholesale	X	X	X
Grocery store	X	X	X
Alcoholic Beverage Retailer	X	X	X
Motor Vehicle Uses			
Gasoline service/sales	X	X	X
Eating/Drinking Uses			
Coffee/tea shop	P	P	P
Fast casual restaurant	P	P	P
Sit-down restaurant ^[1]	P	P	P
Tavern/brew pub ^[1]	P	P	P
Outdoor dining	P	P	P
Entertainment Uses			
Theater or cinema	X	P	p ^[2]
Entertainment, recreation, or amusement facility	X	P	X
Service Uses			
Athletic, health, or fitness facility	X	P	p ^[2]
Bank, no drive in	P	P	P
General service	P	P	P
Temporary and Permanent Dwelling Uses			
Hotel ^[3]	C	P	P
Multifamily dwelling ^[3]	X	X	C

[1] Shall not derive more than 45 percent of gross sales from the sale of wine, beer, or other alcoholic beverages.

[2] Shall be located more than 200 feet from every boundary of Phase 1.

[3] Street activating uses such as retail, leasing offices, club rooms, fitness rooms, lobbies, and the like are encouraged on the first level.

PERFORMANCE STANDARDS

Uses in The Boulevard Place Planned Development shall be prohibited from activities which may produce or cause any of the following:

- Any noise or sound that is objectionable due to intermittence, beat, frequency, shrillness, or loudness;
- Any obnoxious odor;
- Any excessive quantity of dust, dirt, or fly ash; provided however, this prohibition shall preclude the sale of soils, fertilizers, or other garden materials or building materials in containers of incident to the operation of a wholesale, home improvement, or general merchandise store operated by a national or regional chain;
- Any fire, explosion, or other damaging or dangerous hazard, including the storage, display, or sale of explosives or fireworks, but the foregoing shall not prohibit the operation of a gasoline service/sales use as permitted herein or a propane sales facility as permitted herein and in accordance with applicable law or the sale of fireworks on a temporary basis in connection with civic holidays conducted within the confines of a building containing at least 25,000 square feet of floor area and operated by a national chain; or
- Any dumping of garbage or refuse, other than in enclosed receptacles intended for such purpose.

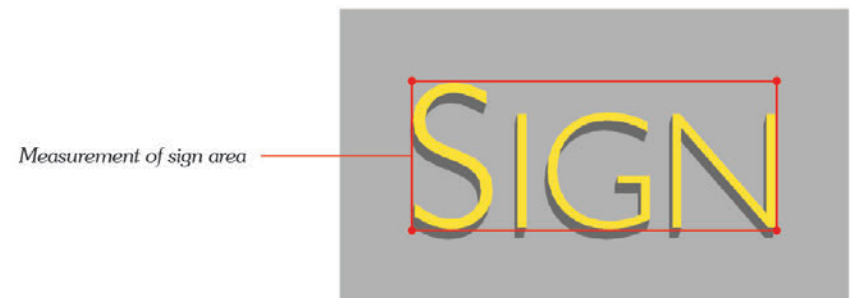
SITE DEVELOPMENT STANDARDS

Signs

The provisions of this section of the Design Guidelines shall govern the display, construction, erection, alteration, use, location, repair, and maintenance of all signs, together with their appurtenant and auxiliary devices in respect to structural and fire safety in The Boulevard Place Planned Development.

1. Sign Measurement.
 - a. Area to be Included. The supporting structure or bracing of a sign shall be omitted in measuring the area of the sign unless such structure or bracing is made part of the message or face of the sign. Where a sign has more than 1 display face, the area of the sign shall be measured by the largest if the display faces.
 - b. Area of Signs. The area of signs shall be measured by computing the area of the smallest regular geometric figure that can encompass all words, letters, figures, emblems, and other elements of sign copy.
 - c. Multiple Users. Where more than 1 user occupies a building, the owner of the building shall be responsible for allocating permitted signage among such users.

Figure 02



2. Sign Size. The maximum size of aggregate sign(s), regardless of sign type, shall not be greater than 1 square foot of sign area per lineal foot of building frontage.

3. Permitted Signs. The following sign types shall be permitted in The Boulevard Place Planned Development.

a. Shopping Center Signs

i. Highway Electronic Message Center.

1. The existing pole sign located adjacent to I-55 and as identified in the Site Plan shall be permitted.
2. The pole sign shall be converted to include a panel identifying Boulevard Place, which signage panel shall be not larger than 256 square feet per side.
3. The pole may also be converted to include a electronic message center, which electronic message center shall be not larger than 334 square feet per side.
4. A landscape planting area is required at the base of highway electronic message center. The landscape area shall be at least equal to the square footage of each side of the sign in question and shall feature landscape materials which are consistent with and complementary to other required landscape.

ii. Multi-Tenant Shopping Center Signs

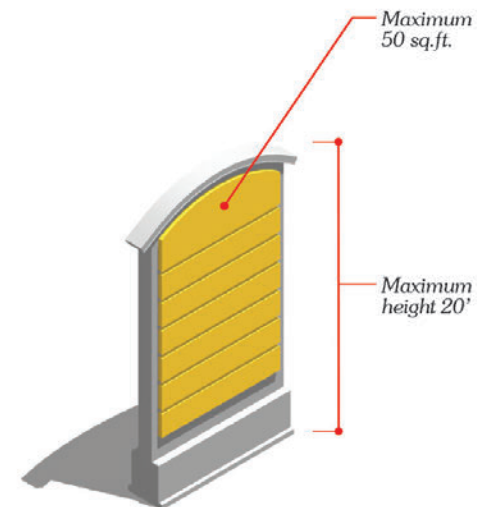
1. 1 multi-tenant shopping center sign shall be permitted for each phase of Boulevard Place.
2. Multi-tenant shopping center signs shall be double-sided signs attached to a permanent foundation or decorative base and not attached or dependent on support from any building, pole, posts, or similar uprights.
3. The building materials of the permanent foundation or decorative base of a multi-tenant shopping center sign should be consistent with the building materials used in the phase for which the sign relates.
4. The shopping center sign shall be not taller than twenty feet in height nor have a sign area greater than 50 square feet.

5. Multi-tenant shopping center signs shall only be comprised of individually affixed copy or an electronic message board. Flat or box signs shall be prohibited. The shopping center sign shall be located not less than ten feet from any street frontage, public or private, or any drive aisle.

6. To protect visibility of automotive traffic, cyclists, riders, and pedestrians, no substantial impediment to visibility shall be created or maintained at the intersection of any street and parking drive aisle within the triangular area created by measuring 46 feet along the street and parking drive aisle from the intersection of the street and parking drive aisle and a line connecting those points.

7. A landscape planting area is required at the base of all multi-tenant shopping center signs. The landscape area shall be at least equal to the square footage of each side of the sign in question and shall feature landscape materials which are consistent with and complementary to other required landscape.

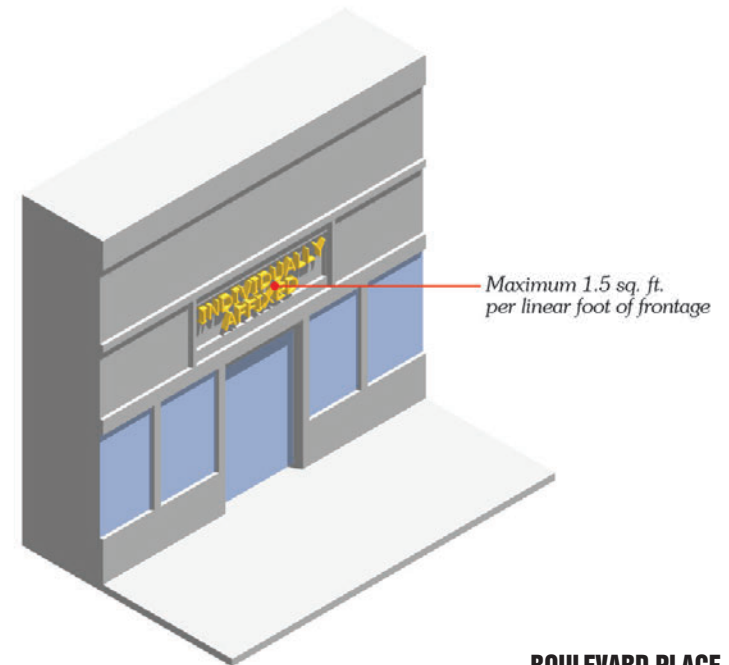
Figure 03



- b. Wall Signs. The installation of a wall sign requires a sign permit issued by the appropriate designee as defined herein.
 - i. Wall signs shall be permitted on any facade with street frontage (public or private) and facade adjacent to an off-street parking area where customer access is also available.
 - ii. Wall signs shall not exceed a maximum area of 1.5 square feet for each linear foot of each facade on which a sign is permitted. On multi-story buildings, wall signs shall be permitted for both first and second story tenants with each floor being allotted a maximum sign area of 1.5 square feet for each linear foot of facade on which a sign is permitted.
 - iii. No wall sign shall protrude above the highest roof line or above the top of the parapet wall.
 - iv. No wall sign shall horizontally project more than 12 inches from the wall of the building or structure to which it is attached.
 - v. Only 1 wall sign per building frontage of the building or unit of a building shall be permitted.
 - vi. On multiple-tenant buildings with multiple wall signs, all signs shall be of the same style, proportions, base colors, and constructed of the same materials.
 - vii. Wall signs shall only be comprised of individually affixed copy. Flat or box signs shall be prohibited.
 - viii. Wall signs may be illuminated through external sources. Internal illumination shall be prohibited.

- ix. No wall sign shall cover any architectural features (architectural features shall include, but not be limited to: pediment, cornice, belt course, pier, windows, pilaster, roof, decorative stone or tile inlay, kick plate/bulkhead, raised or colored brick pattern, and corbel) of the building to which it is affixed.
- x. No wall sign shall be affixed to HVAC screening, elevator overrun, or other features protruding from the roof of the structure, with the exception of building parapets which have been designed and integrated into the architecture of the building and which are in line with and not set back from the perimeter facade of the building.
- xi. Standalone or attached outlet buildings may display an additional wall sign towards a main parking area of the development and not oriented towards a street.

Figure 04



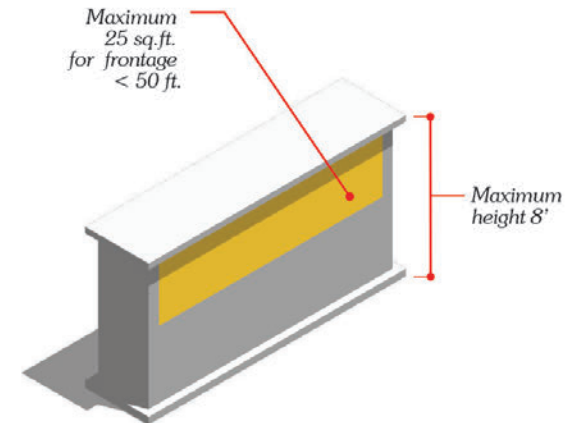
- c. Monument Signs. The installation of a monument sign requires a sign permit issued by the appropriate designee as defined herein.
 - i. The maximum size of a monument sign shall be based on building frontage per Table 02.

Table 02: Permitted Monument Sign Allowance	
Building Frontage	Maximum Sign Area per Face
≤ 50 Feet	25 square feet
> 50 feet	25 square feet plus one additional square foot of sign area per each two feet, or major fraction thereof, of building frontage beyond 50 feet
Maximum	50 square feet

- ii. The maximum height of any monument sign shall be no greater than 8 feet above the center line datum elevation of the street immediately adjacent to the sign location.
- iii. Each building, including multi-tenant buildings may not have more than 1 monument sign, with a maximum of 2 display surfaces. However, any building, including multitenant buildings, which front on more than 1 roadway for an excess of 250 feet may display a secondary monument sign, the size of which shall be equal to or less than the primary monument sign.
- iv. To protect visibility of automotive traffic, cyclists, riders, and pedestrians, no substantial impediment to visibility shall be created or maintained at the intersection of any street and parking drive aisle within the triangular area created by measuring 46 feet along the street and parking drive aisle from the intersection of the street and parking drive aisle and a line connecting those points.
- v. Monument signs shall only be comprised of individually affixed copy or an electronic message board. Flat or box signs shall be prohibited.

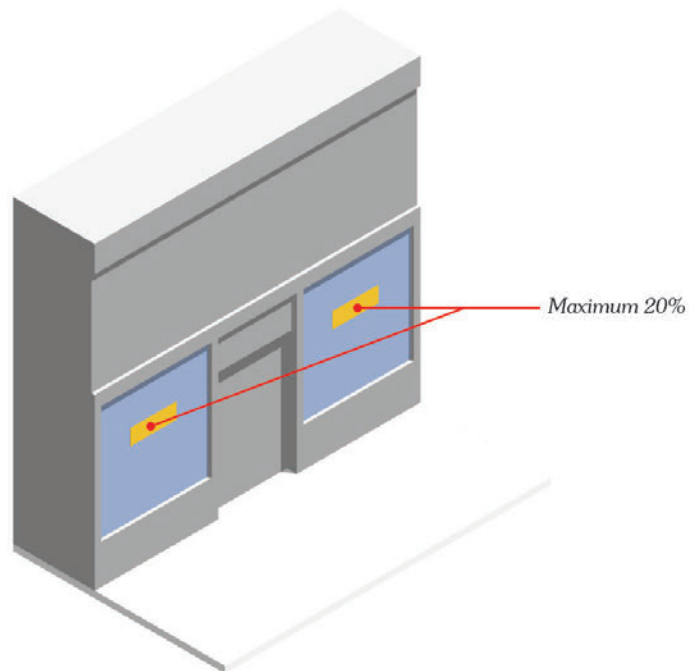
- vi. Monument signs featuring individually affixed copy may be illuminated through external sources. Internal illumination of individually affixed copy shall be prohibited.
- vii. No part of any monument sign may be closer than 5 feet from any street frontage, public or private, and any drive aisle, right-of-way or build-to-line.
- viii. No monument sign shall be located within 8 feet of any electrical power line, service drops, line conductors, or in any location where the appropriate designee, as defined herein, finds a reasonable danger that any electric power line would come in contact with the sign.

Figure 05



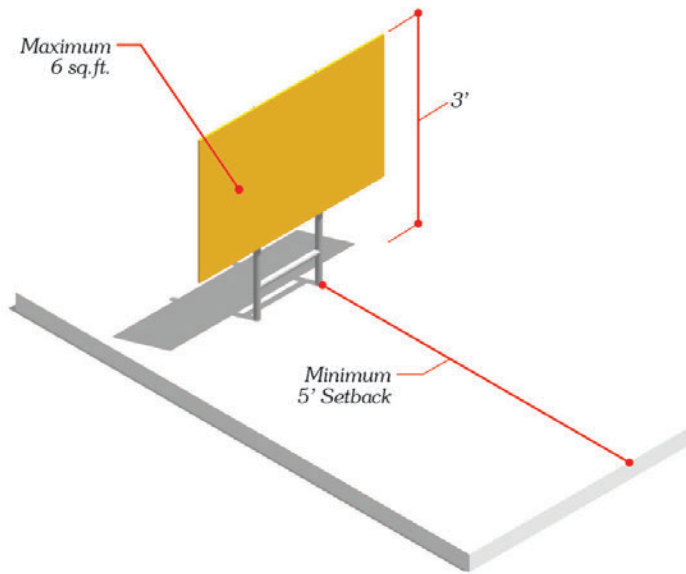
4. Window Signs. Window signs may cover a maximum of 20 percent of the window on which the sign shall be located. The installation of a window sign does not require a sign permit.

Figure 06



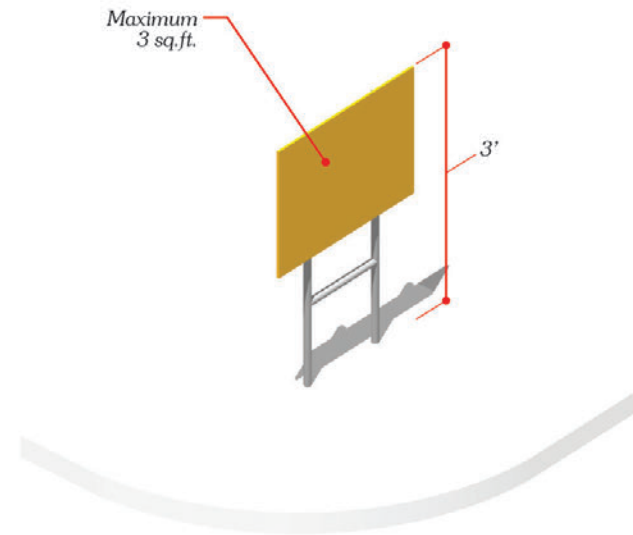
5. Temporary Signs. The display of a temporary sign requires a temporary sign permit issued by the appropriate designee as defined herein.
 - a. The maximum size of a temporary sign shall not be greater than 6 square feet.
 - b. The maximum height of a temporary sign shall be no greater than 3 feet above the center line datum elevation of the street immediately adjacent to the sign location.
 - c. No part of any temporary sign may be closer than 5 feet from any street right of way or property line.
 - d. To protect visibility of automotive traffic, cyclists, riders, and pedestrians, no substantial impediment to visibility shall be created or maintained at the intersection of any street and parking drive aisle within the triangular area created by measuring 46 feet along the street and parking drive aisle from the intersection of the street and parking drive aisle and a line connecting those points.
 - e. A maximum of 2 temporary signs shall be displayed concurrently.
 - f. A temporary sign shall be displayed for a period not to exceed 60 days per calendar year. The appropriate designee as define herein may permit extensions to this time limit.
 - g. No temporary sign, nor any portion thereof, shall be affixed to any building, sign, or structure.
 - h. No temporary sign shall be located within 2 feet of any electrical power line, service drop, or line conductor.
 - i. Temporary signs shall be constructed of durable, all weather material.

Figure 07



6. On-Site Traffic Directional Sign. Onsite traffic directional signs are permitted as necessary to assist in the movement of vehicular traffic on a property for the purpose of the safety of both pedestrian and vehicular traffic.
 - a. The maximum size of any onsite traffic directional sign shall not be greater than 3 square feet.
 - b. The maximum height of any onsite traffic directional sign shall not be greater than 3 feet.
 - c. No part of any onsite traffic directional sign may be closer than 25 feet from any street right-of-way or property line.
 - d. No part of any onsite traffic directional sign may be located within any required landscape areas.
 - e. On-site traffic directional signs shall be decorative, double-sided engineering grade reflective aluminum or similar material, as shown in Exhibit 01.

Figure 08



Parking and Loading

The provisions of this section of the Design Guidelines are intended to provide accessible, attractive, secure, and well maintained off-street parking and loading areas with the appropriate number of spaces in proportion to the needs of the proposed use, increase public safety by reducing congestion of roadways and circulation areas, and to encourage The Boulevard Place Planned Development patrons to park once and walk between developments in the site. Required parking shall not be calculated on a lot-by-lot basis, but shall be calculated based on each phase. To this end, a use located in the City of Joliet may rely on parking located in the Village of Plainfield, provided that said parking is located in the same phase of Boulevard Place. Parking may be constructed in sub phases, provided that sufficient access is provided to the sub phase and the proposed parking supply meets the applicable minimum requirements for the uses to be established in said sub phase. Parking shall be a permitted principle use of a lot in Boulevard Place.

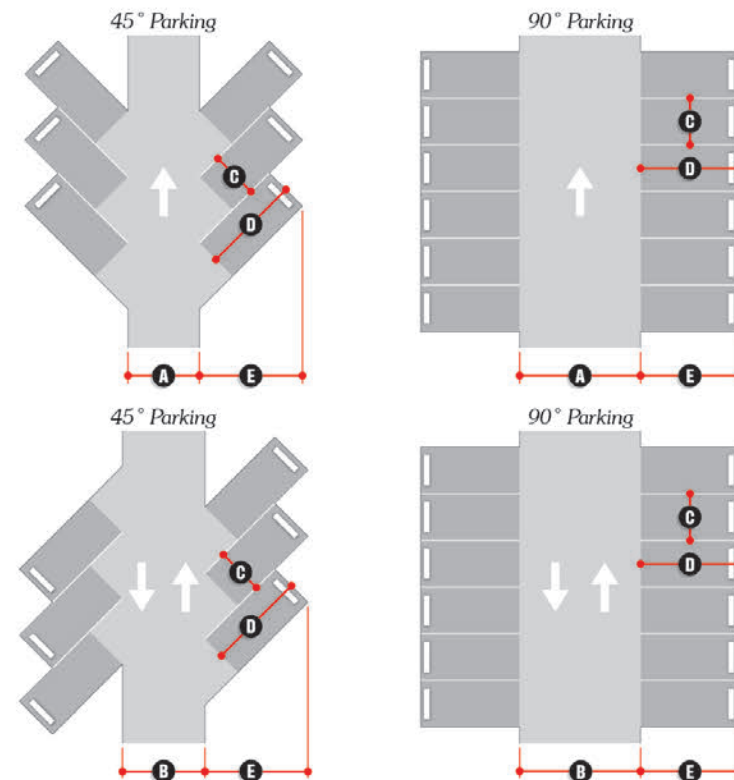
1. **Parking Spaces Required.** The total number of parking and loading spaces shall be based upon the sum of the separate requirements for each proposed use of the development phase, except as otherwise provided for in this Section.
2. **Amount of Parking Required.** The minimum number of parking spaces to be provided for the designated uses shall be as follows in Table 03.

Table 03: Parking Requirements	
Land Use	Minimum Parking Requirement
Retail Uses	
General retail	1/250 GFA
Multi-tenant retail (in excess of 120,000 square feet)	1/250 GFA
Wholesale	1/800 GFA
Motor Vehicle Uses	
Gasoline service/sales	1/Gas Pump
Eating/Drinking Uses	
Coffee/tea shop	1/250 GFA
Fast casual restaurant	1/250 GFA
Sit-down restaurant	1/250 GFA
Tavern/brew pub	1/250 GFA
Entertainment Uses	
Theater or cinema	1/4 Seats
Entertainment, recreation, or amusement facility	1/250 GFA
Service Uses	
Athletic, health, or fitness facility	1/250 GFA
Bank, no drive in	1/300 GFA
General service	1/300 GFA
Temporary and Permanent Dwelling Uses	
Hotel	1/room and 1/250 GFA of conference or restaurant area
Multifamily dwelling	2.0/dwelling unit

3. Design Standards. Each required off-street parking space shall conform to the standards detailed in Table 04.
4. Surfacing. All off-street parking areas shall be improved with a hard-surfaced, all weather, dustless material as approved by the appropriate designee as defined herein.
5. Striping. All off-street parking areas shall delineate parking spaces with paint or other permanent materials, which shall be maintained in a clearly visible condition. Americans with Disabilities Act compliant parking spaces shall be identified with the appropriate sign and shall be visible at all times of the year, regardless of snow cover, plant growth, or similar conditions.
6. Curbing. Curbing shall be provided along the perimeter of parking areas, internal walkways, and landscape islands to prevent vehicles from damaging or encroaching upon pedestrian spaces or landscaped areas.
7. Drainage and Grading. Where a parking area will be used to detain stormwater runoff, the depth of water shall not exceed 6 inches.
8. Lighting. Adequate lighting shall be provided for parking areas. Poles on which lights are mounted shall not exceed 20 feet in height. Illumination shall be arranged to deflect light away from adjacent properties and streets. Full cutoff luminaries with angles of not more than 90 degrees shall be utilized. Flat lenses are required for all lighting fixtures. Illumination shall not exceed 0.5 foot-candles at the property line.
9. Loading Spaces. Loading spaces shall be provided in compliance with the applicable municipal code, provided that no designated loading spaces shall be required for a building comprising less than 18,000 square feet.

Table 04: Parking Design Standards					
Parking Angle	Single Loaded Module Width (A)	Double Loaded Module Width (B)	Stall Width (C)	Stall Length (D)	Aisle Width (E)
45°	32'	51'	9'	18'	12'
90°	42'	60'	9'	18'	24'

Figure 09



Landscape

Landscape required by this Section shall mean living plants in a combination of trees, shrubs, and/or ground cover. Unless otherwise stated in this ordinance, all size specifications for plant materials shall be based upon the time of planting. When caliper is specified for tree planting, the caliper of the tree trunk shall be measured at 12 inches above the ground level. Any plant materials used to meet the requirements of this Section shall not include any plant material determined by the State of Illinois as an invasive species. The use of native landscape materials is encouraged.

1. Planting Types.

- a. Canopy trees: A self-supporting woody, deciduous plant having not less than a 2.5 inches caliper and reaches a mature height of not less than 20 feet and a mature spread of not less than 15 feet.
- b. Ornamental trees: A self-supporting woody, deciduous plant having not less than a 1.5 inches caliper and normally attains a mature height of at least 15 feet and usually has 1 main stem or trunk and many branches. Several species may appear to have several stems or trunks.
- c. Evergreen trees: A tree having foliage that persists and remains green throughout the year and having a height of not less than 6 feet at installation and maturing to a height of not less than 20 feet.
- d. Shrub: A woody perennial plant (deciduous or evergreen) of low to medium height characterized by multiple stems and branches continuous from its base and having a height of not less than 2 feet and normally maturing to a height of not more than 5 feet.
- e. Ground cover: Plants, other than turf grass, normally reaching an average maximum height of not more than 18 inches at maturity.

2. Required Landscape Elements. Figure 11 illustrates the location of required landscape areas.

Figure 10

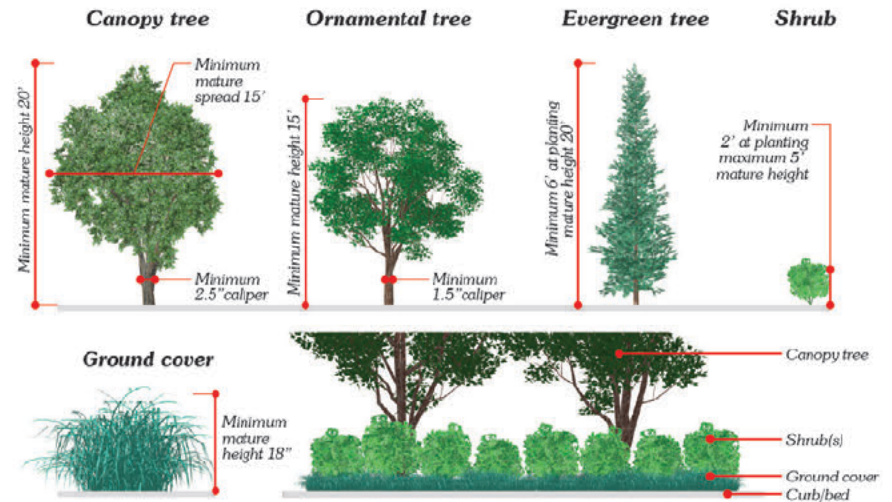
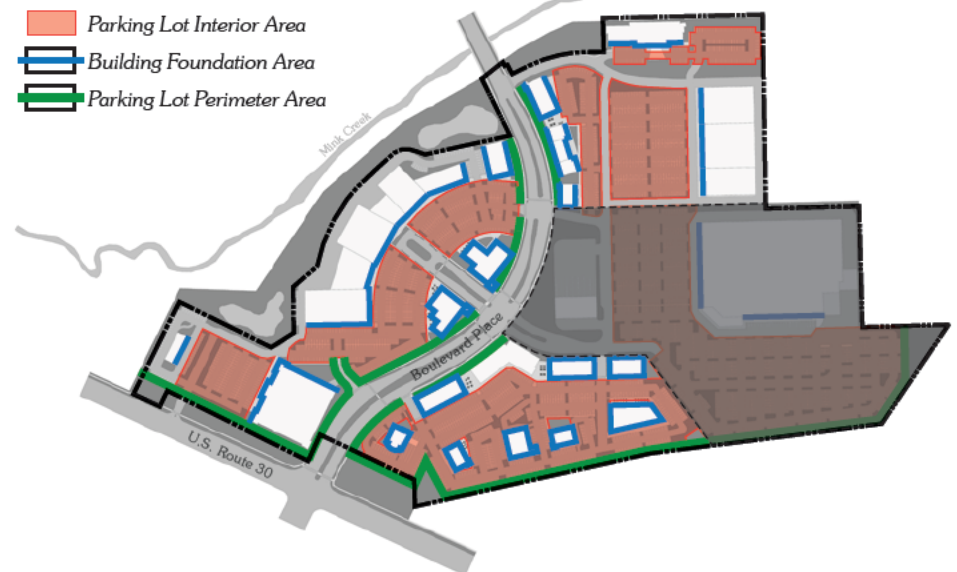


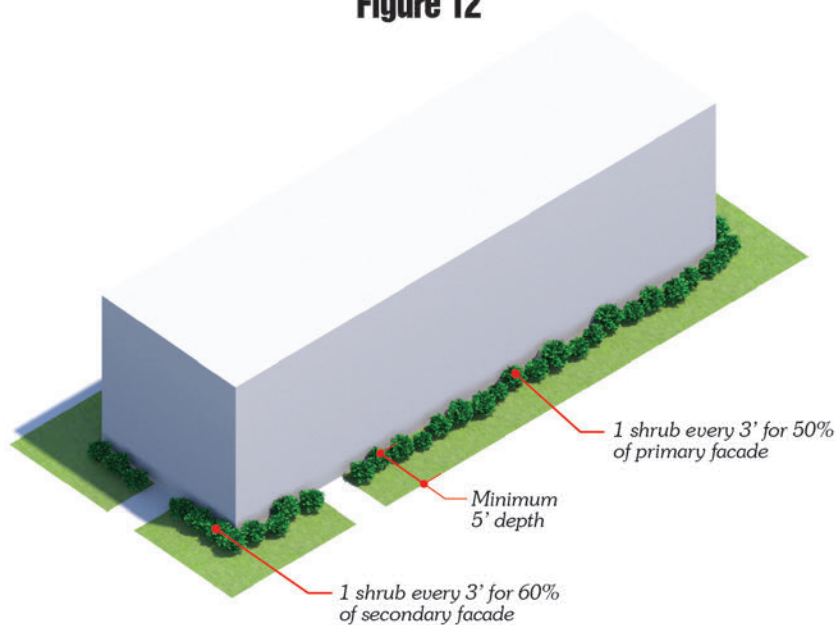
Figure 11



3. Building Foundation Area.

- a. All buildings are required to maintain a building foundation area along primary and secondary façades with a minimum depth of 5 feet. No building foundation area landscape shall be required on any secondary façade of a building designated as a service area. However, the use of landscape elements such as planters is encouraged to minimize the visual impact of any “back-of-house” type activities.
- b. Building foundation plantings shall be designed to supplement and complement other required landscape elements, to frame important views, and visually soften long expanses of wall. Building foundation planting shall respond to the windows and materials of the building.
- c. Foundation plantings shall be installed across a minimum of 50 percent of the length of the primary façade and a minimum of 60 percent of the length of the secondary façade, except where walkways, entrances, outdoor patios or other similar amenity spaces are located.

Figure 12



4. Parking Lot Interior Area.

- a. All parking lots shall include landscaping and trees located within the parking area as required by this Section. Landscape elements required by this Section shall be in addition to landscape elements required under other sections of the Design Guidelines. It is the objective of this Section to provide shade within parking areas, break up large expanses of parking lot pavement, provide a safe pedestrian environment, and assist in the absorption of stormwater runoff.
- b. 1 parking lot island shall be provided between every 20 parking spaces. Parking lot island locations may be varied based on the specific site requirements or design scheme.
- c. Double rows of parking shall provide parking lot islands that are the same dimension as the double row.
- d. A minimum of 1 canopy tree shall be provided for every parking lot island. If the island extends the width of a double row, then 2 canopy trees shall be provided.
- e. The use of ornamental trees, evergreen trees, shrubs, and other plant materials are encouraged to supplement the canopy tree plantings but shall not create visibility concerns for automobiles and pedestrians.
- f. Parking lot islands shall be at least 144 square feet in area and at least 6 inches above the surface of the parking lot and protected with concrete curbing, except where designed specifically for the absorption of stormwater.
- g. Parking lot islands shall be properly drained and irrigated as appropriate to the site conditions to ensure survivability.

Figure 13

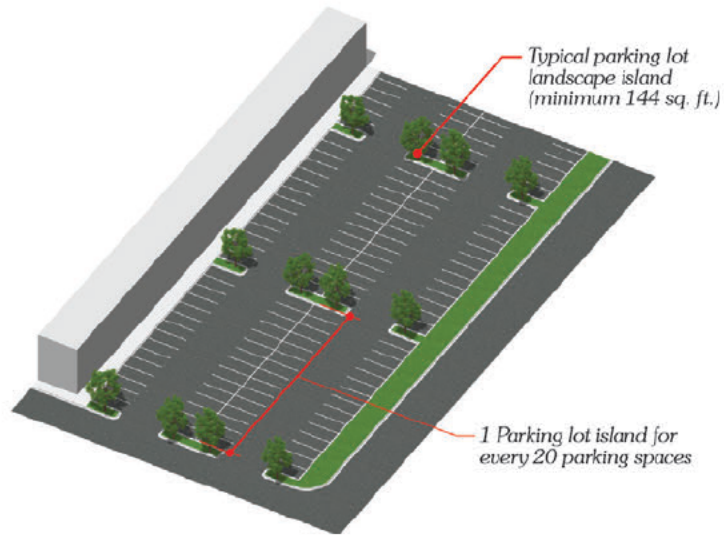
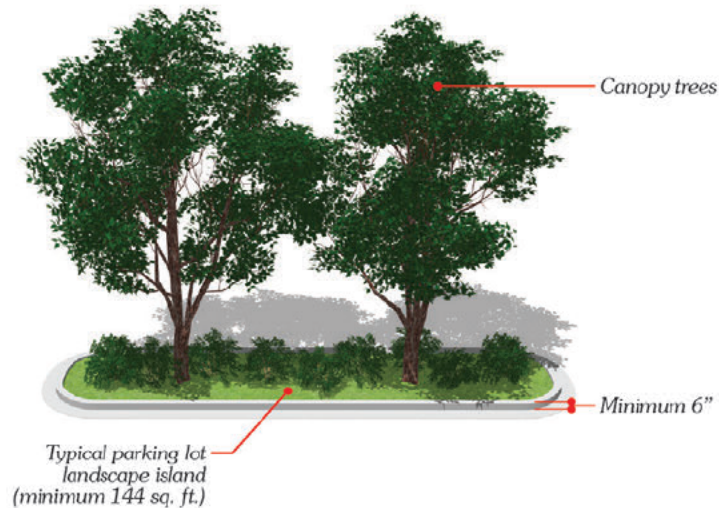


Figure 14



5. Parking Lot Perimeter Area.

- a. Parking lot design shall provide for perimeter landscape areas around the perimeter of each phase of Boulevard Place. Perimeter landscape areas shall not be required internal to a phase or between individual lots in each phase.
- b. Perimeter landscaping shall be a minimum depth of 10 feet as measured from the back of curb, to accommodate vehicle bumper overhang and ensure planting areas that are adequate in size.
- c. The landscape treatment shall run the full length of the parking lot and shall be located between the property line and the edge of the parking lot. All perimeter parking lot areas shall be protected with raised concrete curbs.
- d. Perimeter parking lot landscaping shall consist of a minimum of 2 evergreen or ornamental trees, 1 canopy tree, 20 shrubs, and 40 ground cover plantings, every 100 lineal feet.

6. Tree Preservation. The preservation of significant and high quality trees was considered during site plan design. In lieu of tree preservation not possible through site planning, the natural areas surrounding Mink Creek and Lilly Creek will be enhanced and restored.

Screening

1. Trash and Recycling Receptacles

- a. Trash and recycling receptacles shall be screened using the same materials and elevations as used on the main structure, on 3 sides to a height that screens the containers, having a minimum height of 6 feet, and a maximum height of 8 feet.
- b. The use of materials that are not the same as the materials and elevations of the main structure shall not be used to meet this requirement.
- c. Enclosure openings directly visible from a public right-of-way shall have a solid material gate. For larger enclosure areas, a separate gate access is encouraged.
- d. Enclosures shall be of an adequate size to accommodate expected containers. It is encouraged to design the enclosure area to be expandable to accommodate future additional containers.
- e. Trash enclosures shall not be located within a required street front or street side setbacks or occupy area used for required parking spaces.

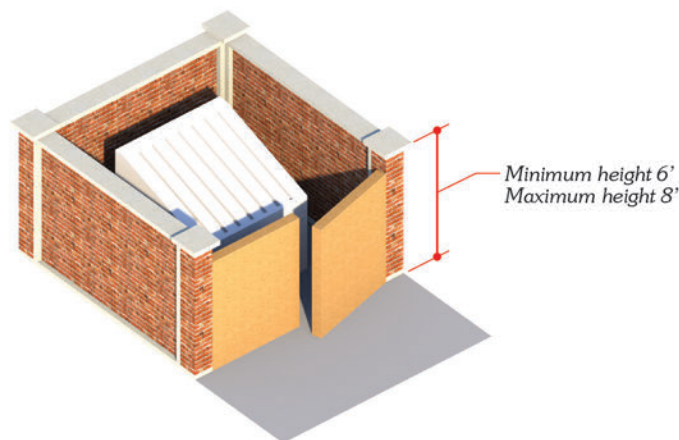
2. Ground Mounted Mechanical Units

- a. All ground-mounted mechanical units, including but not limited to air-conditioning condensers, heat pumps, ventilation units, computer cooling equipment, etc., and any related utility structures and equipment, that are visible from any public space in The Boulevard Place Planned Development shall be screened from public view. The screening may consist of fencing, landscaping or some combination thereof. The screening shall be designed and established so that the area or element being screened is no more than 20 percent visible through the screen.

3. Roof Mounted Mechanical Units

- a. All roof-mounted mechanical units shall be screened from any public space in The Boulevard Place Planned Development using an opaque screening material compatible with the architecture of the building or architecturally designed screening such as a parapet wall. The screening of the roof-mounted units shall be designed to blend with the building and roof materials.

Figure 15

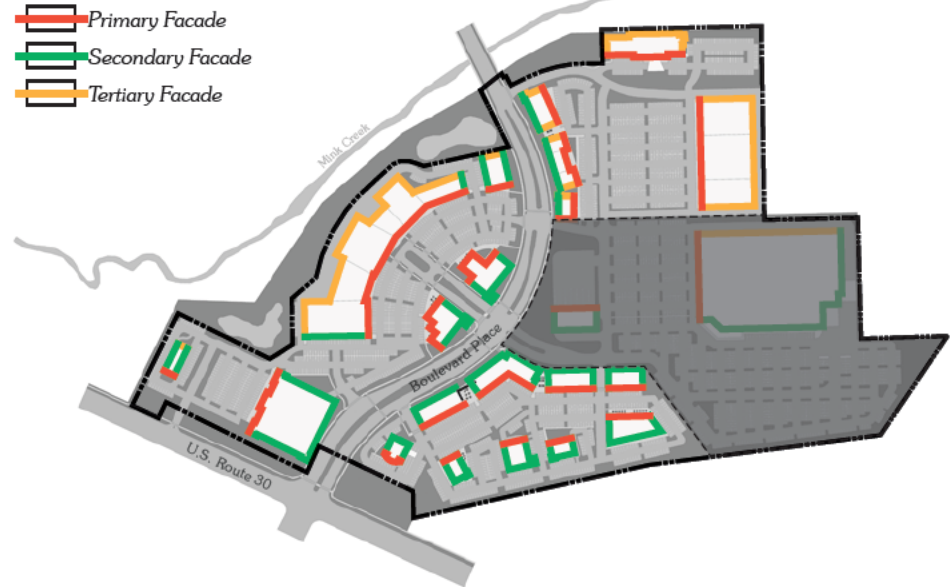


BUILDING LAYOUT AND DIMENSIONAL STANDARDS

Building Façades

1. Primary Façade. The primary façade of the building shall include that façade(s) which contains the primary entrance to the building.
2. Secondary Façade. The secondary façade of the building shall include a façade(s) which is not a primary façade, and fronts Boulevard Place, or any parking area, parking circulation drive, or secondary façade of any other building theretofore constructed.
3. Tertiary Façade. The tertiary façade of the building shall include that façade(s) which is not a primary or secondary façade and fronts the tertiary façade of any other building theretofore constructed.

Figure 16

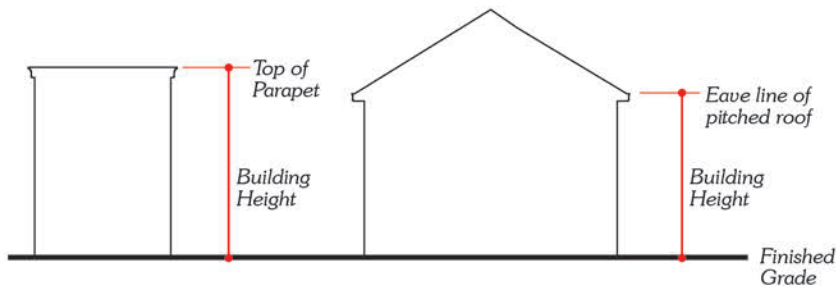


Building Height

The following building heights shall be considered maximums in the applicable phase as indicated in Table 05. Building height shall be measured from the front finished grade to the top of the parapet or eave line of a pitched roof.

Table 05: Building Height			
Development Phase	Building Height Maximum	Building Height Minimum	Stories
Phase 2	20 feet	18 feet	1
Phase 3	40 feet	18 feet	2
Phase 4	60 feet	18 feet	5

Figure 17



BUILDING DESIGN STANDARDS

These standards are established to ensure that buildings within Boulevard Place are unique yet consistent parts of the overall planned development. Building designs should provide sufficient articulation to create human-scaled architecture, create a sense of place within each development phase, and complement the design of Boulevard Place as a whole. In the case that more than 1 façade designation may be attributed to a single façade, the more stringent requirements shall apply. The following standards shall apply to anchor and outlot buildings.

1. **Roofs.** Roofs shall provide a skyline to add interest in both height and plane changes. Roof slopes and materials shall be consistent with the shopping center standard.
2. **Vista Terminations.** When buildings are situated such that the centerline of a street or open space intersects with said building, the building façade shall be located and designed as a vista termination to visually attract a viewer's attention at the end of a visual axis and designed to terminate a view with an architectural feature such as a tower, corner tower, symmetrical façade centered on a visual axis, an architecturally embellished entrance, or similar architectural devices.
3. **Entrances.** Whenever possible, entrances shall be co-located with vista terminations. All entrances shall be visually defined to emphasize a sense of arrival and place.
4. **Service Areas.** Whenever possible, service areas shall be located on tertiary facades. When a building does not have a tertiary façade, as identified in Figure 17, service areas shall be located on a secondary façade. Service areas located on a secondary façade shall be integrated into the design of the building to minimize visual impact through architectural features and landscape elements.

Primary Façade Design

The primary façade of all buildings should be designed in a manner which fosters a pedestrian environment. Primary façades shall be consistent with the overall shopping center design and create unique and interesting elevations. Primary façades shall be designed to reduce mass and create an interesting visual rhythm and skyline. Primary façades should feature varying material color, texture, and vertical and horizontal plane change through the use of features such as bulkheads, piers, cornices, window hoods, etc.

1. **Building Materials.** Building materials of primary façades shall be masonry, stone veneer systems, stucco or precast panels with stamped or inlaid brick texture on the first level. EIFS acrylic finishes or quik-brik concrete masonry units may be utilized above the first level. However, in no instance shall the finish of the EIFS acrylic finishes or quik-brik concrete masonry units utilized mimic or match the texture of the masonry, stone veneer systems, stucco, or precast panels with stamped or inlaid brick texture utilized. A maximum of 3 building materials may be used on a primary façade.
 - a. **Balance of Building Materials.** When 2 or more building materials are used on a façade, the material used on the first level should be visually heavier than the material used above the first level to give a sense of support and grounding. For example, masonry on the first level and EIFS acrylic stucco above.
 - b. **Colors.** The use of garish, high-intensity, metallic, fluorescent, day glow, or neon colors is prohibited. A list of recommended building materials is included in Exhibit 01.
 - c. **Additional Detail.** Additional detail such as inlaid tile, soldier courses, trim, planters, and decorative lighting are encouraged.
2. **Windows.** Windows shall be of clear glass or with a low-emissivity coating. No mirrored or tinted glass shall be permitted. Window size should respect the pedestrian scale and be aligned to follow the grade of the sidewalk. The following requirements shall be applicable to the land use categories as indicated:
 - a. **Retail Uses.**
 - i. Windows should comprise a minimum of 70 percent of the first level of the primary façade of any retail use.
 - ii. The developer should avoid horizontal banding on windows and limit mullions to reduce visual barriers between consumers and merchandise.
 - iii. Any windows in the doorway of a retail use shall not count towards satisfying the minimum window requirement.
 - b. **Eating/Drinking Uses.**
 - i. Windows should comprise a minimum of 70 percent of the first level of the primary façade of any eating/drinking use.
 - ii. Any windows in the doorway of a eating/drinking use shall not count towards satisfying the minimum window requirement.
 - iii. The developer is encouraged to install sliding, French, or folding doors and windows to create an indoor/outdoor environment.
 - c. **Entertainment Uses.**
 - i. Windows should comprise a minimum of 30 percent of the first level of the primary façade of any entertainment use.
 - ii. Windows in doorways shall count towards satisfying the minimum requirement.
 - d. **Service Uses.**
 - i. Windows should comprise a minimum of 50 percent of the first level of the primary façade of any service use.
 - ii. Windows in doorways shall count towards satisfying the minimum requirement.
 - iii. Windows should be evenly spaced and the same size.
 - e. **Temporary and Permanent Dwelling Uses.**
 - i. Windows shall have a vertical proportion.
 - ii. Windows shall be regularly spaced and the same size, except for accent windows.
3. **Façade Articulation.** In order to provide for primary façade articulation, primary façades shall step back a maximum of 2 feet and shall step forward a maximum of 1 foot from the build-to-line for a minimum of 40 percent and maximum of 70 percent of the primary façade.

Secondary Façade Design

The secondary façade of all buildings should be designed in a manner which fosters a pedestrian environment. Secondary façades shall be consistent with the overall shopping center design and create unique and interesting elevations. Secondary façades shall be designed to reduce mass and create an interesting visual rhythm and skyline. Secondary façades should feature varying material color, texture, and façade articulation which complements the primary façade and activates the public realm.

1. **Building Materials.** 60 percent of building materials of the secondary façade shall be masonry, stone veneer systems, stucco, or precast panels with stamped or inlaid brick texture. The remaining 40 percent of building materials of the secondary façade may incorporate EIFS acrylic finishes or quik-brik concrete masonry units. In no instance shall the finish of the EIFS acrylic finishes or quik-brik concrete masonry units utilized mimic or match the texture of the masonry, stone veneer systems, stucco, or precast panels with stamped or inlaid brick texture utilized. The type and design of materials utilized on the secondary façade shall complement those utilized on the primary façade.
2. **Windows.** Windows shall not be required but are encouraged on the secondary façade. If windows are installed, no mirrored or tinted glass shall be permitted, and window size and placement shall be complementary to the primary façade.
3. **Façade Articulation.** In order to provide for secondary façade articulation, secondary façades shall step back a maximum of 2 feet and shall step forward a maximum of 1 foot from the build-to-line for a minimum of 30 percent and maximum of 70 percent of the secondary façade. Articulation of the secondary façade shall be complimentary to the articulation of the primary façade.

Tertiary Façade Design

The tertiary façade of all buildings should be designed in a manner which complements the primary and secondary façades and is consistent with the overall shopping center design.

1. **Building Materials.** Building materials of tertiary façades may consist wholly of precast panels with stamped or inlaid brick texture, EIFS acrylic finishes, or quik-brik concrete masonry units, however, a combination of non-natural and natural materials is encouraged. The type and design of materials utilized on the tertiary façade shall complement those utilized on the primary and secondary façades.
2. **Windows.** Windows shall not be required but are encouraged on the tertiary façade. If windows are installed, no mirrored or tinted glass shall be permitted, and window size and placement shall be complementary to the primary and secondary façades.
3. **Open Space Integration.** Developers are encouraged to integrate tertiary façades with required open spaces through the use of murals, side entrances, lighting, and other features which connect buildings with active or passive open space.

OPEN SPACE

1. Definition. Open space shall not include landscape or sidewalk required herein and shall be defined as land or water that is open to the air and used for active or passive recreation, including;
 - a. Lawn;
 - b. Garden;
 - c. Courtyard;
 - d. Square;
 - e. Plaza;
 - f. Outdoor dining;
 - g. Park;
 - h. Linear green;
 - i. Water features;
2. Location. Open spaces should be provided in areas which are easily accessed and viewed by pedestrians. The nature of activities for which open space is programmed should have an active relationship with surrounding buildings.
3. Amenities. Developers are encouraged to activate open spaces to include the creative and flexible use of outdoor furniture, recreational amenities, and/or landscaping. All amenities in open spaces should complement the aesthetics of the building. Open spaces not otherwise activated should be furnished with benches and trash cans, as detailed in Exhibit 01.
4. Outdoor Dining. When outdoor dining areas are immediately adjacent to parking areas or parking circulation areas, there shall be physical barrier to separate them, as detailed in Exhibit 01.

DEFINITIONS

Except where specifically defined herein, all words used carry their customary meanings. For terms not defined herein but defined in the Code of Ordinances of Plainfield or Joliet, the definitions in those ordinances shall apply. In the event that a definition in the Design Guidelines conflicts with a definition in the Code of Ordinances of Plainfield or Joliet, the definitions in the Design Guidelines shall control.

Term	Definition
Appropriate Designee	shall mean the Village of Plainfield Director of Planning or the City of Joliet Director of Community Development depending on the location of the proposed site development.
On-Site Traffic Directional Sign	shall mean a sign which assists in the movement of vehicular traffic on a property for the purpose of the safety of both pedestrian and vehicular traffic.
Planned Site Development	shall mean the development of any phase or any portion of a phase of The Boulevard Place Planned Development.
Primary Façade	shall mean the façade(s) which contains the primary entrance to the building.
Secondary Façade	shall mean the façade(s) which is not a primary façade, and fronts Boulevard Place, or any parking area, parking circulation drive, or secondary façade of any other building theretofore constructed.
Service Area	Shall mean the area that provides for loading, refuse, utilities or other similar “back-of-house” type activities.
Site	shall mean the building and corresponding parking, landscaping, and open space of any development within any phase of The Boulevard Place Planned Development.
Tertiary Façade	shall mean the façade(s) which is not a primary or secondary façade and fronts the tertiary façade of any other building theretofore constructed.

Exhibit 01

Building Materials



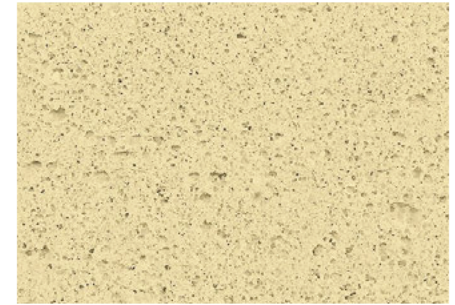
Brick: Buff



Brick: Brown



Brick: Red



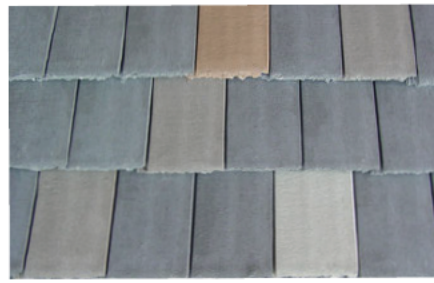
Cast Stone



Simulated Stone Veneer

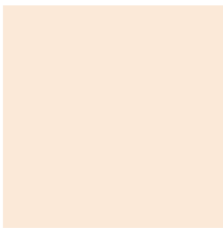


Metal Roof



Concrete Tile Roof

EIFS Swatches



Outdoor Dining Example



Brick & EIFS Examples



Bronze



Victor Stanley Bench



Victor Stanley Trash Receptacle

Example On-Site Traffic Directional Sign



Candela Pendant Large Pedestrian Light



McGraw-Edison LED Talon Parking Lot Light



OUT LOTS AND RETAIL SPACE
AVAILABLE
430 573 7112 430 573 7114 CBRE

LONGHORN
STEAKHOUSE

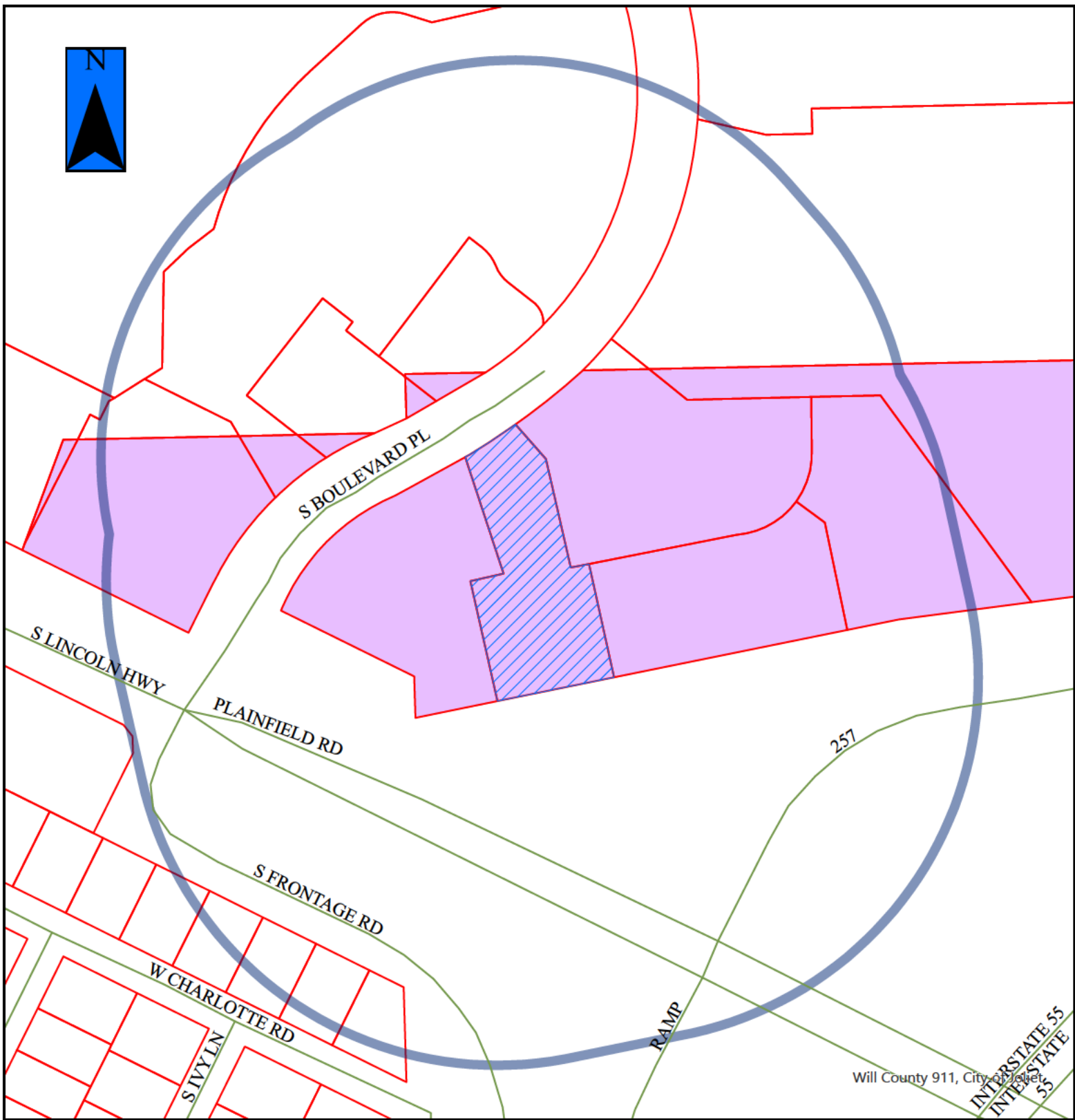
LONGHORN
STEAKHOUSE



OUT LOTS AND RETAIL SPACE
AVAILABLE


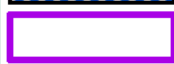
LONGHORN
STEAKHOUSE



LONGHORN
STEAKHOUSE

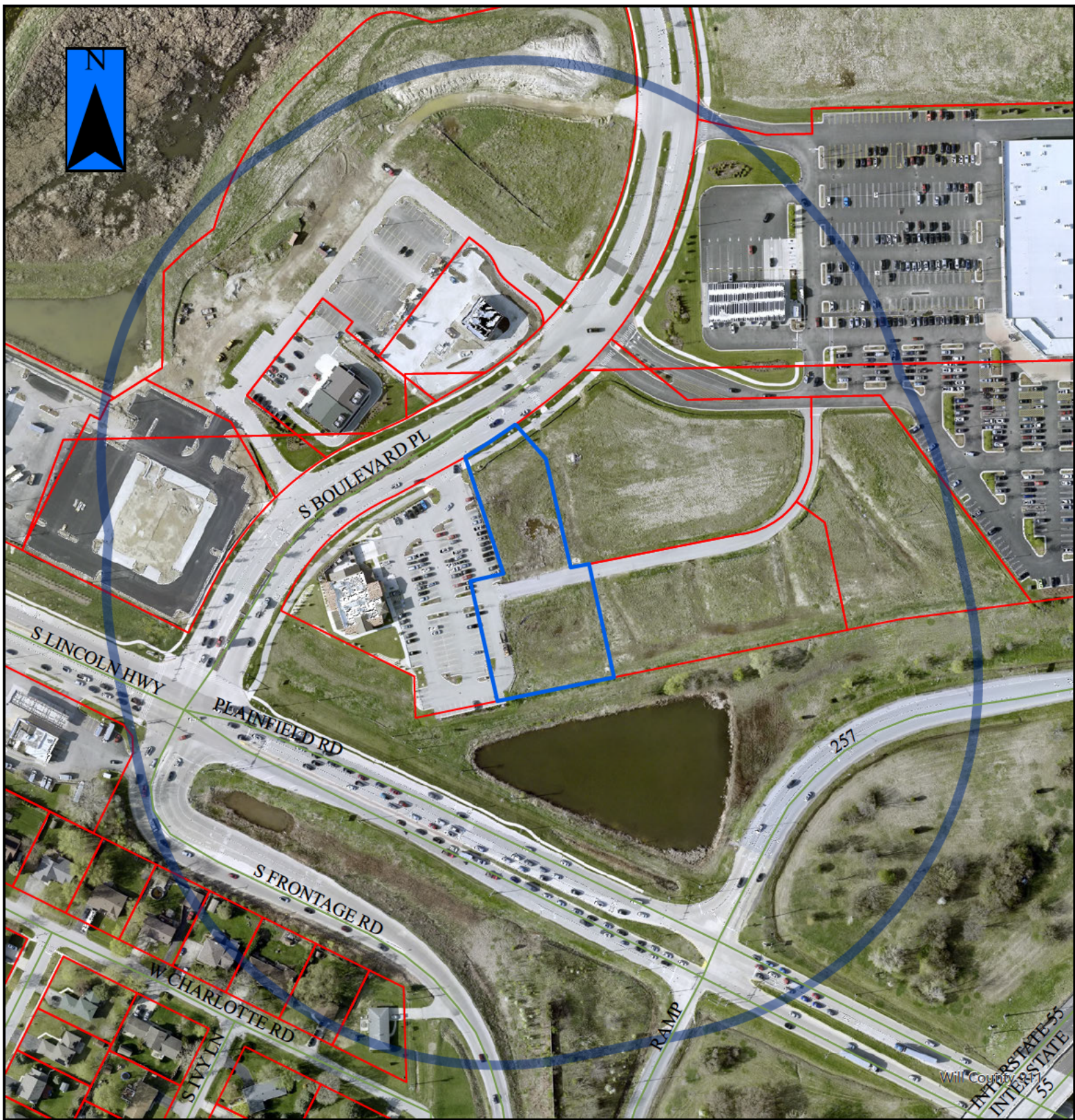


2026-04





 = Property in Question
 = 600' Public Notification Boundary

Legend			
	B-1		R-2
	B-2		I-TA
	B-3		I-TB
	I-1		I-TC
	I-2		R-1
	I-T		R-1A
			R-1B
			R-2A
			R-3
			R-4
			R-5
			R-B



2026-04a



-  = Property in Question / Propiedad en cuestión
-  = 600' Public Notification Boundary / Límite de notificación pública de 600 ft (180 m)



City of Joliet

150 West Jefferson Street
Joliet, IL 60432

Memo

File #: TMP-9641

Agenda Date:4/16/2026

STAFF REPORT

DATE: March 19, 2026
TO: Zoning Board of Appeals
FROM: Francisco Jimenez, Planner
RE: Petition Number: 2026-05
Applicant / Owner: Amgad Sughayer / John Bays
Location: 203 N. Ottawa St
Request: A Variation on signage to exceed the maximum total sign area in the B-2 (central business) zoning district

Purpose

The applicant is requesting a Variation on signage to exceed the maximum total sign area in the B-2 (central business) zoning district from 50 square feet to 234 square feet in size. The Zoning Board of Appeals makes the final decision on this request.

Site Specific Information

The subject property is a three-story multi-tenant building, and the applicant currently occupies approximately 2,600 square feet of space on the first floor in the southwest portion of the building. The occupied space was formerly a Harold's Chicken from 2021 until 2025. The subject property is zoned B-2 (Central Business District).

Surrounding Zoning, Land Use and Character

All properties in this vicinity are zoned B-2 (Central Business District).

Applicable Regulations

- Section 47-17.21 Signs

Discussion

The applicant seeks to install signs on the canopy that extends over a drive aisle, located at the southwest corner of this building. One sign will face Cass Street. The other sign will face Joliet Street and the parking lot on the west side of the building. The applicant requests approval of this sign to better advertise this existing business, which is Baby's Cheesesteaks. The sign that will face Cass Street will be 132 square feet in area and the sign facing the parking lot will be 102 square feet. The attached renderings show that the signs will be illuminated and will meet all other requirements. There is an existing projecting sign on the façade that is approximately 25 square feet in size. The zoning ordinance allows for a maximum 50 square feet of sign area for a single tenant in the B-2 (Central Business) zoning district. With these two additional proposed signs, the total

sign area for this tenant space would be 259 square feet. Included in the staff report packet are elevations showing the sign as well as the proposed dimensions.

Recommended Action

Approval of the requested Variation would allow the developer to install two signs on the west and south drive aisle canopy of the restaurant tenant space. Section 47-17.21(bb) details the findings of fact that need confirmation to support a variation request. Staff does not find that the Variation request meets the criteria for hardship or practical difficulties. The property in question can still yield a reasonable return if the variations are not granted and there are no perceived unique circumstances. However, staff does find that approval of the requested Variation will not alter the essential character of the area and would not be contrary to the objective of improving the overall appearance of the City. The sign text is appropriately sized to fit within the existing canopy frame. The sign also does not detract from the architectural style of this building and canopy.

Conditions

If the Zoning Board desires to approve this Variation request to exceed the maximum total sign area in the B-2 (central business) district, staff recommends that the following conditions should be included:

1. That the increased maximum sign area granted herein shall be specific to the two canopy signs at the tenant space only and shall not be reallocated to other locations on the building in the future.
2. That maximum sign area of this tenant space shall not be expanded in the future.
3. That a building permit shall be obtained prior to construction.

ORIGINAL
Baby's
CHEESE STEAK
LEMONADE • WINGS
SALADS • FISH

CRYSTAL ROOM
"Experience Detroit's Finest Venue"

NOW OPEN!



FULL SIGNAGE PERMIT PACKAGE

Project: The Original Babys Cheesesteak

Address: 203 N. Ottawa, Joliet, Illinois

Property Owner: Bays Investment Property

EXHIBIT A – SITE & CANOPY DIMENSIONS

Item	Dimension	Area
Front Canopy	44 ft x 3 ft	132 sq ft
Side Canopy	34 ft x 3 ft	102 sq ft
Total Canopy	-	234 sq ft

EXHIBIT B – PROPOSED SIGNAGE LAYOUT

Front signage is distributed across full 44 ft frontage: Babys (6 ft), Cheesesteak (16 ft), Lemonade (11 ft), Wings (11 ft).

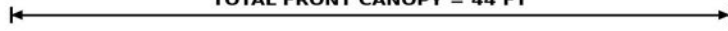
Side signage is proportionally scaled across 34 ft canopy.

EXHIBIT C – VARIATION REQUEST

Applicant requests approval to exceed the standard 50% signage limitation to allow expanded canopy utilization for improved visibility, readability, and proportional design alignment.

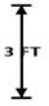
EXHIBIT D – DIMENSIONAL RENDERING

DIMENSIONAL SIGNAGE EXHIBIT
TOTAL FRONT CANOPY = 44 FT



SIDE CANOPY = 34 FT

SIDE SIGNAGE (EST.):
BABYS = 5 FT
CHEESESTEAK = 12 FT
LEMONADE = 8 FT
WINGS = 9 FT
TOTAL = 34 FT

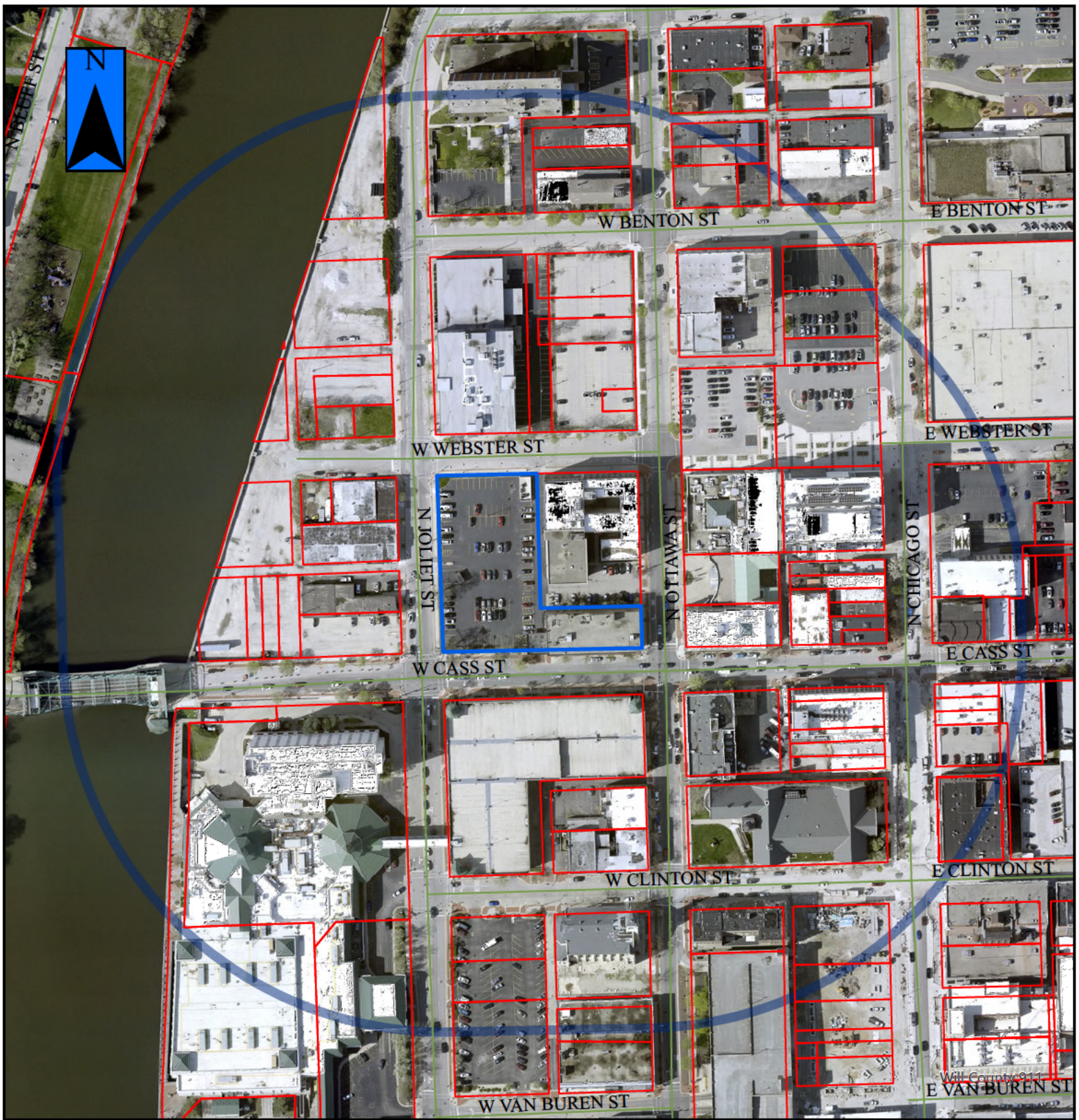


BABYS = 6 FT CHEESESTEAK = 16 FT LEMONADE = 11 FT WINGS = 11 FT

6 FT + 16 FT + 11 FT + 11 FT = 44 FT TOTAL SIGNAGE WIDTH
NOTE: ALL DIMENSIONS ARE ESTIMATES AND MAY VARY BASED ON FINAL INSTALLATION

NOTES

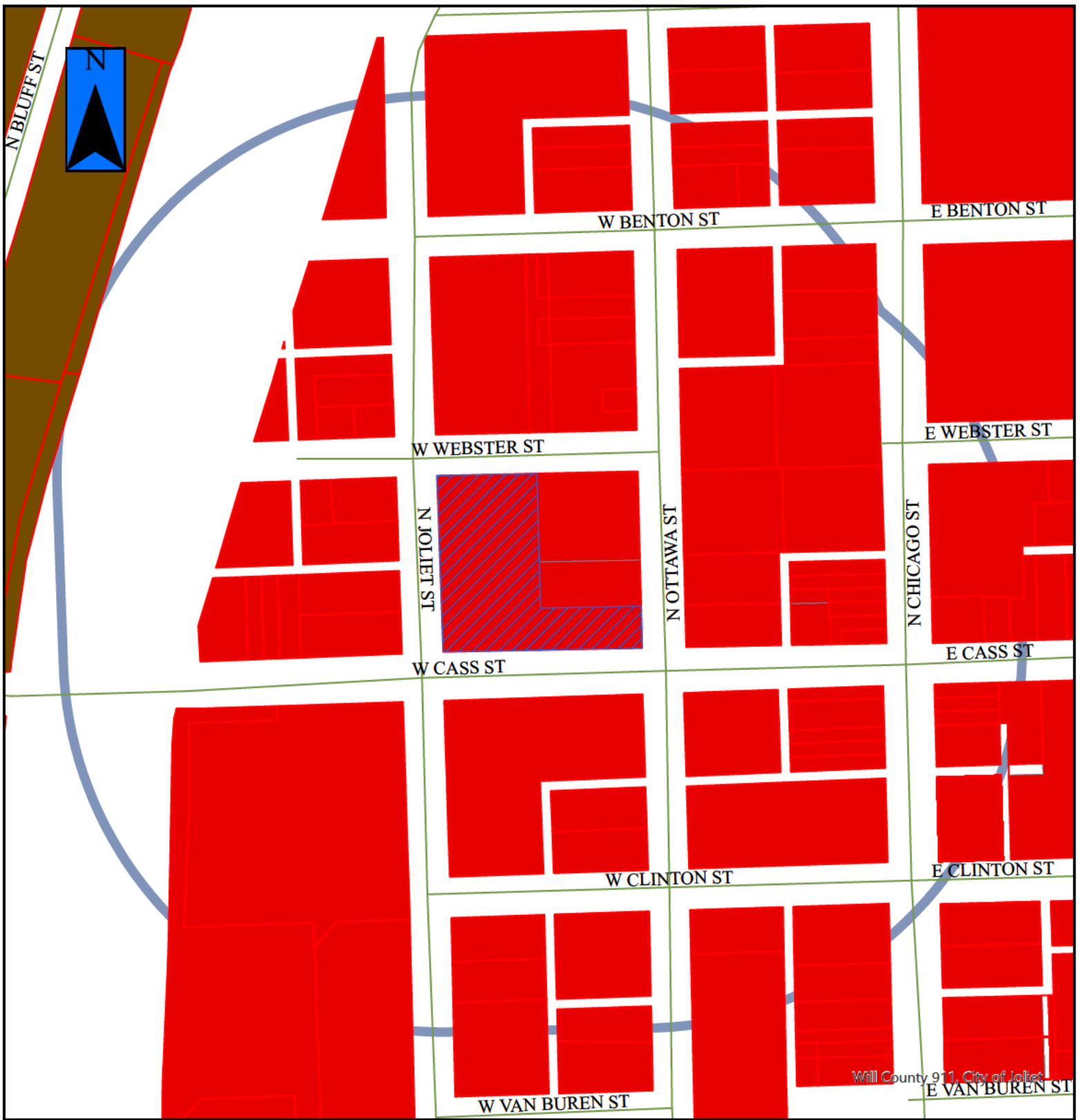
All dimensions are estimates and may vary based on final installation and field conditions.



2026-05a


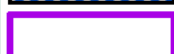


- = Property in Question / Propiedad en cuestión
- = 600' Public Notification Boundary / Límite de notificación pública de 600 ft (180 m)



2026-05



 = Property in Question
 = 600' Public Notification Boundary

Legend			
	B-1		R-2
	B-2		I-TA
	B-3		R-2A
	I-1		I-TC
	I-2		R-1
	I-T		R-1A
			R-1B
			R-3
			R-4
			R-5
			R-B

Will County 911, City of Joliet

JOLIET PLANNING DIVISION

Zoning Board of Appeals Application Packet

Variation

This packet should contain all of the following documents:

- Application;
- Ownership disclosure form;
- Public notice sign posting requirements and sign template

If you have any questions please contact the Planning Division staff.

Joliet Planning Division - 150 West Jefferson Street,
First Floor-South Wing, Joliet, Illinois 60432

Phone Number: (815) 724-4050

Email Address: zoning@joliet.gov

FOR OFFICE USE ONLY

Verified by Planner (please initial): _____

Payment received from: _____

Petition #: _____

Common Address: _____

Date filed: _____

Meeting date assigned: _____

ZONING BOARD OF APPEALS

JOLIET, ILLINOIS

PETITION FOR VARIATION/APPEAL

City of Joliet Planning Division, 150 W. Jefferson St., Joliet, IL 60432

Ph (815)724-4050 Fax (815)724-4056

ADDRESS FOR WHICH VARIATION IS REQUESTED: 203 N. Ottawa st. Ste. 150

PETITIONER'S NAME: Amgad Sughayer

HOME ADDRESS: _____ ZIP CODE: _____

BUSINESS ADDRESS: 203 N. Ottawa st. Joliet, IL ZIP CODE: 60432

PHONE: (Primary) [REDACTED] (Secondary) _____

EMAIL ADDRESS: [REDACTED] FAX: _____

PROPERTY INTEREST OF PETITIONER: _____

OWNER OF PROPERTY: John Bays

HOME ADDRESS: _____ ZIP CODE: _____

BUSINESS ADDRESS: [REDACTED] ZIP CODE: 60435

EMAIL ADDRESS: _____ FAX: _____

Any use requiring a business license shall concurrently apply for a business license and submit a copy with this petition. Additionally, if this request is for operation of a business, please provide the following information:

BUSINESS REFERENCES (name, address, phone or email):

203 N-OTTAWA ST Joliet IL 60432

OTHER PROJECTS AND/OR DEVELOPMENTS:

PERMANENT INDEX NUMBER (TAX NO. OR P. I. N.): 4609-0231;

Property Index Number/P.I.N. can be found on tax bill or Will County Supervisor of Assessments website*

LEGAL DESCRIPTION OF PROPERTY (an attached copy preferred):
Restaurant on 1st Floor of the Bldg

LOT SIZE: WIDTH: _____ DEPTH: _____ AREA: _____

PRESENT USE(S) OF PROPERTY: Restaurant

PRESENT ZONING OF PROPERTY: Restaurant

VARIATION/APPEAL REQUESTED: Signage - Exterior on Canopy Both Sides

RESPONSE TO VARIATION CRITERIA

The Zoning Board of Appeals is authorized to grant or recommend relief only when it has received adequate evidence to establish a practical difficulty or hardship. The evidence must support each of the following three conditions:

- (a) The property in question cannot yield a reasonable return by use permitted and subject to the conditions allowed by the regulations in the particular district or zone.
- (b) The plight of the owner is due to unique circumstances.
- (c) The variation, if granted, will not alter the essential character of the locality.

Please describe how this request meets the criteria by responding to the following questions in your own words.

1. How do the applicable zoning regulations prevent the property in question from yielding a reasonable return?

Exposure to The Public

Terrible Exposure on Exterior of Building. (Address of Building is "OTTAWA" and Building (Back of Bldg location is on Cass St)

- Also The Bridge Being Down for a year isn't Helping at all.

- Would like to increase Exposure of Exterior of Building.

What unique circumstances exist which mandate a variance?

- Back of Bulky address isn't ON "OTTAWA ST" ON (955)
- Bridge Not in Service
- In an office Bulky

What impact would the granting of this variance have upon the essential character of the general area? Please include both positive and negative impacts.

This will definitely ↑ increase Exposure to Bulky and Traffic to downtown area food establishments

REQUIRED SUPPORTING ATTACHMENTS

- Site plan / concept plan / floor plan / building elevation plan
- Joliet Ownership Disclosure form
- Business license application (if applicable)

NOTARIZATION OF PETITION

STATE OF ILLINOIS) ss
COUNTY OF WILL)

I, [Redacted], depose and say that the above statements are true and correct to the best of my knowledge and belief. I agree to be present in person or by representation when this petition is heard before the Zoning Board of Appeals.

[Redacted Signature]

Owner's Signature
(If other than petitioner)

Subscribed and sworn to before me
this ___ day of ___, 20__

CITY OF JOLIET OWNERSHIP DISCLOSURE FORM

The City of Joliet requires that applicants for zoning relief, subdivision approval, building permits and business licenses disclose the identity of all persons having an ownership interest in the business and the real property associated with the application. A copy of this form must be completed and submitted with other application materials. Failure to properly complete and submit this form may result in the denial of the application.

I. INFORMATION ABOUT THE APPLICATION

This form is submitted as part of an application for the following (check all that apply):

- Rezoning, Special Use Permit, Variation, or Other Zoning Relief (Complete Sections II and III)
- Preliminary Plat, Final Plat, or Record Plat of Subdivision (Complete Sections II and III)
- Building Permit (Complete Sections II and III)
- Business License (Complete All Sections)

II. INFORMATION ABOUT THE PROPERTY

The address and PIN(s) of the real property associated with this application are:

_____ 203 N. Ottawa ST _____

PIN(s): _____

III. PROPERTY OWNERSHIP

Select the type of owner of the real property associated with this application and fill in the appropriate contact information below:

- Individual:** State the names, addresses, and phone #'s of the individual owner(s)
- Corporation:** State the names, addresses, and phone #'s of all persons holding 3% or more of the stock of the corporation and the percentage of shares held by such stockholders
- Limited Liability Company:** State the names, addresses, and phone #'s of all members of the company along with the percentage of ownership held by each member
- Land Trust:** State the names, addresses, and phone #'s of the trustee(s) and all beneficiaries
- Partnership:** State the names, addresses, and phone #'s of all partners
- Other type of organization:** State the names, addresses, and phone #'s of all persons having a legal or equitable ownership interest in the organization or the right to direct the affairs of the organization

DATE: _____

_____ Bays Investment _____

E-MAIL: _____ FAX: _____

IV. BUSINESS OWNERSHIP

If the owner of the business is different than the owner of the real property associated with the application, then the following information must be provided:

Select the type of business owner associated with this application and fill in the contact information below:

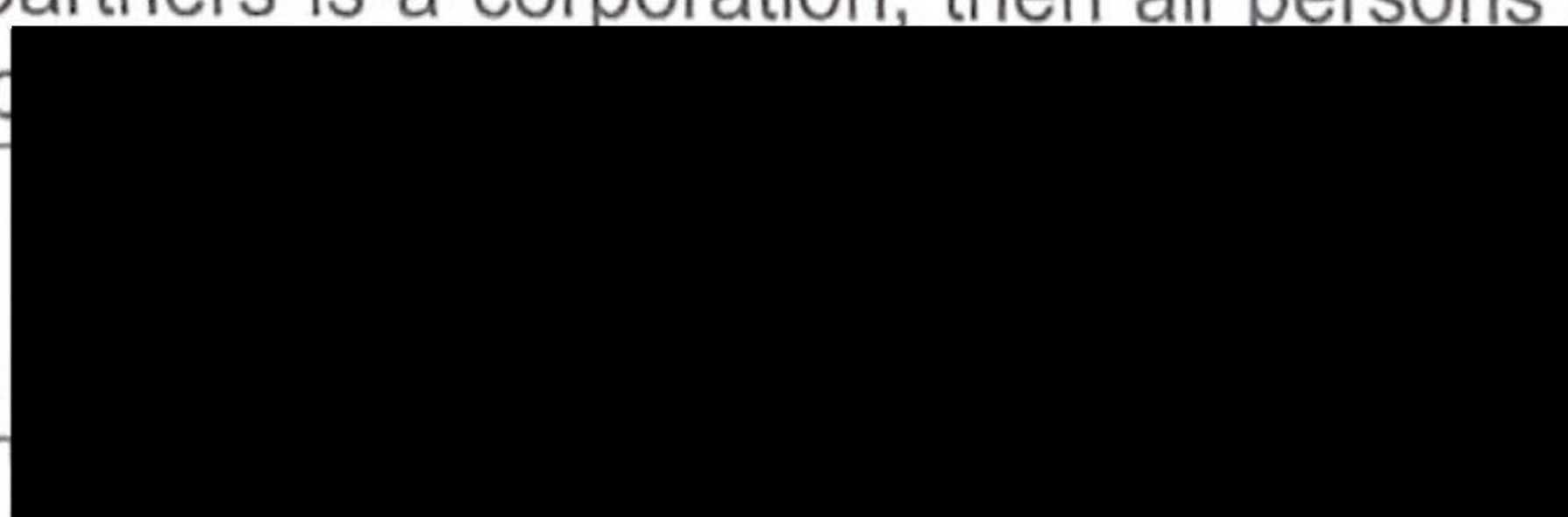
- Individual:** State the names, addresses, and phone #'s of the individual owner(s)
- Corporation:** State the names, addresses, and phone #'s of all persons holding 3% or more of the stock of the corporation and the percentage of shares held by such stockholders
- Limited Liability Company:** State the names, addresses, and phone #'s of all members of the company along with the percentage of ownership held by each member
- Partnership:** State the names, addresses, and phone #'s of all partners
- Other type of organization:** State the names, addresses, and phone #'s of all persons having a legal or equitable ownership interest in the organization

4. The sign shall be provided by the City of Joliet Planning Division to the applicant's premises or a suitable display site.

5. It shall be the applicant's responsibility to post the sign. The sign shall be provided by the applicant to the City with the date and location of the posting of the sign.

E-MAIL:  FAX: _____

NOTE:
If a stockholder, member, beneficiary or partner disclosed in Section III or Section IV is not an individual, then the individuals holding the legal or equitable title to the real property or business associated with the application must also be disclosed. For example, if the real property associated with an application is owned by a land trust, and the beneficiary of the land trust is a limited liability company, then the members of the limited liability company must be disclosed. If one of the members of the limited liability company is a partnership, then the identity of the partners must be disclosed. If one of the partners is a corporation, then all persons owning 3% or more of the issued stock must be disclosed.

SIGNED: 

DATE: 3/8/26

Name, Title, and Telephone Numbers of Person Completing and Submitting This Form:
President

PRINT

ZONING BOARD OF APPEALS
CRITERIA FOR VARIATIONS

Section 47-19.8 of the Zoning Ordinance states:

A variation shall not be granted in any case unless the Board shall find and clearly state in its record of the case that:

	Does the evidence presented sustain this criteria?	Comments
<p>(1) Reasons sustaining the contention that strict enforcement of the Ordinance would involve practical difficulties or impose exceptional hardship were found as follows:</p> <p>(a) _____</p> <p>(b) _____</p> <p>(c) _____</p> <p>(list of reasons)</p>		
<p>(2) Adequate evidence was submitted to establish practical difficulties or particular hardship so that, in the judgment of the Board, a variation is permitted because the evidence sustained the existence of each of the three following conditions:</p> <p>(a) The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in the particular district or zone.</p> <p>(b) The plight of the owner is due to unique circumstances.</p> <p>(c) The variation, if granted, will not alter the essential character of the locality.</p>		
<p>(3) A public hearing was held on such variation of which at least 15 days and not more than 30 days notice was published in the _____ (name of newspaper) on _____ (date).</p>		



City of Joliet

150 West Jefferson Street
Joliet, IL 60432

Memo

File #: TMP-9642

Agenda Date:4/16/2026

STAFF REPORT

DATE: April 9, 2026
TO: Zoning Board of Appeals
FROM: Helen Miller, Planner
RE: Petition Number: 2026-06
Applicant: Fall Creek Homeowners Association (Unit Two)
Status of Applicant: Property Owner
Location: Southeast Corner of Theodore Street and Staghorn Drive (Council District #3)
Request: A Variation to allow an illuminated subdivision monument sign in the R-1A (single-family residential) zoning district

Purpose

The applicant is requesting a Variation on signage to allow illumination of the existing subdivision monument sign for the Fall Creek Unit Two Subdivision at the southeast corner of Theodore Street and Staghorn Drive. Illuminated signs are not permitted by-right in residential zoning districts. The Zoning Board of Appeals makes the final decision on this Variation request.

Site Specific Information

The subject site is part of the Fall Creek Unit Two subdivision, which was approved and recorded in 2005 and 2006. The sign is located at the southeast corner of Theodore Street and Staghorn Drive at the entrance to the subdivision. The Fall Creek Homeowners Association owns and maintains the lot that contains the sign. The existing sign consists of a wood panel containing the name "Fall Creek" mounted between two stone pillars. The sign is not currently illuminated. The property is zoned R-1A (single-family residential).

Surrounding Zoning, Land Use and Character

- North: B-1 (neighborhood business), commercial (gas station); and County A-1 (agricultural), utility right-of-way
- South: R-1A (single-family residential), residence (Fall Creek Subdivision)
- East: County A-1 (agricultural), agricultural and rural residence
- West: R-1A (single-family residential), landscaping lot (Fall Creek Subdivision)

Applicable Regulations

- Section 47-17.21 Signs
- Section 47-17.21(3)(bb) Criteria for Granting a Sign Variation (refer to attachment)

Discussion

The petitioner, the Fall Creek Unit Two Homeowners Association, is requesting a Variation to allow internal illumination of the existing subdivision monument sign at the southeast corner of Theodore Street and Staghorn Drive. The letters would be backlit and mounted on a new aluminum panel that would replace the existing panel. The full panel itself will not be illuminated.

The proposed sign requires approval of a Variation because illuminated signs are not permitted by-right in residential zoning districts. There are several examples of other illuminated subdivision signs within the City. According to the petitioner, the proposed sign will allow greater nighttime visibility of the subdivision entrance for residents, visitors, and emergency personnel. The sign faces the corner of a commercial property and a utility right-of-way and does not directly face any nearby residential homes.

Recommended Action

Staff finds that the Variation request meets the following criteria for sign variations: the proposed use would not be detrimental to the use or orderly development of other property in the vicinity; ownership of the property has been demonstrated; and approval of the variation would not be contrary to the objective of improving the overall appearance of the City. The proposed sign will have internally-illuminated letters, which is an appropriate style for this location and type of sign. The sign does not face residential properties and is located along a major street. An illuminated subdivision sign is not out of character with the area.

Conditions

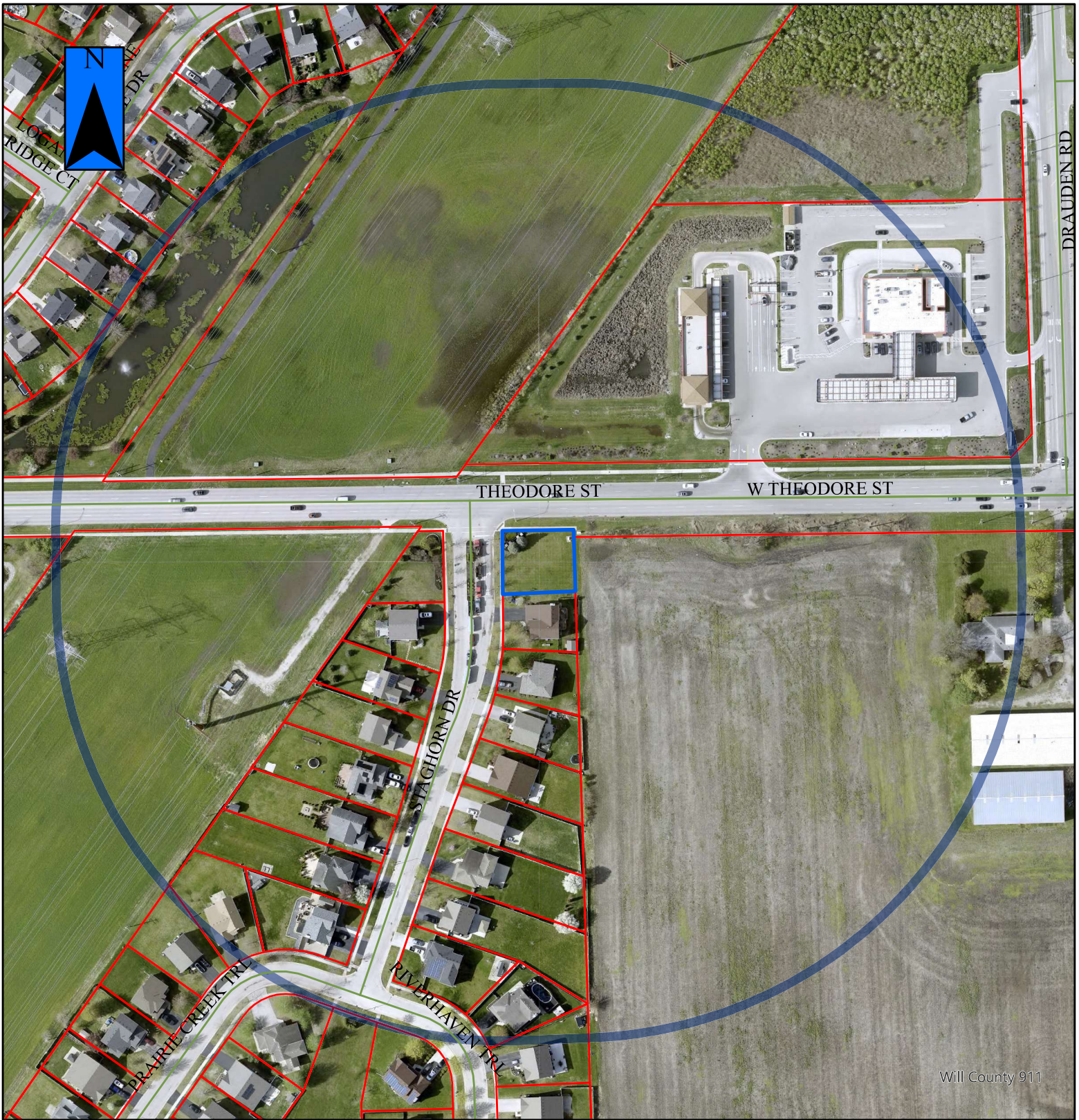
None

Figure 1: Subject site and existing sign location for Fall Creek Subdivision Unit Two (2025)



Figure 2: Existing subdivision sign at the SEC of Theodore Street and Staghorn Drive, view southeast from Theodore Street (May 2025)





Will County 911

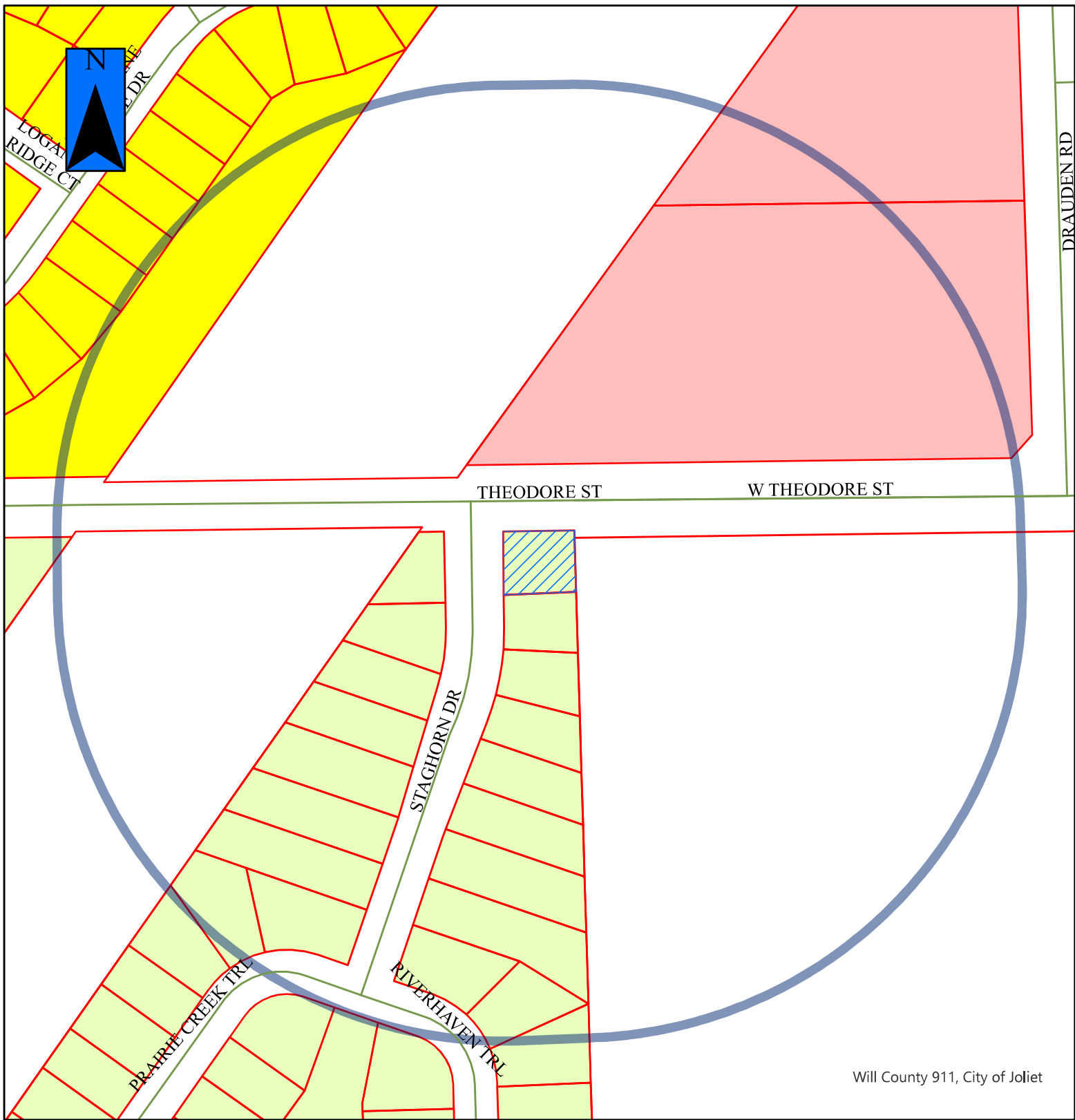
2026-06a



= Property in Question / Propiedad en cuestión





= 600' Public Notification Boundary /
Límite de notificación pública de 600 ft (180 m)















Will County 911, City of Joliet

2026-06



 = Property in Question
 = 600' Public Notification Boundary

Legend			
	B-1		R-2
	B-2		I-TA
	B-3		R-2A
	I-1		I-TC
	I-2		R-3
	I-T		R-1
			R-1A
			R-1B
			R-4
			R-5
			R-B

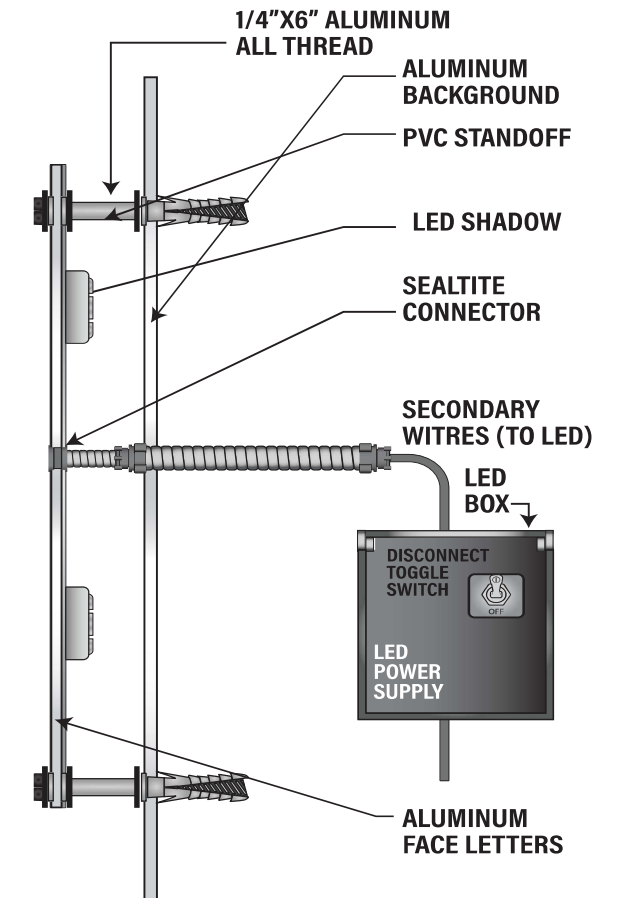


BEFORE

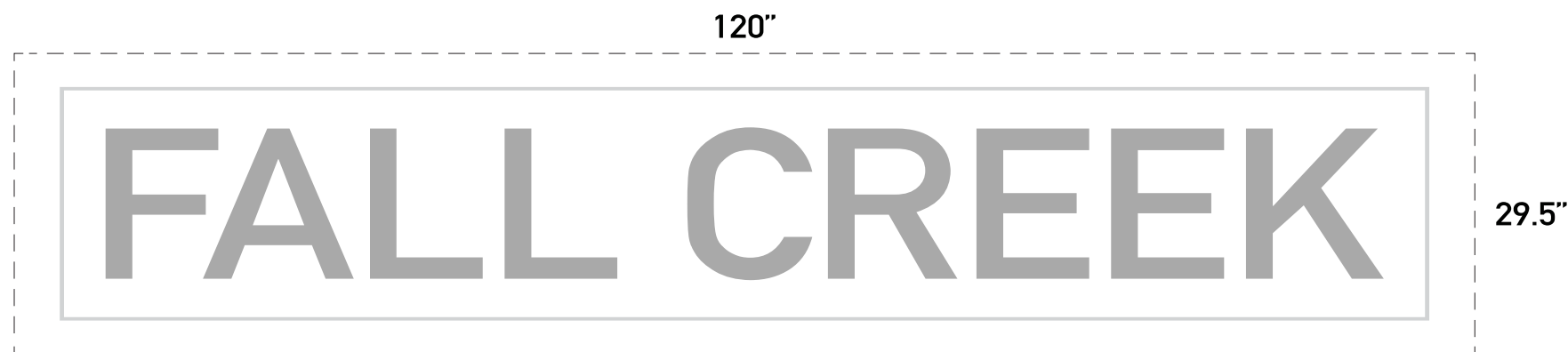


2D SIDE & FRONT VIEW

BACKLIT LETTERS MOUNTED ON BACK 2" ALUMINUM PANEL



MEASUREMENT



“\$650 Fee For An Existing Sign Removal Only”

Please note that this fee covers only the removal of existing signs and does not include any wall preparation or cleanup. Customers are advised to ensure that the area is ready for the installation of new signage to avoid any delays or additional charges.



ALL ELECTRICAL COMPONENTS ARE TO BE UL APPROVED

“Channel Letters” are intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes, including proper grounding and bonding of the entire sign.”



7236 W. 90th Place Bridgeview, IL 60455
 708-233-6677 Bill 708-228-1552
 Orders@Reeshaprinting.com www.Reeshaprinting.com



Reeshaprinting

I authorize Reesha Printing & Signs to do a Sign on My Building Located on: **595 W Theodore St, Joliet, IL 60435**

Name..... Signature.....

Phone..... Date.....

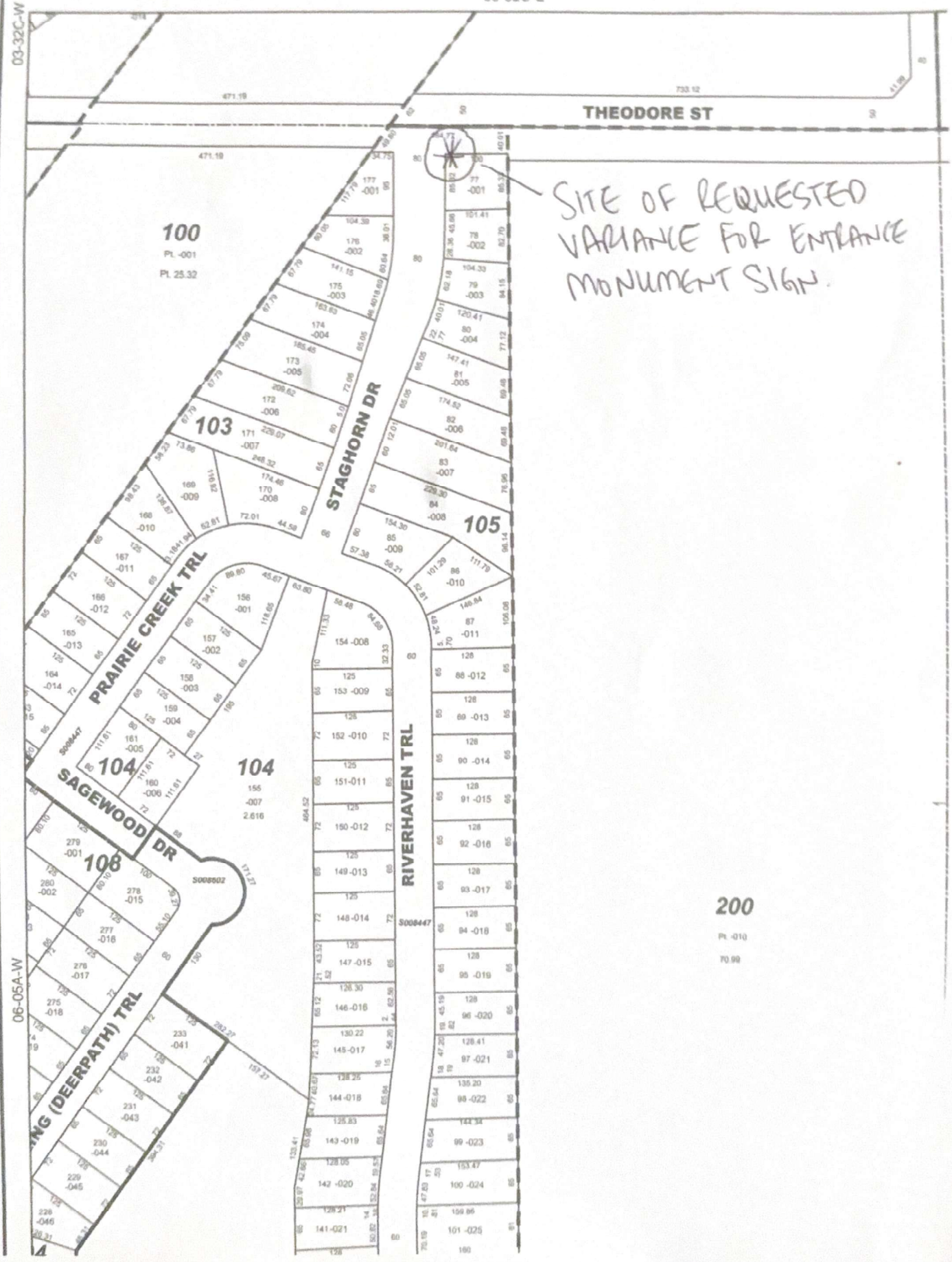


Jennifer Bertino-Tarrant
County Executive
Dale D. Butalla
Supervisor of Assessments

Disclaimer of Warranties and Accuracy of Data
Although the data developed by Will County for its maps, estimates and Geographic Information System has been purchased and
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or sections, including but not limited to the spatial coordinates of non-spatiality. Errors by a particular geographic location have
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electronic data can be altered subsequent to original distribution. Data can also quickly become out of date. It is recommended
that careful attention be paid to the contents of any data, and that the originals of the data or information be retained with
the hardware regarding appropriate use. Please direct any questions to Mapping & Planning at 3155 15th street.

Will County, Illinois
Tax Assessment Map
Revised for the 2025 Assessment
Copyrighted 2025 by Will County GIS E

03-32C-E



SITE OF REQUESTED
VARIANCE FOR ENTRANCE
MONUMENT SIGN.

200
Pl -010
70.99

FOR OFFICE USE ONLY

Verified by Planner (please initial): _____

Payment received from: _____

Petition #: _____

Common Address: _____

Date filed: _____

Meeting date assigned: _____

ZONING BOARD OF APPEALS
JOLIET, ILLINOIS

PETITION FOR VARIATION/APPEAL

City of Joliet Planning Division, 150 W. Jefferson St., Joliet, IL 60432
Ph (815)724-4050 Fax (815)724-4056

(THEODORE + STAGHORN)

ADDRESS FOR WHICH VARIATION IS REQUESTED: COMMUNITY ENTRANCE MONUMENT SIGN

PETITIONER'S NAME: FALL CREEK HOMEOWNERS ASSOCIATION (UNIT TWO)

HOME ADDRESS: [REDACTED] ZIP CODE: [REDACTED]

BUSINESS ADDRESS: [REDACTED] ZIP CODE: [REDACTED]

PHONE: (Primary) [REDACTED] (Secondary) [REDACTED]

EMAIL ADDRESS: [REDACTED] FAX: _____

PROPERTY INTEREST OF PETITIONER: HOA REPRESENTING PROPERTY OWNERS OF FALL CREEK

OWNER OF PROPERTY: FALL CREEK HOMEOWNERS ASSOCIATION

HOME ADDRESS: [REDACTED] ZIP CODE: [REDACTED]

BUSINESS ADDRESS: (SAME AS ABOVE, PROPERTY MGMT ADDRESS) ZIP CODE: _____

EMAIL ADDRESS: [REDACTED] _____

Any use requiring a business license shall concurrently apply for a business license and submit a copy with this petition. Additionally, if this request is for operation of a business, please provide the following information:

BUSINESS REFERENCES (name, address, phone or email):

N/A - NOT A BUSINESS OPERATION

OTHER PROJECTS AND/OR DEVELOPMENTS:

N/A

PERMANENT INDEX NUMBER (TAX NO. OR P. I. N.): 05-06-06-203-073-0000;

Property Index Number/P.I.N. can be found on tax bill or Will County Supervisor of Assessments website

LEGAL DESCRIPTION OF PROPERTY (an attached copy preferred):

(SEE ATTACHMENT)

LOT SIZE: WIDTH: 100 ft. DEPTH: 85 ft. AREA: 4,250 sq. ft.

PRESENT USE(S) OF PROPERTY: LANDSCAPED COMMON-AREA ENTRANCE PARCEL FOR THE FALL CREEK (12) RESIDENTIAL SUBDIVISION.

PRESENT ZONING OF PROPERTY: R-1 (SINGLE-FAMILY RESIDENTIAL DISTRICT)

VARIATION/APPEAL REQUESTED: REQUEST FOR A ZONING VARIANCE TO PERMIT INSTALLATION OF A RESIDENTIAL SUBDIVISION MONUMENT SIGN.

RESPONSE TO VARIATION CRITERIA

The Zoning Board of Appeals is authorized to grant or recommend relief only when it has received adequate evidence to establish a practical difficulty or hardship. The evidence must support each of the following three conditions:

- (a) The property in question cannot yield a reasonable return by use permitted and subject to the conditions allowed by the regulations in the particular district or zone.
- (b) The plight of the owner is due to unique circumstances.
- (c) The variation, if granted, will not alter the essential character of the locality.

Please describe how this request meets the criteria by responding to the following questions in your own words.

1. How do the applicable zoning regulations prevent the property in question from yielding a reasonable return?
RESIDENTIAL ZONING REGULATIONS DO NOT ALLOW INTERNALLY ILLUMINATED SIGNS, WHICH PREVENTS THE SUBDIVISION FROM INSTALLING AN APPROPRIATELY VISIBLE ENTRANCE MONUMENT SIGN. ILLUMINATION IS NECESSARY FOR CLEAR IDENTIFICATION OF THE FALL CREEK SUBDIVISION DURING EVENING & NIGHTTIME HOURS FOR RESIDENTS, VISITORS AND EMERGENCY SERVICES.

2. What unique circumstances exist which mandate a variance?

THE ENTRANCE PARCEL IS UNIQUELY LOCATED AT STABLER DR AND THEODORE STREET AND FACES A UTILITY RIGHT-OF-WAY RATHER THAN ANOTHER RESIDENTIAL SUBDIVISION. BECAUSE THE SIGN WILL NOT FACE NEARBY HOMES, INTERNAL ILLUMINATION WILL NOT NEGATIVELY IMPACT SURROUNDING RESIDENTIAL PROPERTIES.

3. What impact would the granting of this variance have upon the essential character of the general area? Please include both positive and negative impacts.

APPROVAL OF THE VARIANCE WILL ALLOW THE INSTALLATION OF A PROFESSIONALLY DESIGNED MONUMENT SIGN THAT IMPROVES NEIGHBORHOOD IDENTIFICATION AND AESTHETICS. BECAUSE THE SIGN FACES A UTILITY CORRIDOR RATHER THAN HOMES, THE LIGHTING WILL NOT ADVERSELY AFFECT NEARBY PROPERTIES, & WILL REMAIN CONSISTENT WITH THE RESIDENTIAL CHARACTER OF THE AREA.

REQUIRED SUPPORTING ATTACHMENTS

- Site plan / concept plan / floor plan / building elevation plan
- Joliet Ownership Disclosure form
- Business license application (if applicable) N/A

NOTARIZATION OF PETITION

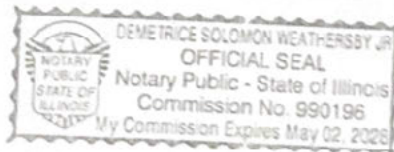
STATE OF ILLINOIS) ss
COUNTY OF WILL)

I, JUSTIN HARRISON, depose and say that the above statements are true and correct to the best of my knowledge and belief. I agree to be present in person or by representation when this petition is heard before the Zoning Board of Appeals.

Petitioner's Signature

Owner's Signature
(If other than petitioner)

Subscribed and sworn to before me
this 6 day of March, 2026



CITY OF JOLIET OWNERSHIP DISCLOSURE FORM

The City of Joliet requires that applicants for zoning relief, subdivision approval, building permits and business licenses disclose the identity of all persons having an ownership interest in the business and the real property associated with the application. A copy of this form must be completed and submitted with other application materials. Failure to properly complete and submit this form may result in the denial of the application.

I. INFORMATION ABOUT THE APPLICATION

This form is submitted as part of an application for the following (check all that apply):

- Rezoning, Special Use Permit, Variation, or Other Zoning Relief (Complete Sections II and III)
- Preliminary Plat, Final Plat, or Record Plat of Subdivision (Complete Sections II and III)
- Building Permit (Complete Sections II and III)
- Business License (Complete All Sections)

II. INFORMATION ABOUT THE PROPERTY

The address and PIN(s) of the real property associated with this application are:

INTERSECTION CORNER OF STAGHOLM DR AND THEODORE ST.

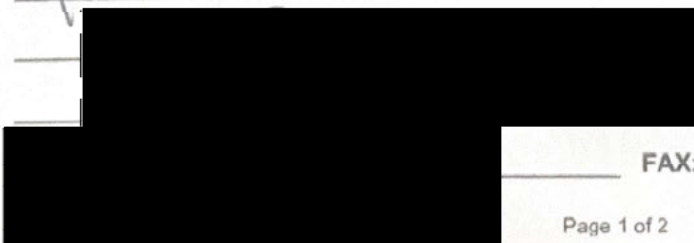
PIN(s): 05-06-06-703-073-0000

III. PROPERTY OWNERSHIP

Select the type of owner of the real property associated with this application and fill in the appropriate contact information below:

- Individual:** State the names, addresses, and phone #'s of the individual owner(s)
- Corporation:** State the names, addresses, and phone #'s of all persons holding 3% or more of the stock of the corporation and the percentage of shares held by such stockholders
- Limited Liability Company:** State the names, addresses, and phone #'s of all members of the company along with the percentage of ownership held by each member
- Land Trust:** State the names, addresses, and phone #'s of the trustee(s) and all beneficiaries
- Partnership:** State the names, addresses, and phone #'s of all partners
- Other type of organization:** State the names, addresses, and phone #'s of all persons having a legal or equitable ownership interest in the organization or the right to direct the affairs of the organization

FALL CREEK HOMEOWNERS ASSOCIATION
c/o BAM PROPERTY SERVICES



FAX: _____

IV. BUSINESS OWNERSHIP

If the owner of the business is different than the owner of the real property associated with the application, then the following information must be provided:


Select the type of business owner associated with this application and fill in the contact information below:

- Individual:** State the names, addresses, and phone #'s of the individual owner(s)
- Corporation:** State the names, addresses, and phone #'s of all persons holding 3% or more of the stock of the corporation and the percentage of shares held by such stockholders
- Limited Liability Company:** State the names, addresses, and phone #'s of all members of the company along with the percentage of ownership held by each member
- Partnership:** State the names, addresses, and phone #'s of all partners
- Other type of organization:** State the names, addresses, and phone #'s of all persons having a legal or equitable ownership interest in the organization

N/A - NO BUSINESS OPERATION ASSOCIATED WITH THIS APPLICATION.

 FAX: _____

NOTE:
If a stockholder, member, beneficiary or partner disclosed in Section III or Section IV is not an individual, then the individuals holding the legal or equitable title to the real property or business associated with the application must also be disclosed. For example, if the real property associated with an application is owned by a land trust, and the beneficiary of the land trust is a limited liability company, then the members of the limited liability company must be disclosed. If one of the members of the limited liability company is a partnership, then the identity of the partners must be disclosed. If one of the partners is a corporation, then all persons owning 3% or more of the issued stock must be disclosed.

SIGNED:  BOARD MEMBER - FALL CREEK HOA AUTHORIZED REPRESENTATIVE

DATE: 03/06/2026

Name, Title, and Telephone Numbers of Person Completing and Submitting This Form:
JUSTIN HARRISON - PRESIDENT, FALL CREEK BOARD OF DIRECTORS



PRINT

ZONING BOARD OF APPEALS

CRITERIA FOR SIGN VARIATIONS

Section 47-17.21(3)(bb) of the Zoning Ordinance states:

Any sign which is not specifically permitted in any zoning district shall require the granting of a variation, obtained from the Zoning Board of Appeals. This includes signs that have flashing or pulsating illumination, animation, rotation, or overall dimensions which exceed the maximum dimensions permitted in any district.

Variation Criteria: A variation may be granted by the Zoning Board of Appeals based on all of the following criteria:

	Does the evidence presented sustain this criteria?	Comments
(a) That strict enforcement of the ordinance would cause undue hardship to the property owner due to circumstances unique to the individual property in question.		
(b) That the proposed use would not be detrimental to the use, orderly development and enjoyment of other property in the immediate vicinity for the purposes permitted under the zoning ordinance, nor substantially diminish the property value within the neighborhood.		
(c) That ownership or lease of the property in question can be demonstrated.		
(d) That approval of the variation would not be contrary to the objective of improving the overall appearance of the City.		



City of Joliet

150 West Jefferson Street
Joliet, IL 60432

Memo

File #: TMP-9643

Agenda Date:4/16/2026

DATE: April 10, 2026
TO: Joliet Zoning Board of Appeals
FROM: Francisco Jimenez - Planner
SUBJECT: 2026-07: A Special Use Permit to allow a duplex, located at 1216 Fairview Ave.
2026-08: A Variation of Use for an R-3 (one and two family residential) use in the R-2 (single family residential) zoning district.
2026-09: A series of Variations to deviate from Zoning Ordinance standards for a lot located within an R-2 (single family residential) zoning district.

GENERAL INFORMATION:

APPLICANT: Robert Casey
STATUS OF APPLICANT: Property Owner
OWNER: Robert Casey

SPECIAL INFORMATION: City Staff is requesting the subject petitions be deferred to May 21, 2026 to give staff and the property owner additional time to review the proposed petition.



City of Joliet

150 West Jefferson Street
Joliet, IL 60432

Memo

File #: TMP-9644

Agenda Date:4/16/2026

STAFF REPORT

DATE: April 9, 2026
TO: Zoning Board of Appeals
FROM: Helen Miller, Planner
RE: Petition Number: 2026-10 and 2026-11
Applicant: Dive Right In Scuba, Inc.
Status of Applicant: Contract purchaser
Owner: Greater Joliet Area YMCA
Location: 749 Houbolt Road (Council District #5)
Request: 2026-10: Variation of Use to allow an indoor and outdoor commercial recreation facility, a B-3 (general business) use, in the R-B (restricted business) district
2026-11: Variation to allow unlighted outdoor recreational facilities within 200 feet of a single-family residential zoning district

Purpose

The applicant is requesting a Variation of Use to allow an indoor and outdoor commercial recreation facility within the R-B (restricted business) district. Commercial recreation facilities are permitted uses in the B-2 (central business) and B-3 (general business) districts, while unlighted outdoor recreational uses and facilities are permitted in the B-3 (general business) district. The site was developed for and is currently occupied by a branch of the Greater Joliet Area YMCA. Because the YMCA is a non-profit organization, the facility was categorized as a “public and semi-public building,” which is a permitted use in the R-B district. The petitioner’s proposal is for a commercial facility and therefore needs a Variation of Use to be located within the R-B district. The Variation of Use request must be considered by the City Council following the recommendation of the Zoning Board of Appeals.

The Zoning Ordinance states that “unlighted baseball fields” or similar open air recreational uses and facilities shall not be located within 200 feet of any single-family or two-family residential zoning district. The existing baseball fields, as well as the open fields and outdoor track on the western portion of the property, are within 200 feet of the property to the south, which has R-1 (single-family residential) zoning. Therefore, the petitioner is also requesting a variation from this spacing requirement to allow the existing outdoor facilities to remain as is. The Zoning Board of Appeals makes the final decision on this variation request.

Site Specific Information

The 16-acre subject property was annexed and zoned R-B (restricted business) in 1969. The existing recreational facility was constructed around 1982 and has operated as the Galowich Family branch of the Greater Joliet Area YMCA since that time. This YMCA branch will be permanently closing at the end of April. The petitioner is currently under contract to purchase the property.

The site currently contains an approximately 25,000-square-foot building, surface parking, two baseball fields, an outdoor walking track, and open grass fields. The building contains an indoor swimming pool, indoor basketball courts, and fitness center. Parking is located on all sides of the building, and the site has 104 parking stalls.

In 2008, the Zoning Board of Appeals approved a variation to allow a reduced setback for the existing monument sign.

Surrounding Zoning, Land Use and Character

- North: R-4 (multi-family residential), residential (Springwood subdivision); and B-3 (general business) and R-B (restricted business), forest preserve
- South: R-1 (single-family residential), agricultural (Joliet Junior College property)
- East: R-1A (single-family residential), residential (Silver Leaf subdivision)
- West: R-B (restricted business) and R-5 (multi-family residential), forest preserve

Applicable Regulations

- Section 47-13.1(A) & (H) B-3 (General Business) District Permitted Uses
- Section 47-12.1(1)(C) B-2 Central Business District Permitted Uses
- Section 47-17.28 Variation of Use
- Section 47-19.8 Findings of Fact Supporting a Variation
(refer to attachment)

Section 47-17.28: Variation of Use: *A "variation of use" shall be defined to mean relief from strict compliance with the use limitations of this Ordinance regarding the classification, regulation, and restriction of the location where trades, industries, businesses, and residences may exist.*

Discussion

The petitioner, Dive Right In Scuba, Inc., is requesting a Variation of Use to allow an indoor and outdoor commercial recreation facility within the R-B (restricted business) district at 749 Houbolt Road. The proposal, called The Flex, will include several primary uses that are similar to the existing operations at the facility. These uses consist of: aquatics programming, including swimming instruction, using the existing indoor

swimming pool; indoor basketball for a local youth organization (No Mercy Basketball) on the existing indoor courts; retail and training areas related to scuba instruction and aquatics programming; outdoor youth sports programming on the existing outdoor athletic fields; and a leased snack bar space. The petitioner intends to partner with local youth organizations to promote youth athletics and to fully use all amenities of the existing facility. A full business narrative is included in the staff report packet.

The petitioner states that the facility will support around 30 to 35 employees at full operation. Proposed hours of operation are 8:00 AM to 8:00 PM, seven days per week. The site contains existing surface parking surrounding the main building. There are approximately 104 off-street parking spaces, which meets the requirement for the proposed use. There are no exterior modifications proposed to the building or to the site at this time.

The facility will be owned and managed by Dive Right In Scuba. Dive Right In Scuba has two existing locations in Plainfield and Orland Park. They offer a variety of retail, repair, and training services related to diving, as well as a swim program (The Swim Advantage) at the Orland Park location.

In addition to the Variation of Use, the petitioner is requesting a Variation from the spacing requirement for unlighted outdoor recreational facilities. The Zoning Ordinance states that “open air recreational uses and facilities” shall not be located within 200 feet of a single-family or two-family residential zoning district. The property to the south, which is owned by Joliet Junior College and currently used for agricultural purposes, has R-1 (single-family residential) zoning. The existing baseball fields and track are within 200 feet of the shared lot line with this property. There are no proposed additions to the outdoor facilities nor does the petitioner have plans to install outdoor lighting at this time. Approval of the variation would allow the existing outdoor fields to remain in their current condition. It should be noted that per the Zoning Ordinance, pedestrian lighting and security lighting do not constitute “lighting” as it pertains to unlighted versus lighted outdoor fields.

Recommended Action

Staff finds that the request meets the following criteria for a variation and variation of use:

- strict enforcement of the Zoning Ordinance would involve practical difficulties for the appropriate reuse of the site due to the site’s existing design;
- the property would not be able to yield a reasonable return if used only under conditions allowed within the R-B zoning district;
- the hardship is due to the site’s unique setup as an indoor and outdoor recreational facility; and
- the granting of the variation and variation of use would not alter the character of the local area.

The property is set up to be used as an indoor and outdoor recreational facility and would not be practically used for other permitted uses in the R-B district, such as professional offices or medical facilities. The location of the existing outdoor fields in relation to the adjacent R-1-zoned property to the south is an existing condition of the site that will remain unchanged as part of this request. The petitioner's proposal for a multi-use indoor and outdoor sports, aquatics, and recreation facility is very similar to the historical and current use of the property.

Conditions

If the Zoning Board desires to approve this Variation of Use to allow an indoor and outdoor commercial recreation facility, a B-3 (general business) use, in the R-B (restricted business) district, and a Variation to allow unlighted outdoor recreational facilities within 200 feet of a residential zoning district at 749 Houbolt Road, staff recommends that the following conditions would be included:

1. Should the property be declared a public nuisance, the property may be subject to a rehearing and a possible revocation of the Variation of Use.

Figure 1: Aerial view of subject site at 749 Houbolt Road (2025)



Figure 2: Existing building at 749 Houbolt Road, view northwest from Houbolt Road (April 2026)



Figure 3: Subject site, view southwest from Houbolt Road (May 2025)



Figure 4: Subject site, view northwest from Houbolt Road (May 2025)



Figure 5: Rear outdoor facilities: baseball fields, walking track, open field area; view west from rear parking area (April 2026)

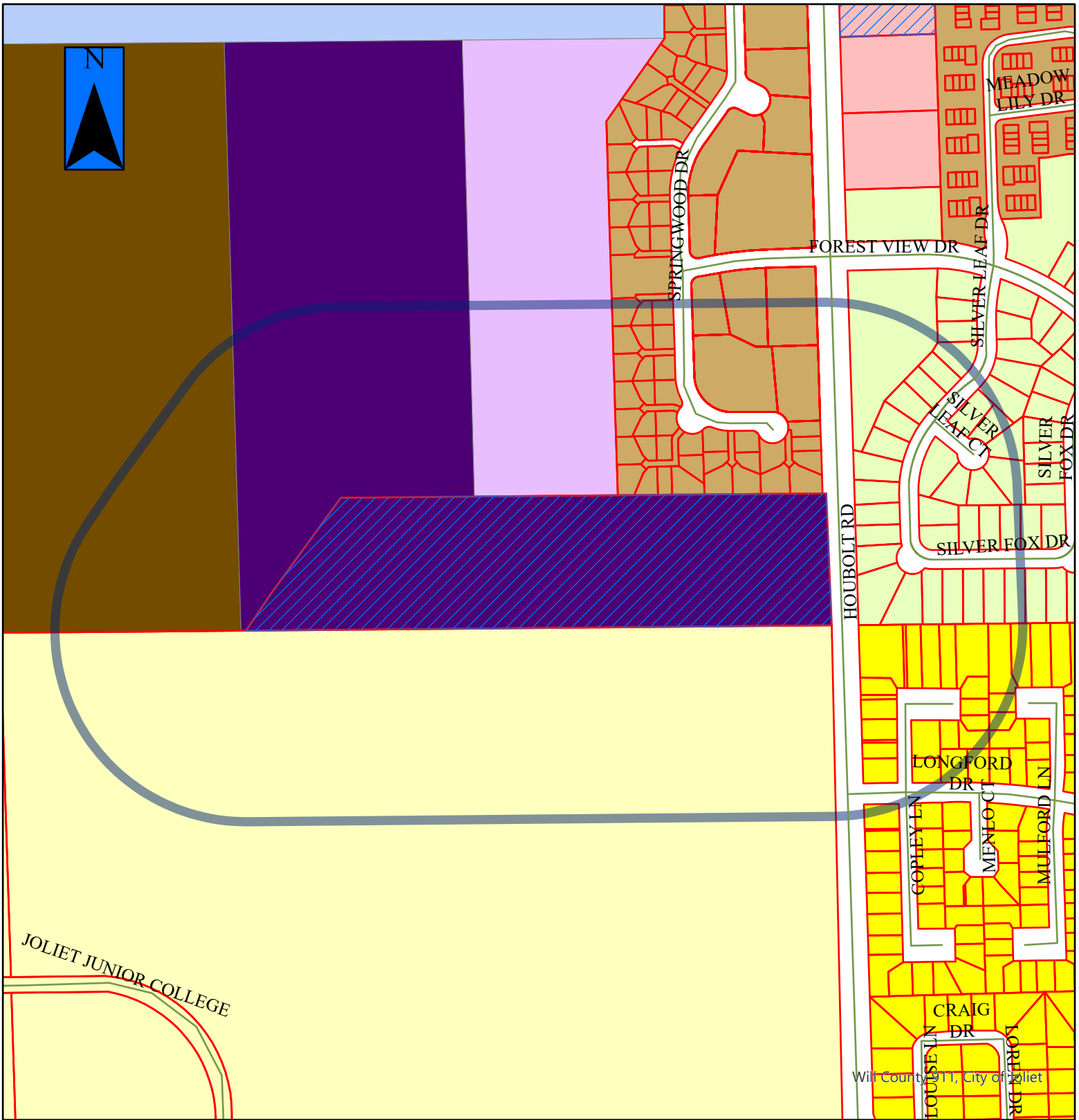




2026-10a, 2026-11a






- = Property in Question / Propiedad en cuestión
- = 600' Public Notification Boundary /
Límite de notificación pública de 600 ft (180 m)



2026-10, 2026-11



 = Property in Question
 = 600' Public Notification Boundary

Legend			
	B-1		R-2
	B-2		R-2A
	B-3		R-3
	I-1		R-4
	I-2		R-5
	I-T		R-B
	I-TA		
	I-TB		
	I-TC		
	R-1		
	R-1A		
	R-1B		

Will County 911, City of Joliet



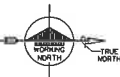
PRIMARY USE LEGEND

- Aquatics Programming (operated by Dive Right In Scuba/The Swim Advantage)
- Indoor Basketball Courts (utilized by No Mercy Joliet Basketball)
- Accessory Retail and Training Area (related to Scuba Instruction and Aquatic Programming)
- Leased Juice/Snack Bar Space (independent tenant)



FIRST FLOOR PLAN





1/8" = 1'-0"
0 2 4 8 16 24



REVISED	
DATE	0-00-00
BY	01-21-2006
SHEET NO.	A-1
PROJECT	FIRST FLOOR PLAN

PRELIMINARY
JANUARY 21, 2006
DO NOT USE FOR CONSTRUCTION PURPOSES

PRIMARY USE LEGEND

-  Aquatics Programming (operated by Dive Right In Scuba/The Swim Advantage)
-  Indoor Basketball Courts (utilized by No Mercy Joliet Basketball)
-  Accessory Retail and Training Area (related to Scuba Instruction and Aquatic Programming)
-  Leased Juice/Snack Bar Space (independent tenant)



LOWER LEVEL FLOOR PLAN

1/4" = 1'-0"
0 2 4 8 16 24



SECOND FLOOR PLAN

1/4" = 1'-0"



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BENDER
PATTON
& BEEN**

ARCHITECTS

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Naperville, IL 60564
1.630.656.4333

www.healybender.com

THE FLEY FACILITY FOR
DIVE RIGHT IN SCUBA
JOLIET, ILLINOIS
000
DIVE RIGHT IN SCUBA, LLC
JOLIET, WILL COUNTY, ILLINOIS

REVISIONS	
NO.	DATE
1	
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FILE NO.	0400.00
PROJECT	
DATE	01.21.2016
SHEET NO.	A-2
OF 2	

PRELIMINARY
JANUARY 21, 2016
DO NOT USE FOR CONSTRUCTION PURPOSES

A-2
OF 2

UNIVERSAL AND SECOND FLOOR PLAN

THE FLEX 749 HOUBOLT ROAD, JOLIET

1. Business Narrative - Proposed Use

The Flex is a professionally managed, multi-use indoor and outdoor sports, aquatics, and recreation facility intended to serve youth, families, schools, and organized athletic programs in the Joliet area. The facility consolidates several complementary uses into a single coordinated location.

Primary uses within the facility include:

- **Aquatics Programming** operated by Dive Right In Scuba and its DBA, The Swim Advantage, including swim instruction, aquatic safety education, and related programming.
- **Indoor Basketball Courts** utilized by No Mercy Joliet Basketball, a local not-for-profit youth basketball organization, for practices, training, and games.
- **Accessory Retail and Training Areas** related to scuba instruction and aquatic programming.
- **Outdoor Athletic Field Space** intended for organized youth sports programming (no lighting proposed at this time).
- **A Leased Juice/Snack Bar Space**, operated by an independent tenant who will obtain all required permits and licenses directly from the City.

2. Hours of Operation

The anticipated hours of operation for the facility are:

8:00 AM to 8:00 PM, seven (7) days per week

These hours represent the initial planned operating schedule. Hours may be adjusted modestly in the future as programming demand evolves, subject to City requirements.

3. Staffing

Staffing levels will vary based on programming and scheduled activities. At full operation, the facility will support approximately **30–35 total staff members** across all uses, including administrative personnel, instructors, coaches, and operational staff. Staffing includes a combination of employees and contracted instructors/coaches, depending on program needs.

4. Operations & Safety

- No alcohol will be sold or served anywhere within the facility.
- Aquatic activities will be supervised by trained and certified staff, with lifeguards present whenever the pool is in use.
- All programming is structured, scheduled, and supervised.

- The facility will maintain staffed front desk operations and controlled access during operating hours.

5. Community Benefit

The Flex is designed to provide organized youth sports, aquatic education, and fitness programming in a safe, professionally managed environment. Partnerships with local Joliet-based organizations and school districts will promote youth development, physical fitness, and water safety while maximizing efficient use of the facility throughout the day.

FOR OFFICE USE ONLY

***Verified by Planner (please initial): _____ ***

Payment received from:

Petition #: _____

Common Address: _____

Date filed: _____

Meeting date assigned: _____

ZONING BOARD OF APPEALS
JOLIET, ILLINOIS

PETITION FOR VARIATION OF USE

City of Joliet Planning Division, 150 W. Jefferson St., Joliet, IL 60432
Ph (815)724-4050 Fax (815)724-4056

ADDRESS FOR WHICH VARIATION IS REQUESTED: 749 Houbolt Road

PETITIONER'S NAME: Dive Right in Scuba, Inc.

HOME ADDRESS: - ZIP CODE: -

BUSINESS ADDRESS: 24222 West Lockport St., Plainfield, IL ZIP CODE: 60544

PHONE: (Primary) [REDACTED] (Secondary) -

EMAIL ADDRESS: [REDACTED] FAX: -

PROPERTY INTEREST OF PETITIONER: contract purchaser

OWNER OF PROPERTY: Greater Joliet Area YMCA

HOME ADDRESS: - ZIP CODE: -

BUSINESS ADDRESS: 749 Houbolt Road, Joliet, IL ZIP CODE: 60431

EMAIL ADDRESS: [REDACTED] FAX: -

Any use requiring a business license shall concurrently apply for a business license and submit a copy with this petition. Additionally, if this request is for operation of a business, please provide the following information:

BUSINESS REFERENCES (name, address, phone or email):

City of Joliet Fire Department, Craig Sayles - [REDACTED]

US Head, Marco Maestri - [REDACTED]

Huish Outdoors, David Burroughs - [REDACTED]

OTHER PROJECTS AND/OR DEVELOPMENTS:

Dive Right In Scuba, 24222 West Lockport Street, Plainfield, Illinois

Dive Right In Scuba, 16336 South 104th Avenue, Orland Park, Illinois

PERMANENT INDEX NUMBER (TAX NO. OR P. I. N.): 06-14-300-012 ;
_____ ; _____ ; _____

Property Index Number/P.I.N. can be found on tax bill or Will County Supervisor of Assessments website

LEGAL DESCRIPTION OF PROPERTY (an attached copy preferred):
Attached.

LOT SIZE: WIDTH: 405 ft DEPTH: 482 ft AREA: 16.1 acres

PRESENT USE(S) OF PROPERTY: YMCA facility with outdoor fields

PRESENT ZONING OF PROPERTY: R-B Restricted Business District

VARIATION OF USE REQUESTED: to allow B-3 District uses, ie. general business, retail, and recreation uses,
in the R-B Restricted Business District.

RESPONSE TO VARIATION OF USE CRITERIA

The Zoning Board of Appeals is authorized to grant or recommend relief only when it has received adequate evidence to establish a practical difficulty or hardship. The evidence must support each of the following three conditions:

- (a) The property in question cannot yield a reasonable return by use permitted and subject to the conditions allowed by the regulations in the particular district or zone.
- (b) The plight of the owner is due to unique circumstances.
- (c) The variation, if granted, will not alter the essential character of the locality.

Please describe how this request meets the criteria by responding to the following questions in your own words.

1. How do the applicable zoning regulations prevent the property in question from yielding a reasonable return?
The Subject Property is owned by the Greater Joliet Area YMCA, which has constructed a YMCA facility with a swimming pool, basketball courts, training areas, and unlighted outdoor athletic fields. The YMCA is relocating to a new facility and has entered into a Purchase and Sale Contract with the Petitioner. The Petitioner proposes to repurpose the facility into a professionally managed multi-use indoor and outdoor sports, aquatics, and recreation facility intended to serve youth, families, schools, and organized athletic programs in the Joliet area. The Subject Property is zoned R-B Restricted Business District and the YMCA is a permitted use. However, the Petitioner's proposal is considered a commercial use which is not permitted in the R-B District. The existing facility is a specialized facility, which cannot be easily repurposed, If the Variation of Use is not granted, the Subject Property cannot be repurposed, thereby eliminating it from yielding a reasonable return.

2. *What unique circumstances exist which mandate a variance?*

The unique circumstance of the Subject Property is that it is developed with a specialized building. The YMCA facility cannot be easily repurposed for a use permitted in the R-B District. No public or not for profit entity has expressed an interest in acquiring the Subject Property. For the Subject Property to be used by the Petitioner as a commercial facility requires the requested Variation of Use.

3. *What impact would the granting of this variance have upon the essential character of the general area? Please include both positive and negative impacts.*

The granting of the Variation of the Use should not have any impact upon the essential character of the general area in that the use of the Subject Property is not changing; only the ownership of the Subject Property is changing from a not-for-profit entity to a commercial operator.

REQUIRED SUPPORTING ATTACHMENTS

- Site plan / concept plan / floor plan / building elevation plan
- Joliet Ownership Disclosure form
- Business license application (if applicable)

NOTARIZATION OF PETITION

STATE OF ILLINOIS) ss
COUNTY OF WILL)

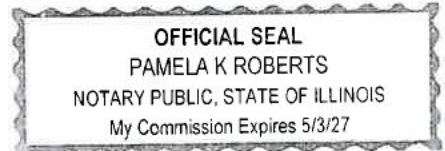
I, Michael Pedersen, depose and say that the above statements are true and correct to the best of my knowledge and belief. I agree to be present in person or by representation when this petition is heard before the Zoning Board of Appeals.

Michael Pedersen by his attorney
Petitioner's Signature

Subscribed and sworn to before me
this 26th day of February, 2026

[Redacted]
Owner's Signature
(If other than petitioner)

Subscribed and sworn to before me
this 26 day of February, 2026



FOR OFFICE USE ONLY

***Verified by Planner (please initial): _____ ***

Payment received from:

Petition #: _____

Common Address: _____

Date filed: _____

Meeting date assigned: _____

ZONING BOARD OF APPEALS
JOLIET, ILLINOIS

PETITION FOR VARIATION/APPEAL

City of Joliet Planning Division, 150 W. Jefferson St., Joliet, IL 60432
Ph (815)724-4050 Fax (815)724-4056

ADDRESS FOR WHICH VARIATION IS REQUESTED: 749 Houbolt Road

PETITIONER'S NAME: Dive Right In Scuba, Inc.

HOME ADDRESS: - ZIP CODE: -

BUSINESS ADDRESS: 24222 West Lockport St., Plainfield, Illinois ZIP CODE: 60544

PHONE: (Primary) [REDACTED] (Secondary) -

EMAIL ADDRESS: [REDACTED] FAX: -

PROPERTY INTEREST OF PETITIONER: contract purchaser

OWNER OF PROPERTY: Greater Joliet Area YMCA

HOME ADDRESS: - ZIP CODE: -

BUSINESS ADDRESS: 749 Houbolt Road, Joliet, Illinois ZIP CODE: 60431

EMAIL ADDRESS: [REDACTED] FAX: -

Any use requiring a business license shall concurrently apply for a business license and submit a copy with this petition. Additionally, if this request is for operation of a business, please provide the following information:

BUSINESS REFERENCES (name, address, phone or email):

City of Joliet Fire Department, Craig Sayles - [REDACTED]

US Head, Marco Maestri - [REDACTED]

Huish Outdoors, David Burroughs - [REDACTED]

OTHER PROJECTS AND/OR DEVELOPMENTS:

Dive Right In Scuba, 24222 West Lockport Street, Plainfield, Illinois

Dive Right In Scuba, 16336 South 104th Avenue, Orland Park, Illinois

PERMANENT INDEX NUMBER (TAX NO. OR P. I. N.): 06-14-300-012 ;
_____ ; _____ ; _____ .

Property Index Number/P.I.N. can be found on tax bill or Will County Supervisor of Assessments website

LEGAL DESCRIPTION OF PROPERTY (an attached copy preferred):

Attached.

LOT SIZE: WIDTH: 405 ft DEPTH: 482 ft AREA: 16.1 acres

PRESENT USE(S) OF PROPERTY: YMCA facility with outdoor fields

PRESENT ZONING OF PROPERTY: R-B Restricted Business District

VARIATION/APPEAL REQUESTED: to allow unlighted open air recreation uses and facilities to be located less than 200 feet, ie. .45 feet, from a single-family residential zoning district.

RESPONSE TO VARIATION CRITERIA

The Zoning Board of Appeals is authorized to grant or recommend relief only when it has received adequate evidence to establish a practical difficulty or hardship. The evidence must support each of the following three conditions:

- (a) The property in question cannot yield a reasonable return by use permitted and subject to the conditions allowed by the regulations in the particular district or zone.
- (b) The plight of the owner is due to unique circumstances.
- (c) The variation, if granted, will not alter the essential character of the locality.

Please describe how this request meets the criteria by responding to the following questions in your own words.

1. How do the applicable zoning regulations prevent the property in question from yielding a reasonable return?

The Subject Property is owned by the Greater Joliet Area YMCA, which has constructed a YMCA facility with a swimming pool, basketball courts, training areas, and unlighted outdoor athletic fields. The YMCA is relocating to a new facility and has entered into a Purchase and Sale Contract with the Petitioner. The Petitioner proposes to repurpose the facility into a professionally managed multi-use indoor and outdoor sports, aquatics, and recreation facility intended to serve youth, families, schools, and organized

athletic programs in the Joliet area. The Subject Property is zoned R-B Restricted Business District, and the YMCA is a permitted use. However, the Petitioner's proposal is considered a commercial use which is not permitted in the R-B District. The Petitioner is requesting a Variation of Use to allow B-3 District uses, ie. general business, retail, and recreation uses on the Subject Property. The B-3 regulations require 200 foot setback between an unlighted open air recreational use or facility and a single-family residential zoning district. The property to the South of the Subject Property is zoned single-family and the setback is 45 feet. The outdoor fields are an existing element of the YMCA facility. If the Variation is not granted, then the fields would need to be redesigned, including the elimination of a significant portion of the existing fields. This reduction in the amount of sports fields will negatively impact the ability to yield a reasonable return.

2. *What unique circumstances exist which mandate a variance?*

The unique circumstance of the Subject Property is that it is developed with a specialized building and use. The YMCA facility cannot be easily repurposed for a use permitted in the R-B District. The sport fields are existing. A redesign of the sports fields would involve the elimination of a significant portion of the fields.

3. *What impact would the granting of this variance have upon the essential character of the general area? Please include both positive and negative impacts.*

The granting of the Variation should not have any impact upon the essential character of the general area in that the location of the sports fields is not changing.

REQUIRED SUPPORTING ATTACHMENTS

- Site plan / concept plan / floor plan / building elevation plan
- Joliet Ownership Disclosure form
- Business license application (if applicable)

NOTARIZATION OF PETITION

STATE OF ILLINOIS) ss
COUNTY OF WILL)

I, Michael Pedersen, depose and say that the above statements are true and correct to the best of my knowledge and belief. I agree to be present in person or by representation when this petition is heard before the Zoning Board of Appeals.

*Michael Pedersen
by his attorney*

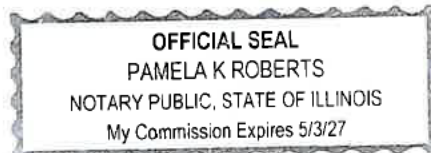
Petitioner's Signature

Owner's Signature

(If other than petitioner)

Subscribed and sworn to ~~me~~ before me
this 28th day of February, 2026

Subscribed and sworn to before me
this 26 day of February, 2026



CITY OF JOLIET OWNERSHIP DISCLOSURE FORM

The City of Joliet requires that applicants for zoning relief, subdivision approval, building permits and business licenses disclose the identity of all persons having an ownership interest in the business and the real property associated with the application. A copy of this form must be completed and submitted with other application materials. Failure to properly complete and submit this form may result in the denial of the application.

I. INFORMATION ABOUT THE APPLICATION

This form is submitted as part of an application for the following (check all that apply):

- Rezoning, Special Use Permit, Variation, or Other Zoning Relief (Complete Sections II and III)
- Preliminary Plat, Final Plat, or Record Plat of Subdivision (Complete Sections II and III)
- Building Permit (Complete Sections II and III)
- Business License (Complete All Sections)

II. INFORMATION ABOUT THE PROPERTY

The address and PIN(s) of the real property associated with this application are:

749 Houbolt Road, Joliet

PIN(s): 06-14-300-012

III. PROPERTY OWNERSHIP

Select the type of owner of the real property associated with this application and fill in the appropriate contact information below:

- Individual:** State the names, addresses, and phone #'s of the individual owner(s)
- Corporation:** State the names, addresses, and phone #'s of all persons holding 3% or more of the stock of the corporation and the percentage of shares held by such stockholders
- Limited Liability Company:** State the names, addresses, and phone #'s of all members of the company along with the percentage of ownership held by each member
- Land Trust:** State the names, addresses, and phone #'s of the trustee(s) and all beneficiaries
- Partnership:** State the names, addresses, and phone #'s of all partners
- Other type of organization:** State the names, addresses, and phone #'s of all persons having a legal or equitable ownership interest in the organization or the right to direct the affairs of the organization

Greater Joliet Area YMCA

E-MAIL: [REDACTED] FAX: _____

IV. BUSINESS OWNERSHIP

If the owner of the business is different than the owner of the real property associated with the application, then the following information must be provided:

Select the type of business owner associated with this application and fill in the contact information below:

- Individual:** State the names, addresses, and phone #'s of the individual owner(s)
- Corporation:** State the names, addresses, and phone #'s of all persons holding 3% or more of the stock of the corporation and the percentage of shares held by such stockholders
- Limited Liability Company:** State the names, addresses, and phone #'s of all members of the company along with the percentage of ownership held by each member
- Partnership:** State the names, addresses, and phone #'s of all partners
- Other type of organization:** State the names, addresses, and phone #'s of all persons having a legal or equitable ownership interest in the organization

Michael Pedersen

24222 West Lockport Street, Plainfield, Illinois 60544

E-MAIL: [REDACTED] FAX: _____

NOTE:

If a stockholder, member, beneficiary or partner disclosed in Section III or Section IV is not an individual, then the individuals holding the legal or equitable title to the real property or business associated with the application must also be disclosed. For example, if the real property associated with an application is owned by a land trust, and the beneficiary of the land trust is a limited liability company, then the members of the limited liability company must be disclosed. If one of the members of the limited liability company is a partnership, then the identity of the partners must be disclosed. If one of the partners is a corporation, then all persons owning 3% or more of the issued stock must be disclosed.

SIGNED: [REDACTED]

DATE: February 26, 2026

Name, Title, and Telephone Numbers of Person Completing and Submitting This Form:

Kathleen C. West, Attorney at Law, Dommermuth, Cobine, West, Gensler, Philipchuck and Corrigan, Ltd

111 East Jefferson Ave Suite 200, Naperville, IL 60540, Telephone: [REDACTED] Email: [REDACTED]

PRINT

ZONING BOARD OF APPEALS
CRITERIA FOR VARIATIONS

Section 47-19.8 of the Zoning Ordinance states:

A variation shall not be granted in any case unless the Board shall find and clearly state in its record of the case that:

	Does the evidence presented sustain this criteria?	Comments
(1) Reasons sustaining the contention that strict enforcement of the Ordinance would involve practical difficulties or impose exceptional hardship were found as follows: (a) _____ (b) _____ (c) _____ (list of reasons)		
(2) Adequate evidence was submitted to establish practical difficulties or particular hardship so that, in the judgment of the Board, a variation is permitted because the evidence sustained the existence of each of the three following conditions: (a) The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in the particular district or zone. (b) The plight of the owner is due to unique circumstances. (c) The variation, if granted, will not alter the essential character of the locality.		
(3) A public hearing was held on such variation of which at least 15 days and not more than 30 days notice was published in the _____ (name of newspaper) on _____ (date).		



City of Joliet

150 West Jefferson Street
Joliet, IL 60432

Memo

File #: TMP-9645

Agenda Date:4/16/2026

STAFF REPORT

DATE: March 19, 2026
TO: Zoning Board of Appeals
FROM: Francisco Jimenez, Planner
RE: Petition Number: 2026-12
Applicant / Owner: Omega Sign & Lighting Inc / Stone Hill Bible Church
Location: 1516 Edgerton Dr.
Request: A Variation to increase maximum area of a ground sign for a non-residential use in the R-2 (single-family) zoning district.

Purpose

The applicant is requesting a Variation to increase the maximum area of a ground sign for a non-residential use in the R-2 (single-family residential) zoning district from 12 square feet to 60 square feet in size, located at 1516 Edgerton Dr. The Zoning Board of Appeals makes the final decision on this request.

Site Specific Information

The subject property is approximately 3.80 acres in size and is zoned R-2 (Single-family Residential). The current principal use of the property is a non-residential use, a church.

Surrounding Zoning, Land Use and Character

Properties in this vicinity are zoned R-2 (Single-family Residential). There is a utility greenway to the east of the property as well as forest preserve property to the north of the property.

Applicable Regulations

- Section 47-17.21 Signs

Discussion

The applicant, Omega Sign & Lighting Inc who is the sign contractor, seeks to install a ground sign that will exceed the allowable square footage set forth in the Zoning Ordinance. The proposed dimensions for the sign are 148" wide and 59" long for a total sign area of 60.63 square feet in area. The sign will be mounted to two 6' high posts. The ground sign will be installed on the northwest corner of the property at the intersection of Theodore Street and Edgerton Drive, well outside of the required visibility triangle where the two streets intersect. The zoning ordinance allows for one ground sign on a property within an R-2 (Single-Family Residential) zoning with a maximum sign area of 20 square

feet and a maximum height of 11 feet. The proposed ground sign will have a sign area of 60 square feet and will be 6 feet in height. Sign elevations for the proposed project are included in the staff report packet.

Requested Action

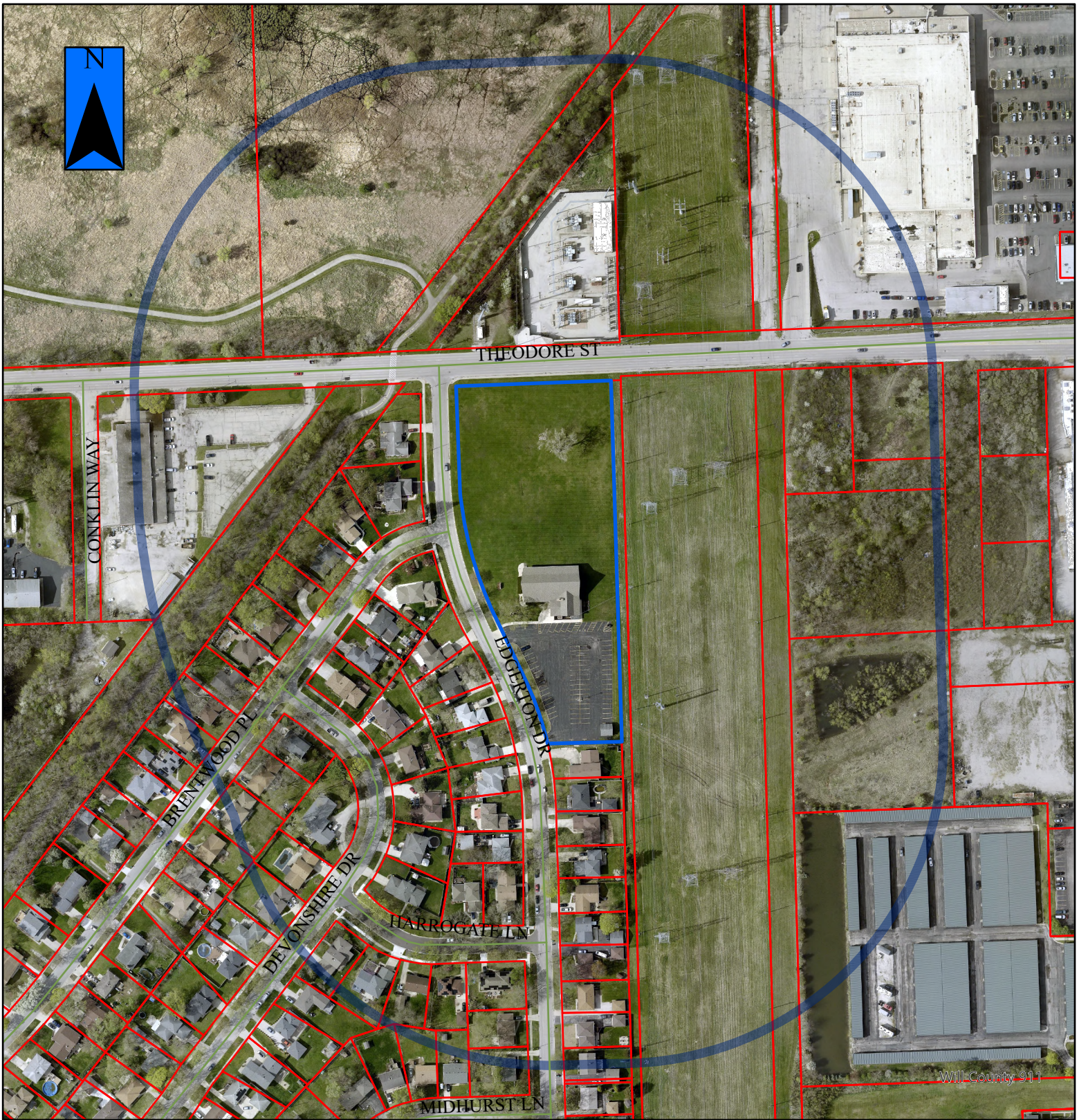
Staff finds that the Variation request meets the criteria sign variations: enforcement of the ordinance would cause hardship due to unique attributes of the property; the proposed use would not be detrimental to the use or development of other property in the area; ownership of the property has been demonstrated; and approval of the variation would not be contrary to the objective of improving the overall appearance of the City.

The Zoning Ordinance limits the square footage of a sign for non-residential uses in a residential zoning district to 12 square feet and a maximum height of 11 feet. The proposed dimensions for the sign are 60.63 square feet in area and appropriate for a property of this size. The property in question is roughly 3.80 acres and is much larger than a standard residential lot and the placement of the proposed sign will be along the Theodore Street frontage. The proposed sign will not face the residences that are to the west of the property and will not be illuminated. The sign will also be located well outside of the required visibility triangle and will not be a concern for drivers traveling along Theodore Street or Edgerton Drive. The larger sign will allow the property owners to better promote the church and any future functions as well as providing wayfinding for attendees.

Conditions



If the Zoning Board desires to approve this Variation request to allow a ground sign with a 60.63 square foot area, staff recommends the following conditions should be included:

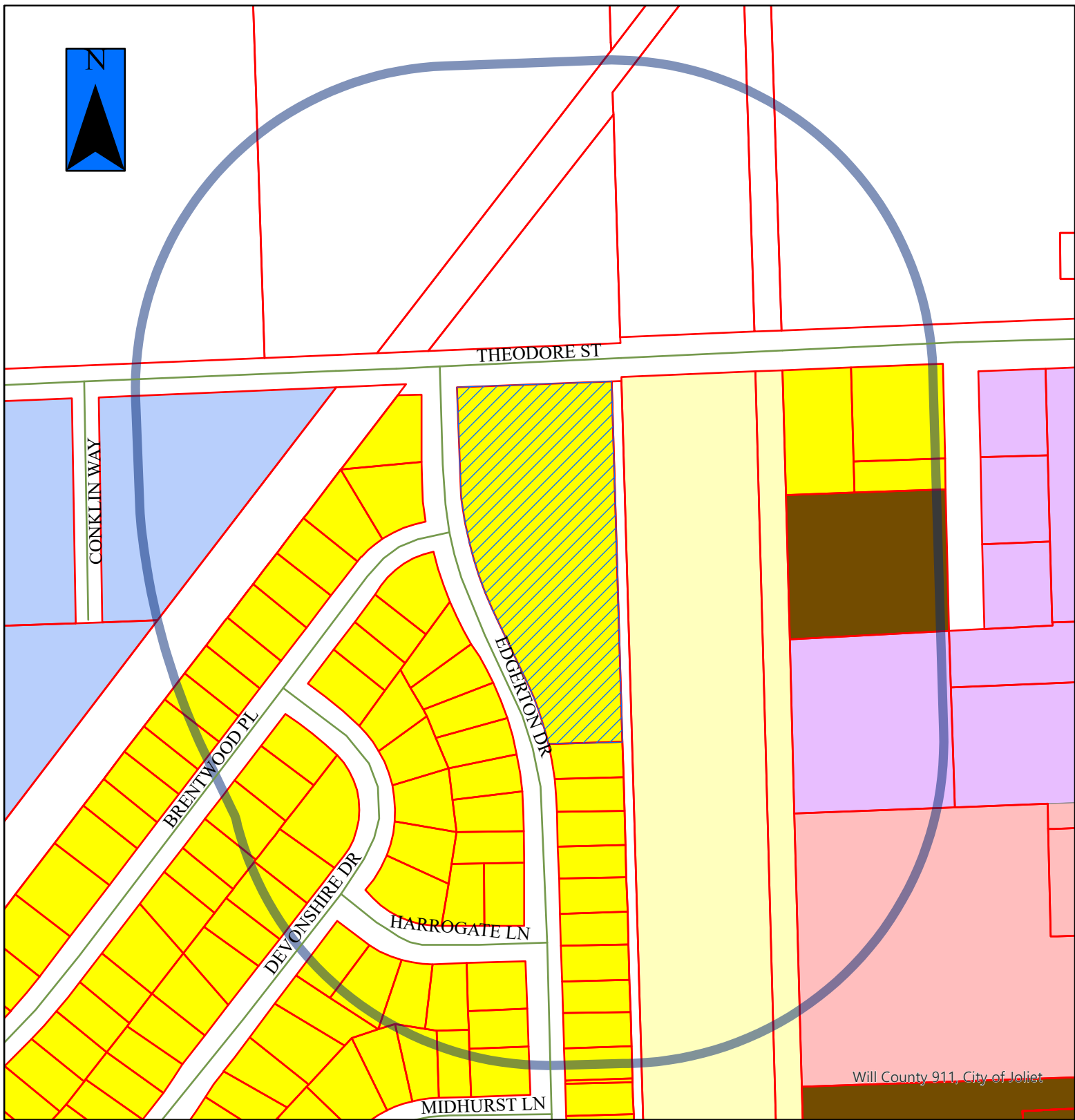
1. That the sign shall be maintained and shall not show visible signs of wear or tear.
2. That a building permit shall be obtained prior to construction.



2026-12a





-  = Property in Question / Propiedad en cuestión
-  = 600' Public Notification Boundary / Límite de notificación pública de 600 ft (180 m)





Will County 911, City of Joliet

2026-12



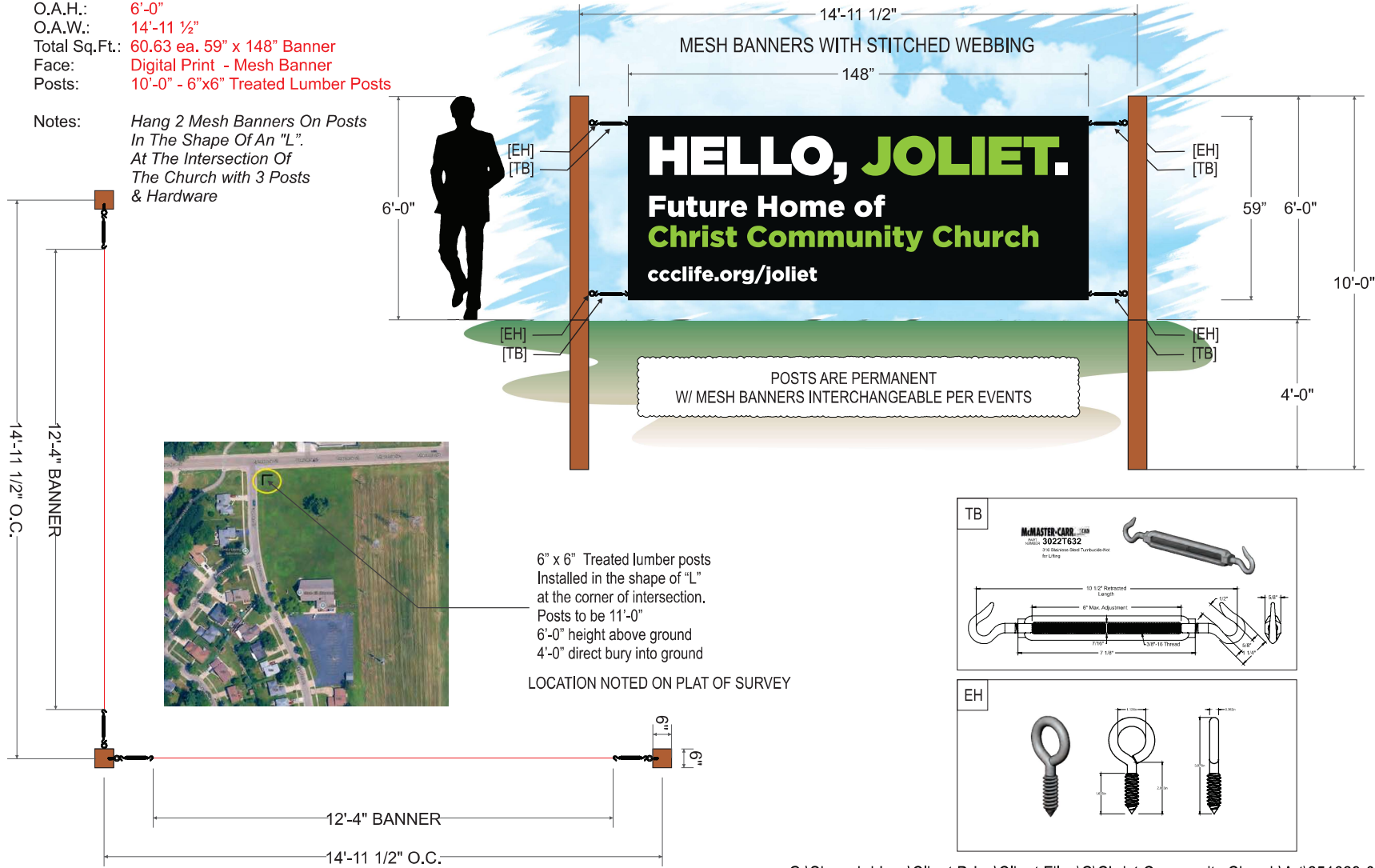
 = Property in Question
 = 600' Public Notification Boundary

Legend			
	B-1		R-2
	B-2		I-TA
	B-3		R-2A
	I-1		I-TC
	I-2		R-1
	I-T		R-1A
			R-1B
			R-4
			R-5
			R-B
			R-3

A VINYL BANNERS MOUNTED TO 6" x 6" POSTS - TO FORM "L" SHAPE

Quantity: **ONE CORNER INSTALLATION**
 O.A.H.: **6'-0"**
 O.A.W.: **14'-11 1/2"**
 Total Sq.Ft.: **60.63 ea. 59" x 148" Banner**
 Face: **Digital Print - Mesh Banner**
 Posts: **10'-0" - 6"x6" Treated Lumber Posts**

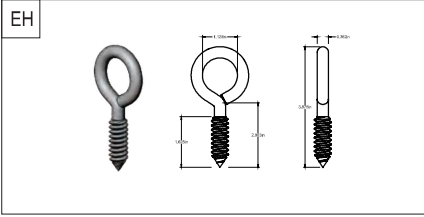
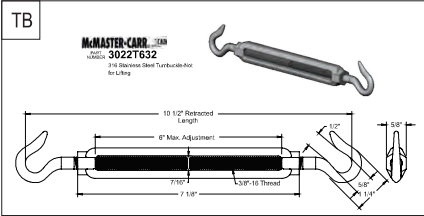
Notes: *Hang 2 Mesh Banners On Posts In The Shape Of An "L". At The Intersection Of The Church with 3 Posts & Hardware*



POSTS ARE PERMANENT
 W/ MESH BANNERS INTERCHANGEABLE PER EVENTS



6" x 6" Treated lumber posts
 Installed in the shape of "L"
 at the corner of intersection.
 Posts to be 11'-0"
 6'-0" height above ground
 4'-0" direct bury into ground
 LOCATION NOTED ON PLAT OF SURVEY



OMEGA
 Sign & Lighting Inc.
630.237.4397
 OMEGASIGNCHICAGO.COM

Christ Community Church
 1516 Edgerton Dr.
 Joliet, IL 60435

Date	12-19-2025
Acct. Executive	Fernando Duran
Sheet #	001
△ Revision Number	Date
△ 1	1-19-2026
△ 2	A. Stanfa - 1-27-2026
△ 3	
△ 4	
△ 5	
△ 6	

Drawn By **D. Townson**

****For Production****
SQC # 251629-03

PERMIT INFO

Sign Sq. Ft.	
No. of Lamps/LEDs	
Total Wattage	
No. of Power Supplies	
Total Amperage	
Ext. 20 Amp Toggle Switch w/Rubber Boot	

Signature	initials
Cust. Approval	Date
Signature	initials
Landlord Approval	Date

G:\Shared drives\Client Drive\Client Files\C\Christ Community Church\Art\251629-03

This Document, and the information contained, is the property of Omega Sign & Lighting Inc. (the Company). By receipt of this Document, the holder agrees not to distribute to any other entities, nor reproduce this Document and the information contained, without the prior written approval by the Company. The Customer agrees that Omega Sign & Lighting Inc. will fabricate signs as per the above rendering(s) and Customer agrees to all charges to fabricate sign(s) including permit & procurement fees & storage fees. The colors depicted in the rendering(s) are not an exact color match that will appear in the sign(s) construction, and exact color swatches can be provided only at the Customer's request.

630.237.4397
OMEGASIGNCHICAGO.COM



ELECTRICAL NOTES
 Sign company DOES NOT provide Primary Electrical to Sign. Power to the Sign must be done by a licensed electrical contractor or licensed electrician.

- Each Sign Must Have:**
1. A minimum of One(1) dedicated 120V 20A circuit.
 2. Junction box installed within Six(6) feet of Sign.
 3. Three Wire: Line, Ground, and Neutral.

FOR OFFICE USE ONLY

***Verified by Planner (please initial): _____ ***

Payment received from: _____

Petition #: _____

Common Address: _____

Date filed: _____

Meeting date assigned: _____

**ZONING BOARD OF APPEALS
JOLIET, ILLINOIS**

PETITION FOR VARIATION/APPEAL

City of Joliet Planning Division, 150 W. Jefferson St., Joliet, IL 60432
Ph (815)724-4050 Fax (815)724-4056

ADDRESS FOR WHICH VARIATION IS REQUESTED: 1516 EDGERTON DR. JOLIET IL 60435

PETITIONER'S NAME: OMEGA SIGN & LIGHTING INC

HOME ADDRESS: _____ ZIP CODE: _____

BUSINESS ADDRESS: 1401 W JEFFREY DR. ADDISON IL ZIP CODE: 60101

PHONE: (Primary) [REDACTED] (Secondary) _____

EMAIL ADDRESS: [REDACTED] FAX: _____

PROPERTY INTEREST OF PETITIONER: SIGN MANUFACTURER & INSTALLER

OWNER OF PROPERTY: STONE HILL BIBLE CHURCH

HOME ADDRESS: _____ ZIP CODE: _____

BUSINESS ADDRESS: 1516 EDGERTON DR. JOLIET IL ZIP CODE: 60435

EMAIL ADDRESS: _____ FAX: _____

Any use requiring a business license shall concurrently apply for a business license and submit a copy with this petition. Additionally, if this request is for operation of a business, please provide the following information:

BUSINESS REFERENCES (*name, address, phone or email*):

N/A

OTHER PROJECTS AND/OR DEVELOPMENTS:

N/A

PERMANENT INDEX NUMBER (TAX NO. OR P. I. N.): 30-07-06-100-013-0000 ; _____ ; _____ ; _____ .

****Property Index Number/P.I.N. can be found on tax bill or Will County Supervisor of Assessments website****

LEGAL DESCRIPTION OF PROPERTY (an attached copy preferred):

Please see attached for legal description

LOT SIZE: WIDTH: 223YD DEPTH: 95YD AREA: 17419 YD

PRESENT USE(S) OF PROPERTY: Institutional

PRESENT ZONING OF PROPERTY: R-2 Single Family Residential district

VARIATION/APEAL REQUESTED: Pursuant to the Joliet sign ordinance, permanent ground signs within the R-2 zoning district are restricted to a maximum sign area of 12 square feet. We respectfully request an allowance for increased square footage, specifically seeking approval for a sign area of 60.63 square feet per face of the proposed L-shaped sign.

RESPONSE TO VARIATION CRITERIA

The Zoning Board of Appeals is authorized to grant or recommend relief only when it has received adequate evidence to establish a practical difficulty or hardship. The evidence must support each of the following three conditions:

- (a) The property in question cannot yield a reasonable return by use permitted and subject to the conditions allowed by the regulations in the particular district or zone.
- (b) The plight of the owner is due to unique circumstances.
- (c) The variation, if granted, will not alter the essential character of the locality.

Please describe how this request meets the criteria by responding to the following questions in your own words.

1. How do the applicable zoning regulations prevent the property in question from yielding a reasonable return?

SEE ATTACHED RESPONSES

2. What unique circumstances exist which mandate a variance?

3. What impact would the granting of this variance have upon the essential character of the general area? Please include both positive and negative impacts.

REQUIRED SUPPORTING ATTACHMENTS

- Site plan / concept plan / floor plan / building elevation plan
- Joliet Ownership Disclosure form
- Business license application (if applicable)

NOTARIZATION OF PETITION

STATE OF ILLINOIS) ss
COUNTY OF WILL)

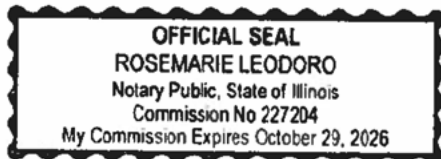
I, [redacted] depose and say that the above statements are true and correct to the best of my knowledge and belief. I depose to the present in person or by representation when this petition is heard before the Zoning Board of Appeals.

[redacted]
Petitioner's Signature

[redacted]
(If other than petitioner)

Subscribed and sworn to before me
this 19th day of February, 2026

[redacted]



CITY OF JOLIET OWNERSHIP DISCLOSURE FORM

The City of Joliet requires that applicants for zoning relief, subdivision approval, building permits and business licenses disclose the identity of all persons having an ownership interest in the business and the real property associated with the application. A copy of this form must be completed and submitted with other application materials. Failure to properly complete and submit this form may result in the denial of the application.

I. INFORMATION ABOUT THE APPLICATION

This form is submitted as part of an application for the following (check all that apply):

- Rezoning, Special Use Permit, Variation, or Other Zoning Relief (Complete Sections II and III)
- Preliminary Plat, Final Plat, or Record Plat of Subdivision (Complete Sections II and III)
- Building Permit (Complete Sections II and III)
- Business License (Complete All Sections)

II. INFORMATION ABOUT THE PROPERTY

The address and PIN(s) of the real property associated with this application are:

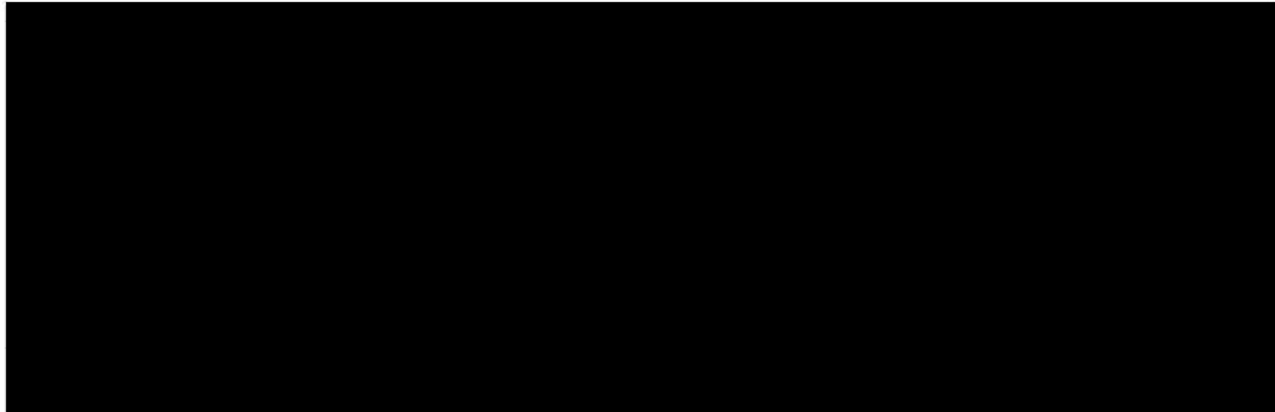
1516 Edgerton Dr. Joliet Il 60435

PIN(s): 30-07-06-100-013

III. PROPERTY OWNERSHIP

Select the type of owner of the real property associated with this application and fill in the appropriate contact information below:

- Individual:** State the names, addresses, and phone #'s of the individual owner(s)
- Corporation:** State the names, addresses, and phone #'s of all persons holding 3% or more of the stock of the corporation and the percentage of shares held by such stockholders
- Limited Liability Company:** State the names, addresses, and phone #'s of all members of the company along with the percentage of ownership held by each member
- Land Trust:** State the names, addresses, and phone #'s of the trustee(s) and all beneficiaries
- Partnership:** State the names, addresses, and phone #'s of all partners
- Other type of organization:** State the names, addresses, and phone #'s of all persons having a legal or equitable ownership interest in the organization or the right to direct the affairs of the organization



IV. BUSINESS OWNERSHIP

If the owner of the business is different than the owner of the real property associated with the application, then the following information must be provided:

Select the type of business owner associated with this application and fill in the contact information below:

- Individual:** State the names, addresses, and phone #'s of the individual owner(s)
- Corporation:** State the names, addresses, and phone #'s of all persons holding 3% or more of the stock of the corporation and the percentage of shares held by such stockholders
- Limited Liability Company:** State the names, addresses, and phone #'s of all members of the company along with the percentage of ownership held by each member
- Partnership:** State the names, addresses, and phone #'s of all partners
- Other type of organization:** State the names, addresses, and phone #'s of all persons having a legal or equitable ownership interest in the organization

E-MAIL: _____ **FAX:** _____

NOTE:
If a stockholder, member, beneficiary or partner disclosed in Section III or Section IV is not an individual, then the individuals holding the legal or equitable title to the real property or business associated with the application must also be disclosed. For example, if the real property associated with an application is owned by a land trust, and the beneficiary of the land trust is a limited liability company, then the members of the limited liability company must be disclosed. If one of the members of the limited liability company is a partnership, then the identity of the partners must be disclosed. If one of the partners is a corporation, then all persons owning 3% or more of the issued stock must be disclosed.

SIGNED: _____

DATE: February 10, 2026

Name, Title, and Telephone Numbers of Person Completing and Submitting This Form:

PRINT

February 25th, 2026

Planning Division
Zoning board of Appeals
City of Joliet
150 W Jefferson St.
Joliet, IL 60432

Re: Responses to Variation Criteria

1. How do the applicable zoning regulations prevent the property in question from yielding a reasonable return?

The current zoning regulations do not prohibit the property from achieving a reasonable return; this return is measured not in financial terms but in the form of attendees.

The existing zoning ordinance restricts Christ Community Church's ability to effectively inform the community about upcoming events. Specifically, the sign ordinance limits permanent ground signage to 12 square feet, which significantly impairs visibility for both passersby and attendees. Authorizing an increase in signage would enhance visibility and legibility, thereby reducing potential confusion for drivers viewing the sign from the adjacent road.

2. What unique circumstances exist which mandate a current variance?

The distinctive geography of the church property presents a singular situation that necessitates the approval of a current variance for the proposed signage. Given that the church building itself is situated on a prominent hill rising above Theodore Street, and considering the overall dimensions and layout of the property, the standard regulations do not adequately address the unique needs of the site.

Its strategic location at the intersection of Theodore Street and Edgerton Drive is critical to its use. By facing both of these streets, the sign is positioned to maximize visibility and serve two essential functions:

- **Informational Use for Attendees:** For regular and new church attendees, the sign will provide clear and necessary information, such as service times, event announcements, and general church identity, assisting them in easily locating and entering the property.
- **Directional Use for the Community:** Crucially, the sign will act as a vital directional guide for the broader community, particularly for individuals who may have never visited the church before but wish to attend an upcoming event or service. Its visible corner placement is essential for navigating visitors who might otherwise miss the entrance due to the church's elevated and set-back position from the main road. The intent is to make the church easily identifiable and accessible, supporting community engagement and traffic safety as cars locate and are directed to the church.

The request for a variance is therefore grounded in the practical need to overcome the site's challenging topography and layout, enabling the church to communicate effectively with both its congregation and the wider public through a well-placed, non-obtrusive, and essential piece of informational and directional signage.

3. What impact would the granting of this variance have upon the essential character of the general area? Include both positive and negative impacts.

Granting this requested sign variance is expected to yield overwhelmingly positive and substantial impacts on the overall character of the Joliet area, while introducing only minimal, manageable negative consequences. The proposed design features a non-illuminated sign, a deliberate and responsible choice made to ensure seamless aesthetic harmony with the surrounding neighborhood's established residential character. This non-illumination commitment actively prevents light pollution, and positively preserves the night sky for nearby residents.

The sign's proposed location, at the critical intersection of Theodore Street and Edgerton Drive, is not arbitrary but is, in fact, absolutely essential for its intended function. This placement maximizes visibility for both vehicular and pedestrian traffic. Furthermore, the sign is designed to serve as a tangible and permanent source of community spirit, offering a clear identifier for the area without introducing safety hazards. Crucially, its dimensions and positioning have been designed to ensure it will not obstruct the view lines of drivers or pedestrians, nor will it serve as a distracting element from the roads.

Additionally, this new signage is fundamentally necessary due to a significant, positive institutional change. Stone Hill Bible Church, the original and long-standing fixture in the community, was formally adopted by Christ Community Church, resulting in the establishment of a new campus in 2026. This substantive organizational and identity change warrants clear, public, and permanent notification.

While a transition of this nature—moving from an established local church to a new, larger campus identity—might initially create a degree of confusion or uncertainty for both long-time attendees and new members of the public, the sign will serve as an effective, welcoming, and immediate directional and informational tool. The sign plays an active role in maintaining community inclusion and awareness. By clearly communicating the new identity and location, it ensures that everyone in the area remains informed and connected with city of Joliet as it evolves.

Omega Sign & Lighting Inc, welcomes the opportunity to discuss this request further and provide any additional information that may be required.

Sincerely,

Leslie McCracken
Permit Specialist
Permits@omegasignchicago.com
630-237-4397

Legal Description- Christ Community Church

1516 Edgerton Dr. Joliet 60435

PROPERTY DESCRIPTION: THAT PART OF THE NORTHWEST QUARTER OF SECTION 6, TOWNSHIP 35 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: BEGINNING AT A POINT ON THE NORTH LINE OF THE SAID NORTHWEST QUARTER THAT IS 16.50 FEET WEST OF THE NORTHEAST CORNER THEREOF; THENCE SOUTH 89 DEGREES 16 MINUTES WEST ALONG THE SAID NORTH LINE OF THE NORTHWEST QUARTER, 290.00 FEET; THENCE SOUTH ALONG A LINE PARALLEL WITH THE EAST LINE OF THE SAID NORTHWEST QUARTER, 200.00 FEET TO A POINT OF CURVE; THENCE SOUTHEASTERLY ALONG A CURVE TO THE LEFT, HAVING A RADIUS OF 666.96 FEET, A CHORD BEARING AND DISTANCE OF SOUTH 12 DEGREES 40 MINUTES 30 SECONDS EAST, 292.69 FEET TO A POINT OF TANGENT; THENCE SOUTH 25 DEGREES 21 MINUTES EAST, 85.35 FEET TO A POINT OF CURVE; THENCE SOUTHEASTERLY ALONG A CURVE TO THE RIGHT, HAVING A RADIUS OF 666.96 FEET, A CHORD BEARING AND DISTANCE OF SOUTH 18 DEGREES 17 MINUTES 40 SECONDS EAST, 163.84 FEET; THENCE EAST 137.79 FEET TO A POINT THAT IS 16.50 FEET WEST OF THE SAID EAST LINE OF THE NORTHWEST QUARTER; THENCE NORTH ALONG A LINE 16.50 FEET WEST OF AND PARALLEL WITH THE SAID EAST LINE OF THE NORTHWEST QUARTER, 721.95 FEET TO THE POINT OF BEGINNING, IN WILL COUNTY, ILLINOIS.

30-07-06-100-013

ZONING BOARD OF APPEALS
CRITERIA FOR VARIATIONS

Section 47-19.8 of the Zoning Ordinance states:

A variation shall not be granted in any case unless the Board shall find and clearly state in its record of the case that:

	Does the evidence presented sustain this criteria?	Comments
<p>(1) Reasons sustaining the contention that strict enforcement of the Ordinance would involve practical difficulties or impose exceptional hardship were found as follows:</p> <p>(a) _____</p> <p>(b) _____</p> <p>(c) _____</p> <p>(list of reasons)</p>		
<p>(2) Adequate evidence was submitted to establish practical difficulties or particular hardship so that, in the judgment of the Board, a variation is permitted because the evidence sustained the existence of each of the three following conditions:</p> <p>(a) The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in the particular district or zone.</p> <p>(b) The plight of the owner is due to unique circumstances.</p> <p>(c) The variation, if granted, will not alter the essential character of the locality.</p>		
<p>(3) A public hearing was held on such variation of which at least 15 days and not more than 30 days notice was published in the _____ (name of newspaper) on _____ (date).</p>		



City of Joliet

150 West Jefferson Street
Joliet, IL 60432

Memo

File #: TMP-9646

Agenda Date:4/16/2026

STAFF REPORT

DATE: March 19, 2026
TO: Zoning Board of Appeals
FROM: Francisco Jimenez, Planner
RE: Petition Number: 2026-13, 2026-14, and 2026-15
Applicant: Joseph Spillie
Property Owner: Tyler & Gary Schumal
Location: 81 N. Chicago Street
Request: A Variation of Use to allow a B-3 (general business) zoning district use in a B-2 (central business) zoning district, Special Use Permit to allow a tattoo studio, and a Variation to allow a tattoo studio within 1,000 feet of a library

Purpose

The applicant is requesting a Special Use Permit, a Variation of Use, and a Variation to open and operate a tattoo studio at 81 N. Chicago Street. Requested actions from the Zoning Board of Appeals include:

- A Variation of Use to allow a B-3 (general business) zoning district use in a B-2 (central business) zoning district.
- A Variation to allow a tattoo studio within 1,000 feet of a library.
- A Special Use Permit to allow a tattoo studio.

Site Specific Information

The subject property, 81 N. Chicago Street, is a four-story multi-tenant building in downtown Joliet. The tenant space subject to these requests is located on the 3rd floor of this building and is approximately 870 square feet. The proposed studio will consist of a waiting area, a utility and janitorial room, and a private tattoo station. Restrooms are shared with other commercial tenants within the building.

Surrounding Zoning, Land Use and Character

Properties in this vicinity are all zoned and located within the B-2 Central Business District.

Applicable Regulations

- Section 47-12.9 B-2 (Central Business) Zoning District - Prohibited Uses
- Section 47-13.2A B-3 (General Business) Zoning District - Special Uses
- Section 47-17.28 Variation of Use

- Section 47-5.2 (C) Criteria for issuance of a Special Use Permit
(refer to attachment)
- Section 47-19.8 Findings of Facts Supporting a Variation
(refer to attachment)

Section 47-17.28: Variation of Use: *A "variation of use" shall be defined to mean relief from strict compliance with the use limitations of this Ordinance regarding the classification, regulation, and restriction of the location where trades, industries, businesses, and residences may exist.*

Discussion

The applicant seeks to establish a tattoo studio at 81 N. Chicago Street. The proposed studio would operate by appointment only and would not be a walk-in studio. The applicant states that the appointment only model would allow them to control the volume of people, maintain the privacy of clients, and would minimally impact the surrounding area. The Zoning Ordinance specifies that tattoo shops must be a minimum of 1,000 feet from any school, church, day care, park or playground, library, and other tattoo businesses. The proposed studio would be within 1,000 feet of the Ottawa Street branch of the Joliet Public Library; and, therefore, the applicant is also requesting a variation from this spacing requirement. The applicant will comply with all requirements set forth by the City of Joliet as well as the health requirements from Will County and the State of Illinois.

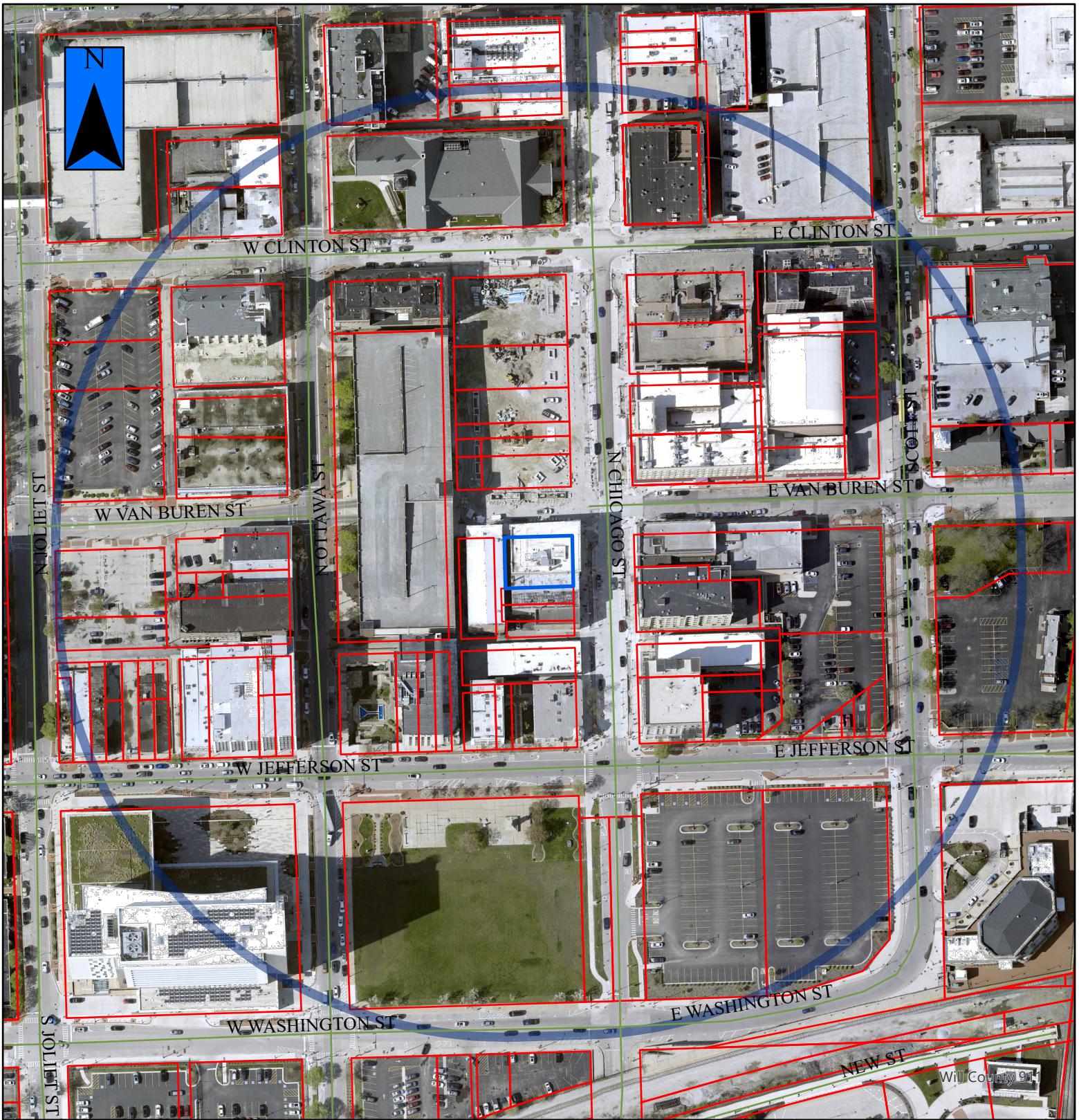
Requested Action

Staff does not find that the Variation of Use and Variation requests meet the criteria for hardship or practical difficulties. Tattoo studios are allowed in the B-3 (General Business) and Industrial zoning districts by Special Use Permit approval. However, staff does find that the proposed tattoo studio would not alter the essential character of the area. The proposed studio will be located on the 3rd floor of the building and will serve clients by-appointment only. The proposed studio is also small in size. Additionally, staff finds that the proposal meets the criteria for a Special Use Permit. The establishment of the studio would not be detrimental to the health or general welfare of the public. Additionally, the proposed use will not impede the use and enjoyment of tenant spaces in the building and surrounding property due to studio size and limited volume of clients. The applicant will also apply for all necessary licensing from the City of Joliet and Will County.

Conditions

If the Zoning Board desires to approve the Variation requests and Special Use permit to allow a tattoo studio, the following conditions should be included:

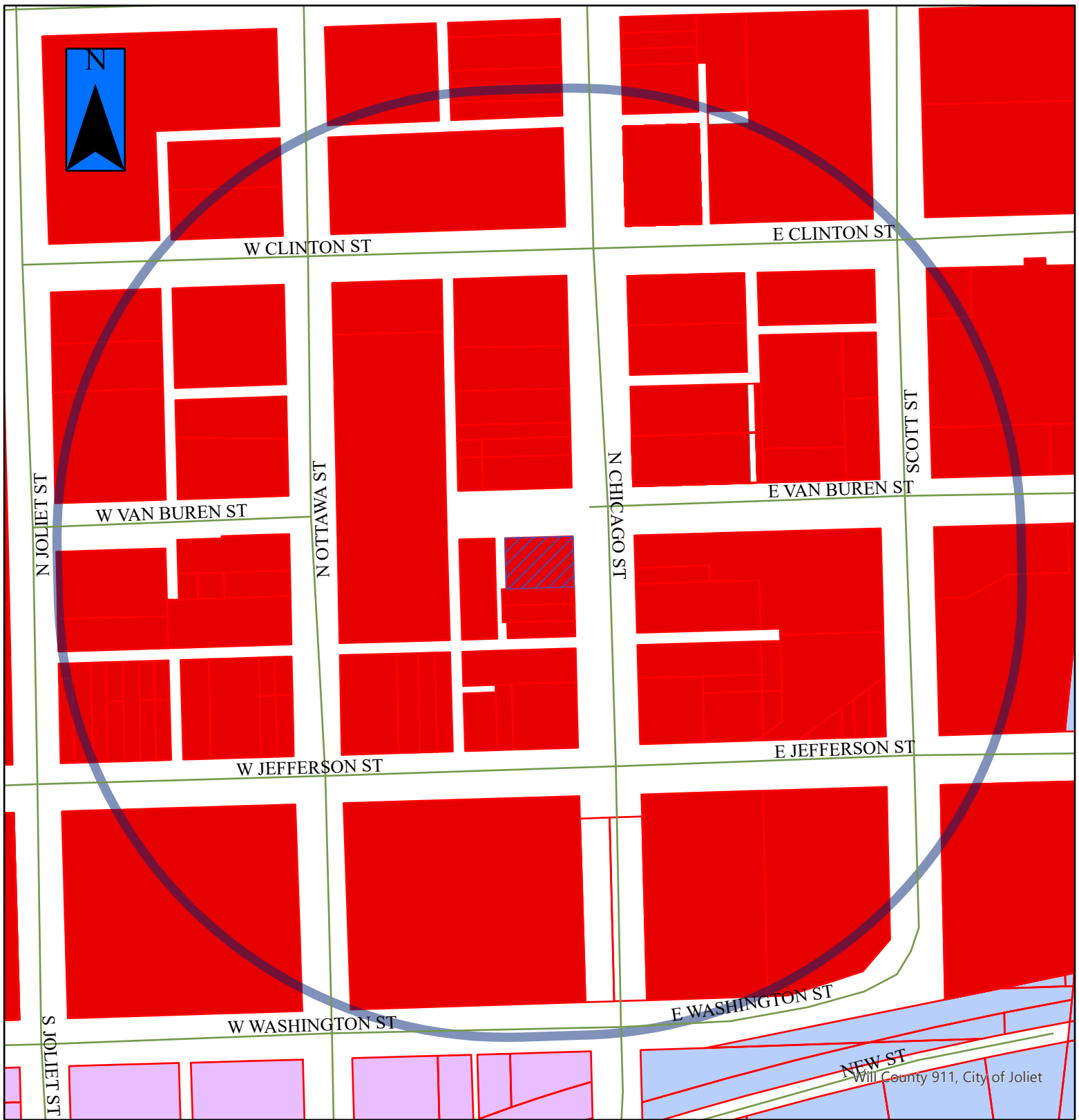
1. That a business license shall be obtained prior to the use commencing.
2. Should the tattoo studio use be declared a public nuisance, it may be subject to a rehearing and a possible revocation of the Special Use Permit and Variation of Use.



2026-13a, 2026-14a, 2026-15a





- = Property in Question / Propiedad en cuestión
- = 600' Public Notification Boundary /
Límite de notificación pública de 600 ft (180 m)



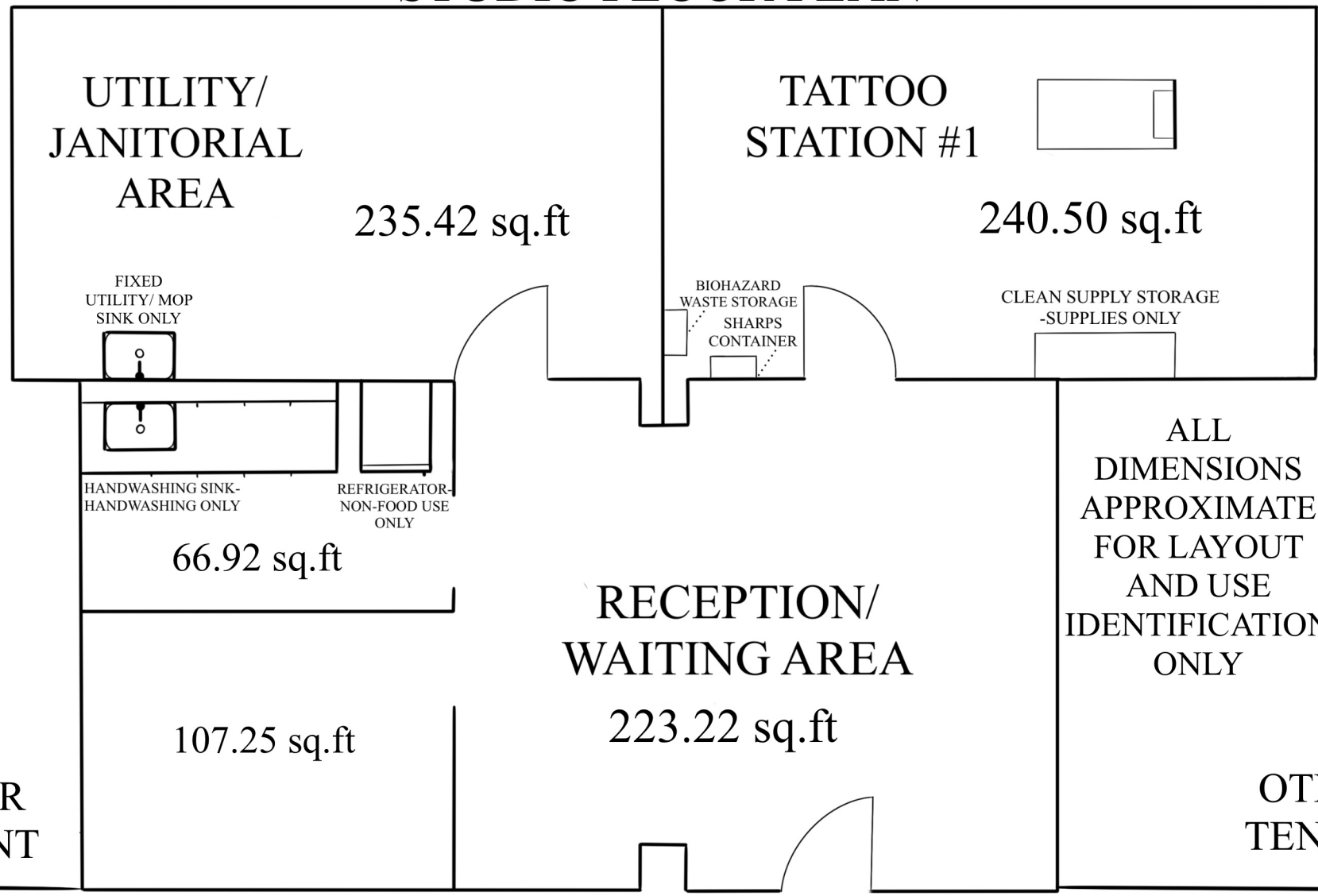
2026-13, 2026-14, 2026-15



 = Property in Question
 = 600' Public Notification Boundary

Legend			
	B-1		R-2
	B-2		I-TA
	B-3		R-2A
	I-1		I-TC
	I-2		R-3
	I-T		R-1
			R-1A
			R-1B
			R-4
			R-5
			R-B

81 N. CHICAGO STREET INKEVERYTHING TATTOO STUDIO FLOOR PLAN



ALL DIMENSIONS APPROXIMATE FOR LAYOUT AND USE IDENTIFICATION ONLY

OTHER TENANT

OTHER TENANT

PUBLIC RESTROOMS

COMMON HALLWAY

EXIT TO COMMON HALLWAY

STAIRWELL

ELEVATOR

To the City of Joliet,

My name is Joseph Spillie, and I am a professional tattoo artist proposing the opening of Ink Everything Tattoo Studio, a private, appointment-only tattoo studio located at 81 North Chicago Street in Joliet, Illinois. This studio is being created with a very intentional approach that is unlike any other tattoo studio currently in existence.

I was born and raised in Joliet so opening this studio here is deeply personal to me. Ink Everything Tattoo Studio is not a traditional tattoo shop and is not designed to operate as a walk-in or high-volume business. If allowed, it will serve as a quiet, professional art studio focused on quality, safety, privacy, and respect for my clients and the surrounding community.

The studio will operate by appointment only, with one appointment per day, scheduled in the early morning hours. An appointment that clients are booked months in advance for. There will be no additional artists, or dual services. There will be no walk-in traffic, no overlapping clients, and no group activity. This model allows me to focus on the client and maintain a calm, controlled

environment with minimal impact on the neighboring community.

All studio operations will fully comply with and exceed all City of Joliet, Will County Health Department, and State of Illinois regulations. Cleanliness, sanitation, and safety are essential to how I work, and the limited schedule of clients per day allows for careful sterilization, proper procedures, and regulatory compliances already passed by the Health department.

This is especially important to Joliet, as the city currently does not have other locally rooted private tattoos studios operating in this way. It will not only allow the ability for locals to gain permanent artwork in a private, clean environment, but will also allow people from outside the city to experience the surrounding businesses during their visit as well.

Beyond the studio itself, I am committed to giving back to the community that raised me. I plan to support the businesses around me and invest in the community specifically with the idea to establish a small scholarship program at Joliet Central, the school where I started art, to support students interested in art and creative trades.

Ink Everything Tattoo Studio represents a low-impact, responsibly operated, community-focused business. One that will hopefully inspire others in Joliet to pursue art in a positive way. My goal is to build something meaningful in the city and present an incredibly unique tattoo experience for clients that reflects positively on Joliet. I am committed to complying with all the cities regulations while maintaining a peaceful presence that's active in the community. I appreciate your time and consideration and look forward to working with the city of Joliet to bring this studio to life.



Zoning Board of Appeals Application Packet

Special Use Permit

This packet should contain all of the following documents:

- Application;
- Ownership disclosure form;
- Public notice sign posting requirements and sign template

If you have any questions please contact the Planning Division staff.

Joliet Planning Division - 150 West Jefferson Street,
First Floor-South Wing, Joliet, Illinois 60432

Phone Number: (815) 724-4050

Email Address: zoning@joliet.gov

FOR OFFICE USE ONLY

Verified by Planner (please initial): _____

Payment received from:

Petition #: _____

Common Address: _____

Date filed: _____

Meeting date requested: _____

ZONING BOARD OF APPEALS
JOLIET, ILLINOIS

PETITION FOR SPECIAL USE PERMIT

City of Joliet Planning Division, 150 W. Jefferson St., First Floor, South Wing, Joliet, IL 60432
Phone (815)724-4050 Fax (815)724-4056

ADDRESS FOR WHICH SPECIAL USE IS REQUESTED: 81 north Chicago street

PETITIONER'S NAME: Joseph spillie

HOME ADDRESS: [REDACTED] ZIP CODE: 60450

BUSINESS ADDRESS: 81 North Chicago street ZIP CODE: 60450

PHONE: (Primary) [REDACTED] (Secondary) _____

EMAIL ADDRESS: [REDACTED] FAX: N/a

PROPERTY INTEREST OF PETITIONER: Tenant

OWNER OF PROPERTY: [REDACTED]

HOME ADDRESS: N/a ZIP CODE: _____

BUSINESS ADDRESS: 81 North chicago street ZIP CODE: 60432

EMAIL ADDRESS: [REDACTED] FAX: [REDACTED]

Any use requiring a business license shall concurrently apply for a business license and submit a copy with this petition. Additionally, if this request is for operation of a business, please provide the following information:

BUSINESS REFERENCES (name, address, phone):

[REDACTED] _____
[REDACTED] _____
[REDACTED] _____

OTHER PROJECTS AND/OR DEVELOPMENTS:

No current developments

PERMANENT INDEX NUMBER (TAX NO. OR P. I. N.): 30-07-09-443-010 ;
_____ ; _____ ; _____ .

Property Index Number/P.I.N. can be found on tax bill or Will County Supervisor of Assessments website

LEGAL DESCRIPTION OF PROPERTY (attached copy preferred):
LOT 4, 5 6 BLOCK 21 IN JOEL S MATHEWSONS SUB OF LOTS 7 8, IN THE OLD TOWN OF
JOLIET, SD SUB BEING PRT OF THE E1/2 OF THE SE

LOT SIZE: WIDTH: N/a DEPTH: N/a AREA : .09 ac

PRESENT USE(S) OF PROPERTY: No current use

PRESENT ZONING OF PROPERTY: B2 district

SPECIAL USE REQUESTED: to allow a private, appointment-only tattoo studio

The Zoning Board of Appeals is authorized to grant a special use permit provided the applicant establishes by clear and convincing evidence:

- (1) That the establishment, maintenance, or operation of the special use will not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare; and
- (2) That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood; and
- (3) That the establishment of the special use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district; and
- (4) That adequate utilities, access roads, drainage, and/or other necessary facilities have been or will be provided; and
- (5) That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets; and
- (6) That the special use shall in all other respects conform to the applicable land use regulations of the district in which it is located and shall not be in violation of any other applicable law, ordinance or regulation; and
- (7) At least one (1) year has elapsed since any denial of any prior application for a special use permit that would have authorized substantially the same as all or part of the sites, unless conditions in the area have substantially changed.

Please describe how this request meets the criteria by responding to the following questions in your own words.

1. How will the establishment, maintenance, or operation of the special use affect the public health, safety, morals, comfort, or general welfare?

The presented establishment will only improve the general welfare of the surrounding area. The establishment will be private, and generate low traffic while encouraging a safe practice that encourages a safe, comforting community.

2. How will the special use impact properties in the immediate area? The surrounding business will gain customers/ clientele and the immediate area will be positively affected from proposed events and community based support that is being planned by the business. It also will allow a unique business that will finally be obtainable to those living in the community.

3. Will the use impede the normal/orderly development/improvement of surrounding property?

The use of the proposed establishment will not impede and will go almost unnoticeable from a visual or dynamic standpoint and will only be noticed through community collaborative effort to better the city.

4. Are adequate utilities, access roads, drainage, and/or other necessary facilities provided?

Yes, all of the appropriate state and city regulations along with health department regulations are being followed along with adequate roads for parking.

5. Have adequate measures been taken to provide ingress/egress design to minimize traffic congestion in public streets?

Yes, the proposed business will be appointment only and private and will only attract up to one client per day.

6. Does the use conform to the applicable land use regulations of the district in which it is located and does it violate any other applicable law, ordinance or regulation?

Yes, the only non conformity is that it is a B-3 business proposed to open in a B-2 district

7. Has at least one (1) year elapsed since any denial of any prior application for a special use permit that would have authorized substantially the same as all or part of the sites (unless conditions in the area have changed substantially)?

No prior application has been proposed for this address.

REQUIRED SUPPORTING ATTACHMENTS

- Site plan / concept plan / floor plan / building elevation plan
- Joliet Ownership Disclosure form
- Business license application (if applicable)

NOTARIZATION OF PETITION

STATE OF ILLINOIS) ss
COUNTY OF WILL)

I, [REDACTED], depose and say that the above statements are true and correct to the best of my knowledge and belief. I agree to be present in person or by representation when this petition is heard before the Zoning Board of Appeals.

[REDACTED]
(if other than petitioner)

Subscribed and sworn to before me
this 23rd day of February, 2026

[REDACTED]



CITY OF JOLIET OWNERSHIP DISCLOSURE FORM

The City of Joliet requires that applicants for zoning relief, subdivision approval, building permits and business licenses disclose the identity of all persons having an ownership interest in the business and the real property associated with the application. A copy of this form must be completed and submitted with other application materials. Failure to properly complete and submit this form may result in the denial of the application.

I. INFORMATION ABOUT THE APPLICATION

This form is submitted as part of an application for the following (check all that apply):

- Rezoning, Special Use Permit, Variation, or Other Zoning Relief (Complete Sections II and III)
- Preliminary Plat, Final Plat, or Record Plat of Subdivision (Complete Sections II and III)
- Building Permit (Complete Sections II and III)
- Business License (Complete All Sections)

II. INFORMATION ABOUT THE PROPERTY

The address and PIN(s) of the real property associated with this application are:

81 North Chicago Street in Joliet

PIN(s): 30-07-09-443-010

III. PROPERTY OWNERSHIP

Select the type of owner of the real property associated with this application and fill in the appropriate contact information below:

- Individual:** State the names, addresses, and phone #'s of the individual owner(s)
- Corporation:** State the names, addresses, and phone #'s of all persons holding 3% or more of the stock of the corporation and the percentage of shares held by such stockholders
- Limited Liability Company:** State the names, addresses, and phone #'s of all members of the company along with the percentage of ownership held by each member
- Land Trust:** State the names, addresses, and phone #'s of the trustee(s) and all beneficiaries
- Partnership:** State the names, addresses, and phone #'s of all partners
- Other type of organization:** State the names, addresses, and phone #'s of all persons having a legal or equitable ownership interest in the organization or the right to direct the affairs of the organization

E-MAIL: [REDACTED] FAX: [REDACTED]

IV. BUSINESS OWNERSHIP

If the owner of the business is different than the owner of the real property associated with the application, then the following information must be provided:

Select the type of business owner associated with this application and fill in the contact information below:

- Individual:** State the names, addresses, and phone #'s of the individual owner(s)
- Corporation:** State the names, addresses, and phone #'s of all persons holding 3% or more of the stock of the corporation and the percentage of shares held by such stockholders
- Limited Liability Company:** State the names, addresses, and phone #'s of all members of the company along with the percentage of ownership held by each member
- Partnership:** State the names, addresses, and phone #'s of all partners
- Other type of organization:** State the names, addresses, and phone #'s of all persons having a legal or equitable ownership interest in the organization

Joseph Spillie 100% Owner

[Redacted]

E-MAIL [Redacted] FAX: N/a

NOTE:

If a stockholder, member, beneficiary or partner disclosed in Section III or Section IV is not an individual, then the individuals holding the legal or equitable title to the real property or business associated with the application must also be disclosed. For example, if the real property associated with an application is owned by a land trust, and the beneficiary of the land trust is a limited liability company, then the members of the limited liability company must be disclosed. If one of the members of the limited liability company is a partnership, then the identity of the partners must be disclosed. If one of the partners is a corporation, then all persons owning 3% or more of the issued stock must be disclosed.

SIGNED: _____

DATE: 2/1/2026 _____

Name, Title, and Telephone Numbers of Person Completing and Submitting This Form:

[Redacted]

PRINT



Zoning Board of Appeals Application Packet

Variation

This packet should contain all of the following documents:

- Application;
- Ownership disclosure form;
- Public notice sign posting requirements and sign template

If you have any questions please contact the Planning Division staff.

Joliet Planning Division - 150 West Jefferson Street,
First Floor-South Wing, Joliet, Illinois 60432

Phone Number: (815) 724-4050

Email Address: zoning@joliet.gov

FOR OFFICE USE ONLY

Verified by Planner (please initial): _____

Payment received from:

Petition #: _____

Common Address: _____

Date filed: _____

Meeting date assigned: _____

ZONING BOARD OF APPEALS

JOLIET, ILLINOIS

PETITION FOR VARIATION/APPEAL

City of Joliet Planning Division, 150 W. Jefferson St., Joliet, IL 60432

Ph (815)724-4050 Fax (815)724-4056

ADDRESS FOR WHICH VARIATION IS REQUESTED: _____

PETITIONER'S NAME: _____

HOME ADDRESS: _____ ZIP CODE: _____

BUSINESS ADDRESS: _____ ZIP CODE: _____

PHONE: (Primary) _____ (Secondary) _____

EMAIL ADDRESS: _____ FAX: _____

PROPERTY INTEREST OF PETITIONER: _____

OWNER OF PROPERTY: _____

HOME ADDRESS: _____ ZIP CODE: _____

BUSINESS ADDRESS: _____ ZIP CODE: _____

EMAIL ADDRESS: _____ FAX: _____

Any use requiring a business license shall concurrently apply for a business license and submit a copy with this petition. Additionally, if this request is for operation of a business, please provide the following information:

BUSINESS REFERENCES (name, address, phone or email):

OTHER PROJECTS AND/OR DEVELOPMENTS:

PERMANENT INDEX NUMBER (TAX NO. OR P. I. N.): _____;
_____; _____;

Property Index Number/P.I.N. can be found on tax bill or Will County Supervisor of Assessments website

LEGAL DESCRIPTION OF PROPERTY (an attached copy preferred):

LOT SIZE: WIDTH: _____ DEPTH: _____ AREA: _____

PRESENT USE(S) OF PROPERTY: _____

PRESENT ZONING OF PROPERTY: _____

VARIATION/APPEAL REQUESTED: _____

RESPONSE TO VARIATION CRITERIA

The Zoning Board of Appeals is authorized to grant or recommend relief only when it has received adequate evidence to establish a practical difficulty or hardship. The evidence must support each of the following three conditions:

- (a) The property in question cannot yield a reasonable return by use permitted and subject to the conditions allowed by the regulations in the particular district or zone.
- (b) The plight of the owner is due to unique circumstances.
- (c) The variation, if granted, will not alter the essential character of the locality.

Please describe how this request meets the criteria by responding to the following questions in your own words.

1. How do the applicable zoning regulations prevent the property in question from yielding a reasonable return?

2. What unique circumstances exist which mandate a variance?

3. What impact would the granting of this variance have upon the essential character of the general area? Please include both positive and negative impacts.

REQUIRED SUPPORTING ATTACHMENTS

- Site plan / concept plan / floor plan / building elevation plan
- Joliet Ownership Disclosure form
- Business license application (if applicable)

NOTARIZATION OF PETITION

STATE OF ILLINOIS) ss
COUNTY OF WILL)

I, [REDACTED], depose and say that the above statements are true and correct to the best of my knowledge and belief. I agree to be present in person or by representation when this petition is heard before the Zoning Board of Appeals.

[REDACTED]

[REDACTED]

(If other than petitioner)

Subscribed and sworn to before me
this 20th day of February, 2026

[REDACTED]



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- Building Permit (Complete Sections II and III)
- Business License (Complete All Sections)

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PIN(s): _____

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- Corporation:** State the names, addresses, and phone #'s of all persons holding 3% or more of the stock of the corporation and the percentage of shares held by such stockholders
- Limited Liability Company:** State the names, addresses, and phone #'s of all members of the company along with the percentage of ownership held by each member
- Land Trust:** State the names, addresses, and phone #'s of the trustee(s) and all beneficiaries
- Partnership:** State the names, addresses, and phone #'s of all partners
- Other type of organization:** State the names, addresses, and phone #'s of all persons having a legal or equitable ownership interest in the organization or the right to direct the affairs of the organization

E-MAIL: _____ X: _____

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- Corporation:** State the names, addresses, and phone #'s of all persons holding 3% or more of the stock of the corporation and the percentage of shares held by such stockholders
- Limited Liability Company:** State the names, addresses, and phone #'s of all members of the company along with the percentage of ownership held by each member
- Partnership:** State the names, addresses, and phone #'s of all partners
- Other type of organization:** State the names, addresses, and phone #'s of all persons having a legal or equitable ownership interest in the organization

E-MAIL: _____ **FAX:** _____

NOTE:
If a stockholder, member, beneficiary or partner disclosed in Section III or Section IV is not an individual, then the individuals holding the legal or equitable title to the real property or business associated with the application must also be disclosed. For example, if the real property associated with an application is owned by a land trust, and the beneficiary of the land trust is a limited liability company, then the members of the limited liability company must be disclosed. If one of the members of the limited liability company is a partnership, then the identity of the partners must be disclosed. If one of the partners is a corporation, then all persons owning 3% or more of the issued stock must be disclosed.

SIGNED: _____

DATE: _____

Name, Title, and Telephone Numbers of Person Completing and Submitting This Form:

PRINT



Zoning Board of Appeals Application Packet

Variation of Use

This packet should contain all of the following documents:

- Application;
- Ownership disclosure form;
- Public notice sign posting requirements and sign template

If you have any questions please contact the Planning Division staff.

Joliet Planning Division - 150 West Jefferson Street,
First Floor-South Wing, Joliet, Illinois 60432

Phone Number: (815) 724-4050

Email Address: zoning@joliet.gov

FOR OFFICE USE ONLY

***Verified by Planner (please initial): _____ ***

Payment received from:

Petition #: _____

Common Address: _____

Date filed: _____

Meeting date assigned: _____

ZONING BOARD OF APPEALS
JOLIET, ILLINOIS

PETITION FOR VARIATION OF USE

City of Joliet Planning Division, 150 W. Jefferson St., Joliet, IL 60432
Ph (815)724-4050 Fax (815)724-4056

ADDRESS FOR WHICH VARIATION IS REQUESTED: 81 North Chicago Street

PETITIONER'S NAME: _____

HOME ADDRESS: _____ ZIP CODE: 60450

BUSINESS ADDRESS: _____ ZIP CODE: 60432

PHONE: (Primary) _____ (Secondary) n/a

EMAIL ADDRESS: _____ FAX: n/a

PROPERTY INTEREST OF PETITIONER: Tenant

OWNER OF PROPERTY: _____

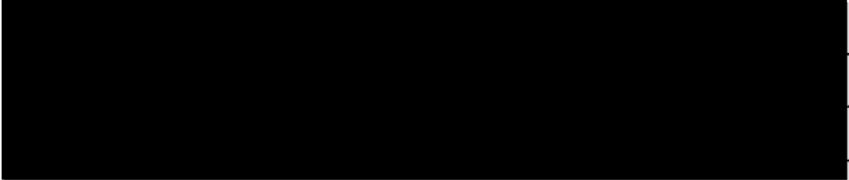
HOME ADDRESS: n/a ZIP CODE: n/a

BUSINESS ADDRESS: 81 North Chicago Street ZIP CODE: 60432

EMAIL ADDRESS: _____ FAX: _____

Any use requiring a business license shall concurrently apply for a business license and submit a copy with this petition. Additionally, if this request is for operation of a business, please provide the following information:

BUSINESS REFERENCES (name, address, phone or email):



OTHER PROJECTS AND/OR DEVELOPMENTS:

no current developments

PERMANENT INDEX NUMBER (TAX NO. OR P. I. N.): 30-07-04-443-D10-D000 ;
_____ ; _____ ; _____ .

Property Index Number/P.I.N. can be found on tax bill or Will County Supervisor of Assessments website

LEGAL DESCRIPTION OF PROPERTY (an attached copy preferred):

LOT 4, 5 6 BLOCK 21 IN JOEL S MATHEWSONS SUB OF
LOTS 7 8, IN THE OLD TOWN OF JOLIET, SD SUB BEING
PRT OF THE E 1/2 OF THE SE

LOT SIZE: WIDTH: n/a DEPTH: n/a AREA: .09 AC

PRESENT USE(S) OF PROPERTY: No current use

PRESENT ZONING OF PROPERTY: B-2 (central business)

VARIATION OF USE REQUESTED: Variation of use to allow B-3 (general
business) use in a B-2 district

RESPONSE TO VARIATION OF USE CRITERIA

The Zoning Board of Appeals is authorized to grant or recommend relief only when it has received adequate evidence to establish a practical difficulty or hardship. The evidence must support each of the following three conditions:

- (a) The property in question cannot yield a reasonable return by use permitted and subject to the conditions allowed by the regulations in the particular district or zone.
- (b) The plight of the owner is due to unique circumstances.
- (c) The variation, if granted, will not alter the essential character of the locality.

Please describe how this request meets the criteria by responding to the following questions in your own words.

1. How do the applicable zoning regulations prevent the property in question from yielding a reasonable return?

The current zoning is a B-2 district which doesn't currently
allow my proposed B-3 business.

2. What unique circumstances exist which mandate a variance?

The district is B2 zoning. The proposed private studio (B-3) is unique in the way it generates minimal traffic and is appropriate for this location.

3. What impact would the granting of this variance have upon the essential character of the general area? Please include both positive and negative impacts.

The proposed use will have no negative impact on the surrounding area. The appointment only, private studio will generate minimal traffic, noise, and activity and is consistent with surrounding commercial uses.

REQUIRED SUPPORTING ATTACHMENTS

- Site plan / concept plan / floor plan / building elevation plan
- Joliet Ownership Disclosure form
- Business license application (if applicable)

NOTARIZATION OF PETITION

STATE OF ILLINOIS) ss
COUNTY OF WILL)

I, [redacted], depose and say that the above statements are true and correct to the best of my knowledge and belief. I agree to be present in person or by representation when this petition is heard before the Zoning Board of Appeals.

[redacted]

Petitioner's Signature

[redacted]

(If other than petitioner)

Subscribed and sworn to before me
this 26th day of February, 2026

[redacted]



CITY OF JOLIET OWNERSHIP DISCLOSURE FORM

The City of Joliet requires that applicants for zoning relief, subdivision approval, building permits and business licenses disclose the identity of all persons having an ownership interest in the business and the real property associated with the application. A copy of this form must be completed and submitted with other application materials. Failure to properly complete and submit this form may result in the denial of the application.

I. INFORMATION ABOUT THE APPLICATION

This form is submitted as part of an application for the following (check all that apply):

- Rezoning, Special Use Permit, Variation, or Other Zoning Relief (Complete Sections II and III)
- Preliminary Plat, Final Plat, or Record Plat of Subdivision (Complete Sections II and III)
- Building Permit (Complete Sections II and III)
- Business License (Complete All Sections)

II. INFORMATION ABOUT THE PROPERTY

The address and PIN(s) of the real property associated with this application are:

81 North Chicago Street
 PIN(s): 30-07-09-443-010

III. PROPERTY OWNERSHIP

Select the type of owner of the real property associated with this application and fill in the appropriate contact information below:

- Individual:** State the names, addresses, and phone #'s of the individual owner(s)
- Corporation:** State the names, addresses, and phone #'s of all persons holding 3% or more of the stock of the corporation and the percentage of shares held by such stockholders
- Limited Liability Company:** State the names, addresses, and phone #'s of all members of the company along with the percentage of ownership held by each member
- Land Trust:** State the names, addresses, and phone #'s of the trustee(s) and all beneficiaries
- Partnership:** State the names, addresses, and phone #'s of all partners
- Other type of organization:** State the names, addresses, and phone #'s of all persons having a legal or equitable ownership interest in the organization or the right to direct the affairs of the organization

E-MAIL: **FAX:**

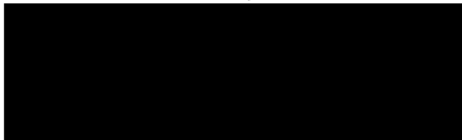
IV. BUSINESS OWNERSHIP

If the owner of the business is different than the owner of the real property associated with the application, then the following information must be provided:

Select the type of business owner associated with this application and fill in the contact information below:

- Individual:** State the names, addresses, and phone #'s of the individual owner(s)
- Corporation:** State the names, addresses, and phone #'s of all persons holding 3% or more of the stock of the corporation and the percentage of shares held by such stockholders
- Limited Liability Company:** State the names, addresses, and phone #'s of all members of the company along with the percentage of ownership held by each member
- Partnership:** State the names, addresses, and phone #'s of all partners
- Other type of organization:** State the names, addresses, and phone #'s of all persons having a legal or equitable ownership interest in the organization

Joseph Spillie 100% ownership



E-MAIL: [Redacted] FAX: _____

NOTE:

If a stockholder, member, beneficiary or partner disclosed in Section III or Section IV is not an individual, then the individuals holding the legal or equitable title to the real property or business associated with the application must also be disclosed. For example, if the real property associated with an application is owned by a land trust, and the beneficiary of the land trust is a limited liability company, then the members of the limited liability company must be disclosed. If one of the members of the limited liability company is a partnership, then the identity of the partners must be disclosed. If one of the partners is a corporation, then all persons owning 3% or more of the issued stock must be disclosed.

SIGNED: [Redacted Signature]

DATE: 2.1.26

Name, Title, and Telephone Numbers of Person Completing and Submitting This Form:

Joseph Spillie, business owner



PRINT

ZONING BOARD OF APPEALS
CRITERIA FOR SPECIAL USES

Section 47-5.2 (C) of the Zoning Ordinance states:

A special use permit shall not be granted unless the applicant establishes by clear and convincing evidence:

	Does the evidence presented sustain this criteria?	Comments
(1) That the establishment, maintenance or operation of the special use will not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare; and		
(2) That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood; and		
(3) That the establishment of the special use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district; and		
(4) That adequate utilities, access roads, drainage, and/or other necessary facilities have been or will be provided; and		
(5) That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets; and		
(6) That the special use shall in all other respects conform to the applicable land use regulations of the district in which it is located and shall not be in violation of any other applicable law, ordinance or regulation; and		
(7) At least one (1) year has elapsed since any denial of any prior application for a special use permit that would have authorized substantially the same as all or part of the sites, unless conditions in the area have substantially changed.		

ZONING BOARD OF APPEALS
CRITERIA FOR VARIATIONS

Section 47-19.8 of the Zoning Ordinance states:

A variation shall not be granted in any case unless the Board shall find and clearly state in its record of the case that:

	Does the evidence presented sustain this criteria?	Comments
<p>(1) Reasons sustaining the contention that strict enforcement of the Ordinance would involve practical difficulties or impose exceptional hardship were found as follows:</p> <p>(a) _____</p> <p>(b) _____</p> <p>(c) _____</p> <p>(list of reasons)</p>		
<p>(2) Adequate evidence was submitted to establish practical difficulties or particular hardship so that, in the judgment of the Board, a variation is permitted because the evidence sustained the existence of each of the three following conditions:</p> <p>(a) The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in the particular district or zone.</p> <p>(b) The plight of the owner is due to unique circumstances.</p> <p>(c) The variation, if granted, will not alter the essential character of the locality.</p>		
<p>(3) A public hearing was held on such variation of which at least 15 days and not more than 30 days notice was published in the _____ (name of newspaper) on _____ (date).</p>		



City of Joliet

150 West Jefferson Street
Joliet, IL 60432

Memo

File #: TMP-9647

Agenda Date:4/16/2026

STAFF REPORT

DATE: April 9, 2026
TO: Zoning Board of Appeals
FROM: Helen Miller, Planner
RE: Petition Number: 2026-16 and 2026-17
Applicant: Menard, Inc.
Status of Applicant: Property Owner
Location: 2450 W. Jefferson Street (Council District #5)
Request: 2026-16: A Special Use Permit to allow a self-storage facility
2026-17: Variation from the Non-Residential Design Standards to allow engineered wood siding in the I-1 (light industrial) zoning district

Purpose

The applicant is requesting a Special Use Permit to allow a self-storage facility in the I-1 (light industrial) zoning district at 2450 W. Jefferson Street. Per the City of Joliet Zoning Ordinance, self-storage facilities may be allowed as special uses in the I-1 district by the Mayor and City Council, with the advice of the Zoning Board of Appeals in accordance with Section 47-5.2.

The applicant is also requesting a Variation from the Non-Residential Design Standards to allow engineered wood siding as an exterior material for new buildings within the I-1 district. Per section 47-15H of the Zoning Ordinance, exterior walls in industrial districts shall be constructed with institutional quality masonry materials, including but not limited to precast concrete panels. The exterior walls of the proposed storage buildings will be sided with LP SmartSide, a textured engineered wood siding.

Site Specific Information

The 2.8-acre subject site is zoned I-1 (light industrial) and contains a vacant commercial building and extensive surface parking. The building was occupied by Bookie Magee's Hideaway and OTB since its construction in 2004 until the business relocated in 2022. The building has been unoccupied since then.

The site is Lot 16 of the Menard's / Joliet Subdivision that was approved and recorded in 2003. The lot is located behind the Menards and Walmart sites and does not have frontage on a public street. The subdivision contains ingress and egress easements along the interior roads to allow traffic circulation throughout the subdivision. The Secretary of

State DMV facility is located on the lot to the east, and a detention pond for the subdivision is located on the lot to the west. Menard, Inc. is the owner of the subject site as well as the DMV lot, the detention lot, and the Menards store site.

Surrounding Zoning, Land Use and Character

- North: I-1 (light industrial), commercial (Menards; Walmart Supercenter)
- South: R-4 (multi-family residential), residential (Fairway Estates Condos)
- East: I-1 (light industrial), commercial (Secretary of State - DMV facility)
- West: I-1 (light industrial), detention pond

Applicable Regulations

- Section 47-14.2A(G) Special Uses – All Industrial Districts
- Section 57-15H.4 Non-Residential Design Standards
- Section 47-5.2(C) Criteria for issuance of a Special Use Permit
(refer to attachment)
- Section 47-19.8 Findings of Fact Supporting a Variation
(refer to attachment)

Discussion

The petitioner, Menard, Inc., is requesting approval of a Special Use Permit to allow a Menards self-storage facility at 2450 W. Jefferson Street. The storage facility would be owned and operated by Menard, Inc. In recent years, the company began establishing self-storage facilities next to or near existing Menards home improvement stores. There are currently around 25 of these facilities operating in the Midwest. The storage sites are an extension of the store operations and are managed by the local Menards employees, with support from the Menards general office in Eau Claire, Wisconsin.

The proposed self-storage facility would contain around 92 climate-controlled units within the existing building and around 174 non-climate-controlled units in several proposed buildings located around the site. The new storage buildings would be constructed along the perimeter of the site and within the existing parking lot footprint. The proposed buildings would be 11 feet or 12 feet tall measured to the top of the roof. The interior of the existing building would be remodeled for the climate-controlled units; the exterior of the building will not be significantly modified. The site would be accessed by a gated entry with overhead doors, located at the northwest corner of the site (see the north elevation on the attached site plan). The door would be controlled by a PIN pad so that only users with a private access code could enter the site. The storage facility would be overseen by employees of the adjacent Menards store, who would check on the site daily and be available for other issues during store hours. The storage facility would be available twenty-four hours a day, seven days a week for renters of the units. The facility would have security cameras throughout in addition to the secure access gate. The site would

be entirely enclosed, with fencing installed between the perimeter buildings and connected to the existing south fence at the southwest and southeast corners of the site. The proposal will be required to follow all Zoning Ordinance and building code requirements, including those for lighting, paving, and emergency access.

The proposed storage buildings would be constructed with gray engineered wood siding and red steel roof panels. The petitioner is requesting a Variation from the Zoning Ordinance's Non-Residential Design Standards to allow exterior siding that is not a masonry material in the I-1 (light industrial) district. Engineered wood siding is allowed as a subsidiary material in the B-1 (neighborhood business) and B-3 (general business) districts. This site is located adjacent to commercial uses as well as a residential subdivision, not within a typical light industrial area. Therefore, staff finds that the requested materials are more appropriate than those required in the Zoning Ordinance for industrial properties.

The site will have perimeter landscaping on all sides. The existing 15-foot landscape area and 6-foot fence along the south property line, adjacent to the residential subdivision, will remain. There is also an existing landscape area along the west, next to the detention area, that will remain. Additional perimeter landscaping would be installed along the north and east sides.

There are twelve north-south rows of parking between the existing building on the subject site and the DMV facility to the east. The subject site contains eight of these rows, while four rows are located on the DMV lot. There is currently no physical distinction between these parking areas for the two lots, so they act as shared parking. The petitioner proposes to leave two existing rows of parking on the east side of the subject site for continued use by users of the DMV facility. If the special use permit is approved, the petitioner will be required, as part of their development plans, to record an access easement over this portion of the self-storage lot to allow use by the DMV lot. Passenger vehicle parking for users of the self-storage facility would be located along the sides of the main building on the interior of the facility.

Recommended Action

Staff finds that the special use request meets the attached criteria for special uses. The establishment and operation of the proposed use will not be detrimental to public health nor be injurious to the use of other property in the immediate vicinity. Additionally, the proposed use will not impede development of surrounding property. The site was constructed as a commercial property within a commercial subdivision, and the proposed use is in character with the existing uses in the subdivision. The storage facility will be fully enclosed and only accessible by a secure gate. The site contains a 15-foot landscape buffer and solid 6-foot fence along the south side, which is the Zoning Ordinance requirement for commercial uses adjacent to residential properties.

Staff also finds that adequate drainage and utilities are provided to the site, as it is an existing lot within a developed subdivision. Adequate ingress and egress are also provided via the interior private roads within the subdivision.

While staff does not find a hardship for the variation request for exterior materials, staff believes the requested materials are more compatible with the surrounding properties than the type of masonry materials required in industrial districts. Staff finds that the proposed materials will not alter the essential character of the area.

Approval of the requested petitions will allow the reuse of a vacant site as a Menards self-storage facility adjacent to an existing Menards home improvement store. The subject site is in a low-profile location that may not be attractive to other commercial uses that require street frontage for visibility.

Conditions

If the Zoning Board desires to approve this Special Use Permit to allow a self-storage facility and a Variation from the Non-Residential Design Standards to allow engineered wood siding in the I-1 (light industrial) zoning district at 2450 W. Jefferson Street, staff recommends that the following conditions would be included:

1. That the Special Use granted shall herein terminate and lapse unless a building permit or certificate of occupancy is obtained not later than 180 days of the effective date of this ordinance and the erection or alteration of a building is started or the use is commenced within such period. The Board may grant an extension of this period, valid for no more than one hundred and eighty (180) additional days, upon written application and good cause shown without notice or hearing. Whether or not there is an intention to abandon the Special Use, if any special use is discontinued for a continuous period of one year, or if an intent to abandon the Special Use is evident in a shorter period of time, the Special Use for such use shall become void, and such use shall not thereafter be reestablished unless a new Special Use Permit is obtained; and
2. Should the property be declared a public nuisance, it may be subject to a rehearing and a possible revocation of the Special Use Permit.

Figure 1: Aerial view of subject site at 2450 W. Jefferson Street (2025)



Figure 2: Subject site and adjacent DMV lot, with shared parking in between (2025)



Figure 3: Existing building on subject site, view southeast from corner of site (April 2026)



Figure 4: Existing building on subject site, view southwest from interior road along north of site (April 2026)



Figure 5: Existing landscaping along west side of site adjacent to the detention lot (April 2026)



Figure 6: Existing landscape area and fence along south property line behind existing building, view looking southeast (April 2026)



Figure 7: Surface parking on the east side of the site, view southwest near the corner of the site (April 2026)

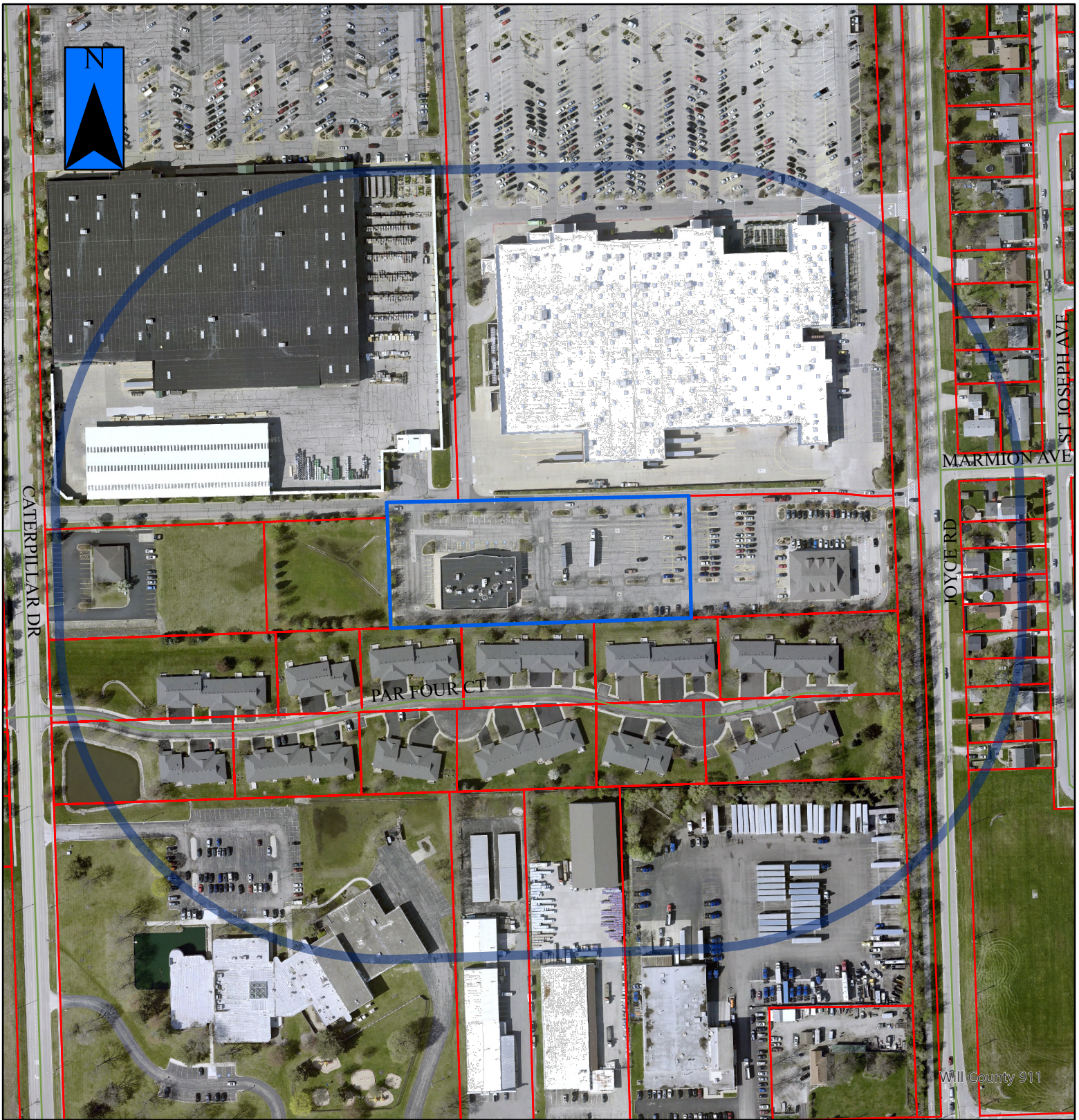


Figure 8: Examples of other existing Menards self-storage facilities; note that materials shown may not be the same as requested at the subject site



Figure 8 continued: Examples of other existing Menards self-storage facilities; note that materials shown may not be the same as requested at the subject site

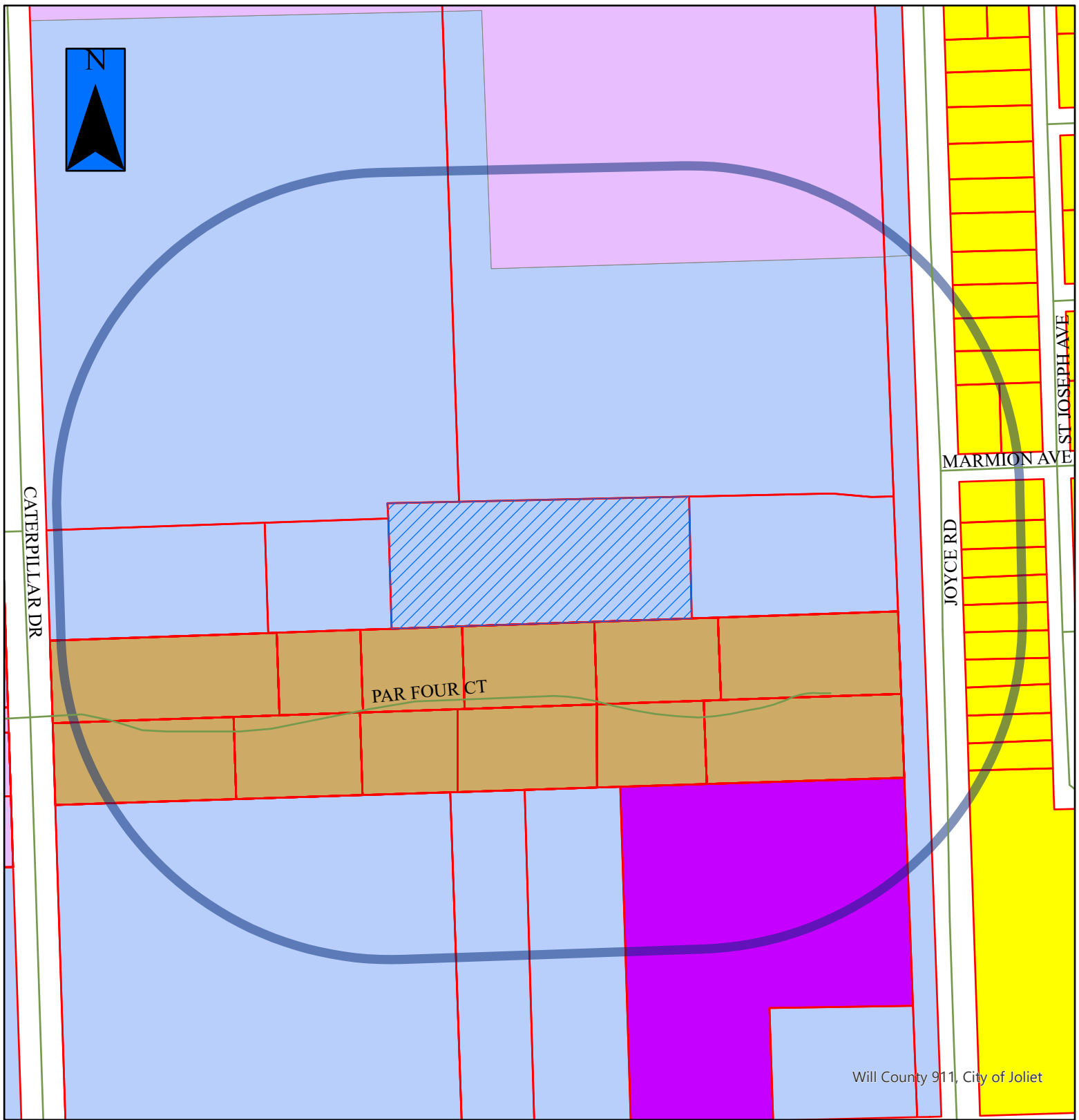




2026-16a, 2026-17a













- = Property in Question / Propiedad en cuestión
- = 600' Public Notification Boundary / Límite de notificación pública de 600 ft (180 m)



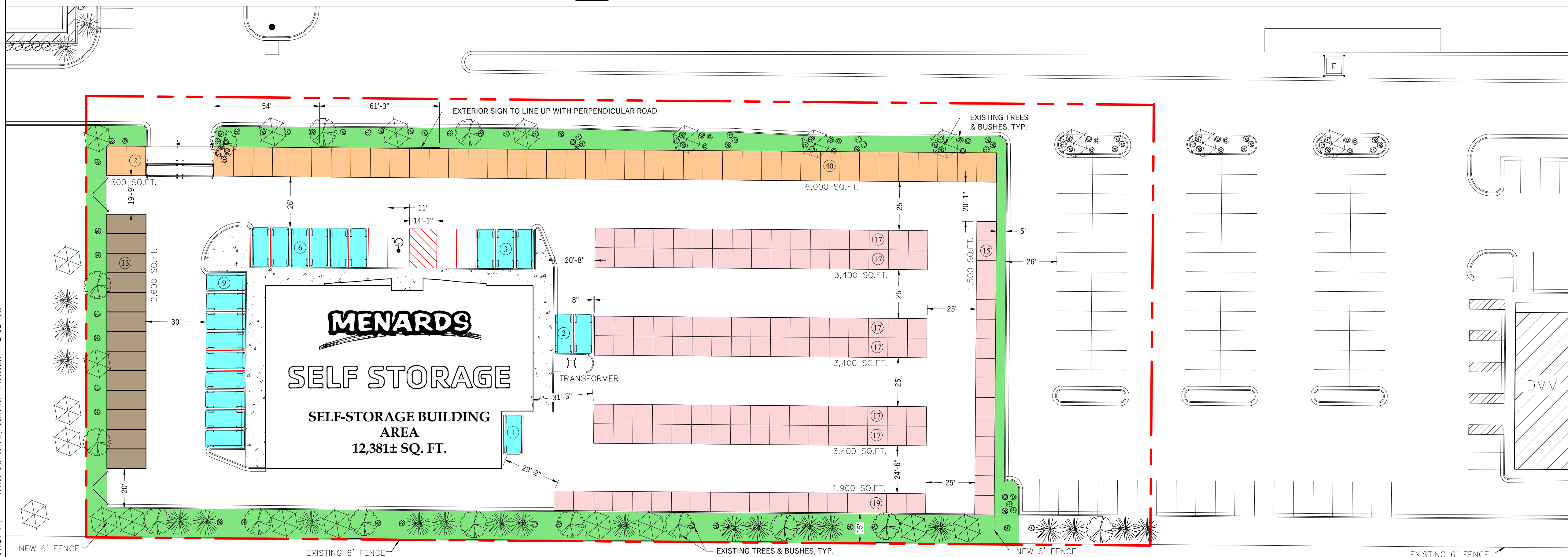
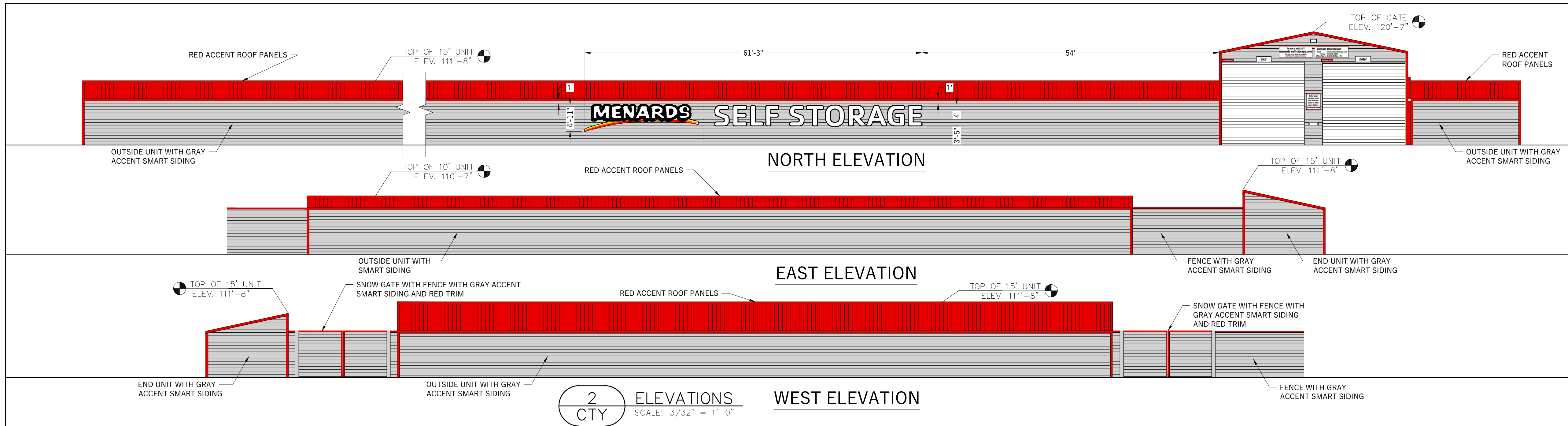
2026-16, 2026-17



 = Property in Question
 = 600' Public Notification Boundary

Legend					
	B-1		I-TA		R-2
	B-2		I-TB		R-2A
	B-3		I-TC		R-3
	I-1		R-1		R-4
	I-2		R-1A		R-5
	I-T		R-1B		R-B

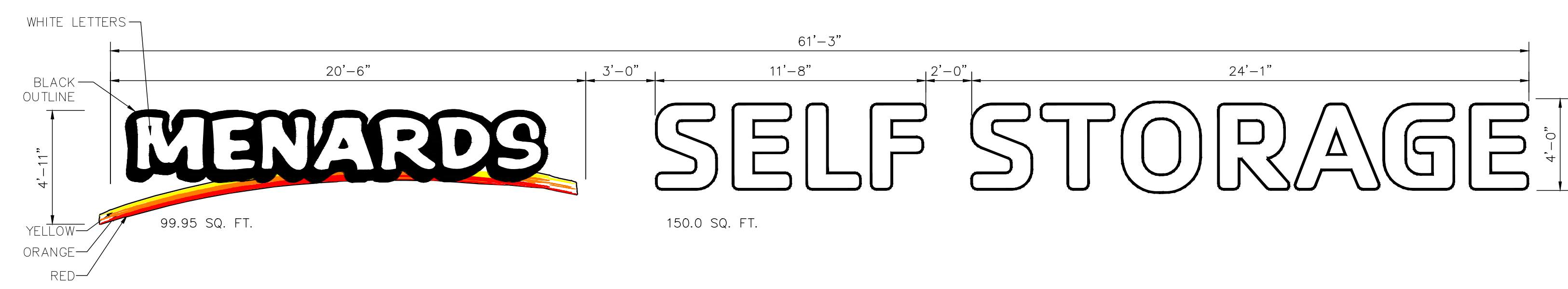
PROJECT TITLE	BY		
SELF STORAGE JOLIET, IL -			
CITY PLAN			
REVISIONS	NO.	DATE	DESCRIPTION



1 SITE PLAN
CTY SCALE: 1" = 30'

JOLIET, IL
SELF-STORAGE LOT AREA
100,510± SQ. FT.
2.30± ACRES

STORAGE BUILDING AREA
EXISTING BUILDING:
12,381± SQ. FT./28 ACRES
NEW OUTSIDE BUILDINGS:
22,500± SQ. FT./51± ACRES
TOTAL: 34,881± SQ. FT./78 ACRES



NOTES:

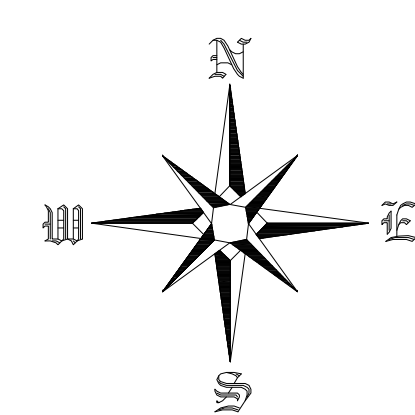
- (1) INTERNALLY LIT INDIVIDUALLY MOUNTED CHANNEL LOGO.
- LOGO BACK TO BE ROUTED .080" THICK ALUMINUM WITH A 5" REFINISHED BLACK ALUMINUM RETURN.
- LOGO TO INCLUDE MENARDS UNDERSCORE BENEATH THE LETTERING.
- LOGO FACE TO BE ROUTED .150" THICK WHITE ACRYLIC WITH 1" BLACK JEWELITE TRIM CAP, APPLY 3M HP BLACK VINYL AND 3M PRINTED TRANSLUCENT VINYL UNDERSCORE.
- LIGHTING TO BE SUPPLIED BY WHITE LEDS 120V POWER SUPPLY AND SWITCH.

NOTES:

- (1 OF EACH) INTERNALLY LIT INDIVIDUALLY MOUNTED CHANNEL LETTERS.
- LETTER BACKS TO BE ROUTED .063" THICK ALUMINUM WITH A 5" REFINISHED BLACK ALUMINUM RETURN.
- LETTER FACES TO BE ROUTED 3/16" THICK WHITE ACRYLIC WITH 1" BLACK JEWELITE TRIM CAP.
- LIGHTING TO BE SUPPLIED BY WHITE LEDS WITH REMOTE MOUNTED 120V POWER SUPPLY AND SWITCH.

4 PRIVACY FENCE PHOTO
CTY SCALE: N.T.S.

3 SIGN DETAILS
CTY SCALE: N.T.S.



Plotted by: Jeremy Schaefer PlotStyle: LASER.ctb
Paper Size: arch D (36x24 in.)
Last Saved Date: January 9, 2026 Last Saved By: jeschaf

PERMANENT INDEX NUMBER (TAX NO. OR P. I. N.): 05-06-13-204-045-0000 ;
_____ ; _____ ; _____

Property Index Number/P.I.N. can be found on tax bill or Will County Supervisor of Assessments website
LEGAL DESCRIPTION OF PROPERTY (attached copy preferred):

LOT SIZE: WIDTH: _____ DEPTH: _____ AREA : 2.82 acres

PRESENT USE(S) OF PROPERTY: Vacant (Former OTB)

PRESENT ZONING OF PROPERTY: I-1 Light Industrial

SPECIAL USE REQUESTED: Use of the property as a self storage facility.

The Zoning Board of Appeals is authorized to grant a special use permit provided the applicant establishes by clear and convincing evidence:

- (1) That the establishment, maintenance, or operation of the special use will not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare; and
- (2) That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood; and
- (3) That the establishment of the special use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district; and
- (4) That adequate utilities, access roads, drainage, and/or other necessary facilities have been or will be provided; and
- (5) That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets; and
- (6) That the special use shall in all other respects conform to the applicable land use regulations of the district in which it is located and shall not be in violation of any other applicable law, ordinance or regulation; and
- (7) At least one (1) year has elapsed since any denial of any prior application for a special use permit that would have authorized substantially the same as all or part of the sites, unless conditions in the area have substantially changed.

Please describe how this request meets the criteria by responding to the following questions in your own words.

1. How will the establishment, maintenance, or operation of the special use affect the public health, safety, morals, comfort, or general welfare?

There are no negative effects anticipated by the special use. The property is located behind big box retail users and has been vacant since the OTB ceased operations. The site will be enclosed by fence/buildings and only accessible to tenants.

2. How will the special use impact properties in the immediate area? No negative impacts anticipated. The self storage use does not generate heavy traffic and the site plan has been designed with screening to account for neighboring uses.

3. Will the use impede the normal/orderly development/improvement of surrounding property?

No, the use will not impede surrounding properties.

4. Are adequate utilities, access roads, drainage, and/or other necessary facilities provided?

Yes, the site was previously developed and this is merely a change in use of the existing facility.

5. Have adequate measures been taken to provide ingress/egress design to minimize traffic congestion in public streets?

Yes, the property does not take direct access from public streets. Access easements are already in place for the private roadways.

6. Does the use conform to the applicable land use regulations of the district in which it is located and does it violate any other applicable law, ordinance or regulation?

There are no known violations of any laws, ordinances, or regulations.

7. Has at least one (1) year elapsed since any denial of any prior application for a special use permit that would have authorized substantially the same as all or part of the sites (unless conditions in the area have changed substantially)?

Yes.

REQUIRED SUPPORTING ATTACHMENTS

- Site plan / concept plan / floor plan / building elevation plan
- Joliet Ownership Disclosure form
- Business license application (if applicable)

NOTARIZATION OF PETITION

Wisconsin
 STATE OF ~~ILLINOIS~~ ss
 COUNTY OF ~~WILL~~
 Eau Claire

I, Josh Melder, Senior Corp Counsel, depose and say that the above statements are true and correct to the best of my knowledge and belief. I agree to be present in person or by representation when this petition is heard before the Zoning Board of Appeals.

[Redacted Signature]

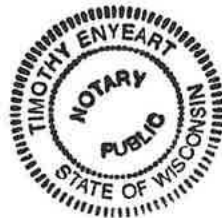
 Petitioner's Signature
 Josh Melder, Senior Corporate Counsel for Meranda Inc.

 Owner's Signature
 (If other than petitioner)

Subscribed and sworn to before me
 this 11 day of February, 2026

[Redacted Notary Name]

My Commission is permanent.



FOR OFFICE USE ONLY

Verified by Planner (please initial): _____

Payment received from: _____

Petition #: _____

Common Address: _____

Date filed: _____

Meeting date assigned: _____

ZONING BOARD OF APPEALS
JOLIET, ILLINOIS

PETITION FOR VARIATION/APPEAL

City of Joliet Planning Division, 150 W. Jefferson St., Joliet, IL 60432
Ph (815)724-4050 Fax (815)724-4056

ADDRESS FOR WHICH VARIATION IS REQUESTED: 2450 W Jefferson St., Joliet, IL

PETITIONER'S NAME: Menard, Inc. (Josh Melder, Senior Corporate Counsel)

HOME ADDRESS: _____ ZIP CODE: _____

BUSINESS ADDRESS: 5101 Menard Drive, Eau Claire, WI ZIP CODE: 54703

PHONE: (Primary) ██████████ (Secondary) ██████████

EMAIL ADDRESS: ██████████ FAX: _____

PROPERTY INTEREST OF PETITIONER: Owner

OWNER OF PROPERTY: Menard, Inc.

HOME ADDRESS: _____ ZIP CODE: _____

BUSINESS ADDRESS: 5101 Menard Drive, Eau Claire, WI ZIP CODE: 54703

EMAIL ADDRESS: ██████████ FAX: _____

Any use requiring a business license shall concurrently apply for a business license and submit a copy with this petition. Additionally, if this request is for operation of a business, please provide the following information:

BUSINESS REFERENCES (name, address, phone or email):

OTHER PROJECTS AND/OR DEVELOPMENTS:

PERMANENT INDEX NUMBER (TAX NO. OR P. I. N.): 05-06-13-204-045-0000 ;
_____ ; _____ ; _____

Property Index Number/P.I.N. can be found on tax bill or Will County Supervisor of Assessments website
LEGAL DESCRIPTION OF PROPERTY (an attached copy preferred):

LOT SIZE: WIDTH: _____ DEPTH: _____ AREA: 2.82

PRESENT USE(S) OF PROPERTY: Vacant (Former OTB)

PRESENT ZONING OF PROPERTY: I-1 Light Industrial

VARIATION/APPEAL REQUESTED: Variance from facade standards in Section 47-15H.4 to allow LP Smart Siding engineered wood texture siding.

RESPONSE TO VARIATION CRITERIA

The Zoning Board of Appeals is authorized to grant or recommend relief only when it has received adequate evidence to establish a practical difficulty or hardship. The evidence must support each of the following three conditions:

- (a) The property in question cannot yield a reasonable return by use permitted and subject to the conditions allowed by the regulations in the particular district or zone.
- (b) The plight of the owner is due to unique circumstances.
- (c) The variation, if granted, will not alter the essential character of the locality.

Please describe how this request meets the criteria by responding to the following questions in your own words.

1. How do the applicable zoning regulations prevent the property in question from yielding a reasonable return?
See attached narrative.

2. What unique circumstances exist which mandate a variance?

See attached narrative.

3. What impact would the granting of this variance have upon the essential character of the general area? Please include both positive and negative impacts.

See attached narrative

REQUIRED SUPPORTING ATTACHMENTS

- Site plan / concept plan / floor plan / building elevation plan
- Joliet Ownership Disclosure form
- Business license application (if applicable)

NOTARIZATION OF PETITION

Wisconsin
 STATE OF ~~ILLINOIS~~ ss
 COUNTY OF ~~WILL~~
Eau Claire

I, Josh Melder, Senior Corp Counsel for Menard, Inc., depose and say that the above statements are true and correct to the best of my knowledge and belief. I agree to be present in person or by representation when this petition is heard before the Zoning Board of Appeals.

[Redacted Signature]
 Petitioner's Signature *Senior Corp Counsel, Menard, Inc.*

 Owner's Signature
 (If other than petitioner)

Subscribed and sworn to before me
 this 6th day of March, 2026



[Redacted Signature]
My Commission is permanent.

JOLIET VARIANCE NARRATIVE

Menard, Inc. is requesting a variance to the façade standards found in Section 47-15H.4 for a Menards Self Storage facility on property owned by Menards at 2450 W Jefferson St. Menards currently has over 25 operating facilities in the Midwest and has plans to continue to expand its footprint in the coming years. All facilities are located next to or close to Menards retail stores, as the self-storage business is an extension of the store operations. Store management and employees are in charge of ground operations, which gives the self-storage facility a local presence. Further assistance is provided by Menards general office self-storage team in Eau Claire, WI.

The proposed project will consist of approximately 174 non-climate controlled units in varying size and climate controlled units in the former OTB building. The OTB building is currently unoccupied. The site plan and façade materials have been specifically chosen to allow for redevelopment of the site.

The storage buildings and connected fencing will be constructed of high quality, premium grey LP SmartSiding, which is a newer siding material with wood texture. The LP SmartSiding is an upgraded siding material that is meant to provide more durability and a cleaner, more aesthetically pleasing look than traditional siding. The LP SmartSiding will meet the intention of the zoning code to have upgraded architectural materials used in the shopping center while also providing some contrast between the buildings to help enhance the architecture in the area.

Approving the variance would not have a negative impact on the adjoining properties. The self storage facility is located behind two big box retailers and is not adjacent to public roadways. The existing privacy fence and tree coverage will act as a buffer area along the residential properties to the south. The property to the west is utilized as a retention pond. The property to the north is occupied by the Menards home improvement store and the Walmart. The property to the east is the DMV facility. The façade has been designed to provide minimal impact to the neighboring properties.

CITY OF JOLIET OWNERSHIP DISCLOSURE FORM

The City of Joliet requires that applicants for zoning relief, subdivision approval, building permits and business licenses disclose the identity of all persons having an ownership interest in the business and the real property associated with the application. A copy of this form must be completed and submitted with other application materials. Failure to properly complete and submit this form may result in the denial of the application.

I. INFORMATION ABOUT THE APPLICATION

This form is submitted as part of an application for the following (check all that apply):

- Rezoning, Special Use Permit, Variation, or Other Zoning Relief (Complete Sections II and III)
- Preliminary Plat, Final Plat, or Record Plat of Subdivision (Complete Sections II and III)
- Building Permit (Complete Sections II and III)
- Business License (Complete All Sections)

II. INFORMATION ABOUT THE PROPERTY

The address and PIN(s) of the real property associated with this application are:

2450 W Jefferson St., Joliet, IL 60435

PIN(s): 05-06-13-204-045-0000

III. PROPERTY OWNERSHIP

Select the type of owner of the real property associated with this application and fill in the appropriate contact information below:

- Individual:** State the names, addresses, and phone #'s of the individual owner(s)
- Corporation:** State the names, addresses, and phone #'s of all persons holding 3% or more of the stock of the corporation and the percentage of shares held by such stockholders
- Limited Liability Company:** State the names, addresses, and phone #'s of all members of the company along with the percentage of ownership held by each member
- Land Trust:** State the names, addresses, and phone #'s of the trustee(s) and all beneficiaries
- Partnership:** State the names, addresses, and phone #'s of all partners
- Other type of organization:** State the names, addresses, and phone #'s of all persons having a legal or equitable ownership interest in the organization or the right to direct the affairs of the organization

John R Menard Jr., 5101 Menard Drive, Eau Claire, WI 54703, [REDACTED]

E-MAIL: [REDACTED]

FAX: _____

IV. BUSINESS OWNERSHIP

If the owner of the business is different than the owner of the real property associated with the application, then the following information must be provided:

Select the type of business owner associated with this application and fill in the contact information below:


- Individual:** State the names, addresses, and phone #'s of the individual owner(s)
- Corporation:** State the names, addresses, and phone #'s of all persons holding 3% or more of the stock of the corporation and the percentage of shares held by such stockholders
- Limited Liability Company:** State the names, addresses, and phone #'s of all members of the company along with the percentage of ownership held by each member
- Partnership:** State the names, addresses, and phone #'s of all partners
- Other type of organization:** State the names, addresses, and phone #'s of all persons having a legal or equitable ownership interest in the organization

E-MAIL: _____ FAX: _____

NOTE:
 If a stockholder, member, beneficiary or partner disclosed in Section III or Section IV is not an individual, then the individuals holding the legal or equitable title to the real property or business associated with the application must also be disclosed. For example, if the real property associated with an application is owned by a land trust, and the beneficiary of the land trust is a limited liability company, then the members of the limited liability company must be disclosed. If one of the members of the limited liability company is a partnership, then the identity of the partners must be disclosed. If one of the partners is a corporation, then all persons owning 3% or more of the issued stock must be disclosed.

SIGNED: 
 / Josh Melder, Senior Corp Counsel for Menard, Inc.

DATE: 2/11/26

Name, Title, and Telephone Numbers of Person Completing and Submitting This Form:
Josh Melder, Senior Corporate Counsel - Menard, Inc. Properties Division, 

PRINT

ZONING BOARD OF APPEALS
CRITERIA FOR SPECIAL USES

Section 47-5.2 (C) of the Zoning Ordinance states:

A special use permit shall not be granted unless the applicant establishes by clear and convincing evidence:

	Does the evidence presented sustain this criteria?	Comments
(1) That the establishment, maintenance or operation of the special use will not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare; and		
(2) That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood; and		
(3) That the establishment of the special use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district; and		
(4) That adequate utilities, access roads, drainage, and/or other necessary facilities have been or will be provided; and		
(5) That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets; and		
(6) That the special use shall in all other respects conform to the applicable land use regulations of the district in which it is located and shall not be in violation of any other applicable law, ordinance or regulation; and		
(7) At least one (1) year has elapsed since any denial of any prior application for a special use permit that would have authorized substantially the same as all or part of the sites, unless conditions in the area have substantially changed.		

ZONING BOARD OF APPEALS
CRITERIA FOR VARIATIONS

Section 47-19.8 of the Zoning Ordinance states:

A variation shall not be granted in any case unless the Board shall find and clearly state in its record of the case that:

	Does the evidence presented sustain this criteria?	Comments
<p>(1) Reasons sustaining the contention that strict enforcement of the Ordinance would involve practical difficulties or impose exceptional hardship were found as follows:</p> <p>(a) _____</p> <p>(b) _____</p> <p>(c) _____</p> <p>(list of reasons)</p>		
<p>(2) Adequate evidence was submitted to establish practical difficulties or particular hardship so that, in the judgment of the Board, a variation is permitted because the evidence sustained the existence of each of the three following conditions:</p> <p>(a) The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in the particular district or zone.</p> <p>(b) The plight of the owner is due to unique circumstances.</p> <p>(c) The variation, if granted, will not alter the essential character of the locality.</p>		
<p>(3) A public hearing was held on such variation of which at least 15 days and not more than 30 days notice was published in the _____ (name of newspaper) on _____ (date).</p>		



City of Joliet

150 West Jefferson Street
Joliet, IL 60432

Memo

File #: TMP-9648

Agenda Date:4/16/2026

STAFF REPORT

DATE: April 9, 2026
TO: Zoning Board of Appeals
FROM: Helen Miller, Planner
RE: Petition Number: 2026-18 and 2026-19
Applicant: Israel Hernandez
Status of Applicant: Property and business owner
Location: 370 Ruby Street (Council District #4)
Request: 2026-18: A Special Use Permit to allow an automotive repair facility
2026-19: A Variation from the spacing requirements for an automotive repair facility near a residential zoning district

Purpose

The applicant is requesting a Special Use Permit to allow an automotive repair facility at 370 Ruby Street. Per the City of Joliet Zoning Ordinance, an automotive repair facility may be allowed as a special use in the B-3 (general business) district by the Mayor and City Council, with the advice of the Zoning Board of Appeals in accordance with Section 47-5.2.

The Zoning Ordinance states that any part of the building where repair takes place shall not have any openings within 100 feet of any residential zoning district. The petitioner is requesting a variation from this requirement because the existing building has a loading door within approximately 40 feet of the residentially-zoned property to the south. The Zoning Board of Appeals makes the final decision on this variation request.

Site Specific Information

The subject site is around 12,100 square feet and contains an existing 1,360-square-foot commercial building with two garage bays, restrooms, and an office area. The rest of the site surrounding the building is paved but is not currently striped with parking stalls. There are three curb cuts that provide access to the site: two off Ruby Street and one along the west side off Center Street. There is an existing 6-foot wood fence along the south property line adjacent to the residential property to the south. The subject property is zoned B-3 (general business) district.

The current building was constructed around 1960 when the site was developed with an automobile service station. Around 1976, Plese Radiator Service, an automotive repair

business, occupied the site and was listed in the City Directories at this address until around 2020, when the petitioner purchased the property. The petitioner has been parking sales inventory on the property in the last few years but is now pursuing the requested petitions to allow an automotive repair use at the site.

Surrounding Zoning, Land Use and Character

- North: B-3 (general business), residential
- South: R-3 (one- and two-family residential), residential
- East: B-3 (general business), commercial (contractor business)
- West: B-1 (neighborhood business), commercial (professional office)

Applicable Regulations

- Section 47-13.2A(G) Special Uses – B-3 (General Business) District
- Section 47-5.2 (C) Criteria for issuance of a Special Use Permit (refer to attachment)
- Section 47-19.8 Findings of Facts Supporting a Variation (refer to attachment)

Discussion

The petitioner and property owner, Israel Hernandez, is requesting a Special Use Permit to allow an automotive repair facility in the B-3 (general business) district at 370 Ruby Street. The petitioner owns Gigante Motors, a car dealership located several blocks to the east at 267 Ruby Street. The proposed facility at 370 Ruby Street would serve the general public and also be used to service and repair cars for sale by Gigante Motors. Repair services offered would include routine maintenance, diagnostics, brake repair and replacement, and engine code identification and repair. The business would accept walk-in customers in addition to scheduled appointments. The petitioner anticipates servicing around four vehicles per day or around 24 vehicles per week. The business will have three employees: two mechanics and one office staff member. The proposed hours of operation are Monday through Friday from 9 AM to 6 PM and Saturday from 9 AM to 3 PM.

The existing building contains office space and repair bays for the business. There are no significant exterior modifications or additions planned for the building. The petitioner will be required to ensure that a functional oil separator is in place for the floor drains within the two repair bays prior to the issuance of a Certificate of Occupancy.

The petitioner and City staff have worked to identify several site improvements that will be required as conditions of the special use permit. A proposed site plan is included as an attachment in the staff report packet. The petitioner will remove the asphalt and install grass at the northwest corner of the site that is within the visibility triangle for the

intersection of Center Street and Ruby Street. They will also install grass along the north property line as a buffer between the parking stalls and the public sidewalk. These improvements will add green space to the property and improve traffic safety and circulation on and around the site. The petitioner will also remove and replace the sidewalk and curb along Ruby Street from the west edge of the existing western curb cut to a point near the west edge of the existing eastern curb cut. This will eliminate the western entrance and create a 30-foot-wide entrance on the east, which is the maximum permitted width for a commercial driveway. Finally, the petitioner will need to stripe the parking lot in accordance with City standards. These parking areas are identified on the attached site plan. Additionally, if the site has an outside dumpster, it will need to be screened on three sides with a solid enclosure as required by the Zoning Ordinance.

In addition to the special use permit, the petitioner is requesting a variation from the spacing requirement for automotive repair facilities. The Zoning Ordinance states that the building where repair takes place shall have no openings within 100 feet of a residential zoning district. The loading doors for the two bays are approximately 40 feet from the rear property line that is shared with the residential property at 341 Marble Street. Therefore, the petitioner needs approval of a variation to allow an automotive use within the existing building, though there are no proposed additions to or expansion of the building.

Recommended Action

Staff finds that the special use request meets the attached criteria for special uses. The operation of the proposed use will not be detrimental to public health nor be injurious to the use of other property in the immediate vicinity. Additionally, the proposed use will not impede development of surrounding property. The site has functioned as an automotive use since the 1950s and is located along an established commercial corridor. The proposed site improvements will enhance the appearance of the site and improve site circulation. Adequate drainage and utility infrastructure exists at the site. The site has existing points of ingress and egress, and the proposed curb replacement along Ruby Street will improve site circulation by eliminating the curb cut that is close to the intersection.

Staff finds that the variation request meets the following variation criteria: enforcement of the spacing requirement would involve practical difficulties due to the existing conditions of the site. The building is existing and the location of the doors could not practically be reconfigured to meet the spacing requirement. The doors face north away from the residential property. Staff also finds that the approval of the variation will not alter the essential character of the area since the building has a long history of operation as an auto repair use.

Conditions

If the Zoning Board desires to approve the Special Use Permit and Variation to allow an automotive repair facility at 370 Ruby Street, staff recommends that the following conditions would be included:

1. That all proposed site improvements are completed prior to the issuance of a Certificate of Occupancy, including:
 - a. Removal and replacement of the curb and sidewalk along a portion of Ruby Street;
 - b. Removal of asphalt and installation of turf grass at the northwest corner and along the north side of the site;
 - c. Striping of the parking lot in accordance with City standards.
2. That a functional oil separator shall be in place for the garage bays prior to the issuance of a Certificate of Occupancy;
3. That all service and repairs shall be performed within the building;
4. That a City business license shall be obtained;
5. That the Special Use granted shall herein terminate and lapse unless a building permit or certificate of occupancy is obtained not later than 180 days of the effective date of this ordinance and the erection or alteration of a building is started or the use is commenced within such period. The Board may grant an extension of this period, valid for no more than one hundred and eighty (180) additional days, upon written application and good cause shown without notice or hearing. Whether or not there is an intention to abandon the Special Use, if any special use is discontinued for a continuous period of one year, or if an intent to abandon the Special Use is evident in a shorter period of time, the Special Use for such use shall become void, and such use shall not thereafter be reestablished unless a new Special Use Permit is obtained; and
6. Should the property be declared a public nuisance, it may be subject to a rehearing and a possible revocation of the Special Use Permit.

Figure 1: Aerial view of subject site at 370 Ruby Street (2025)

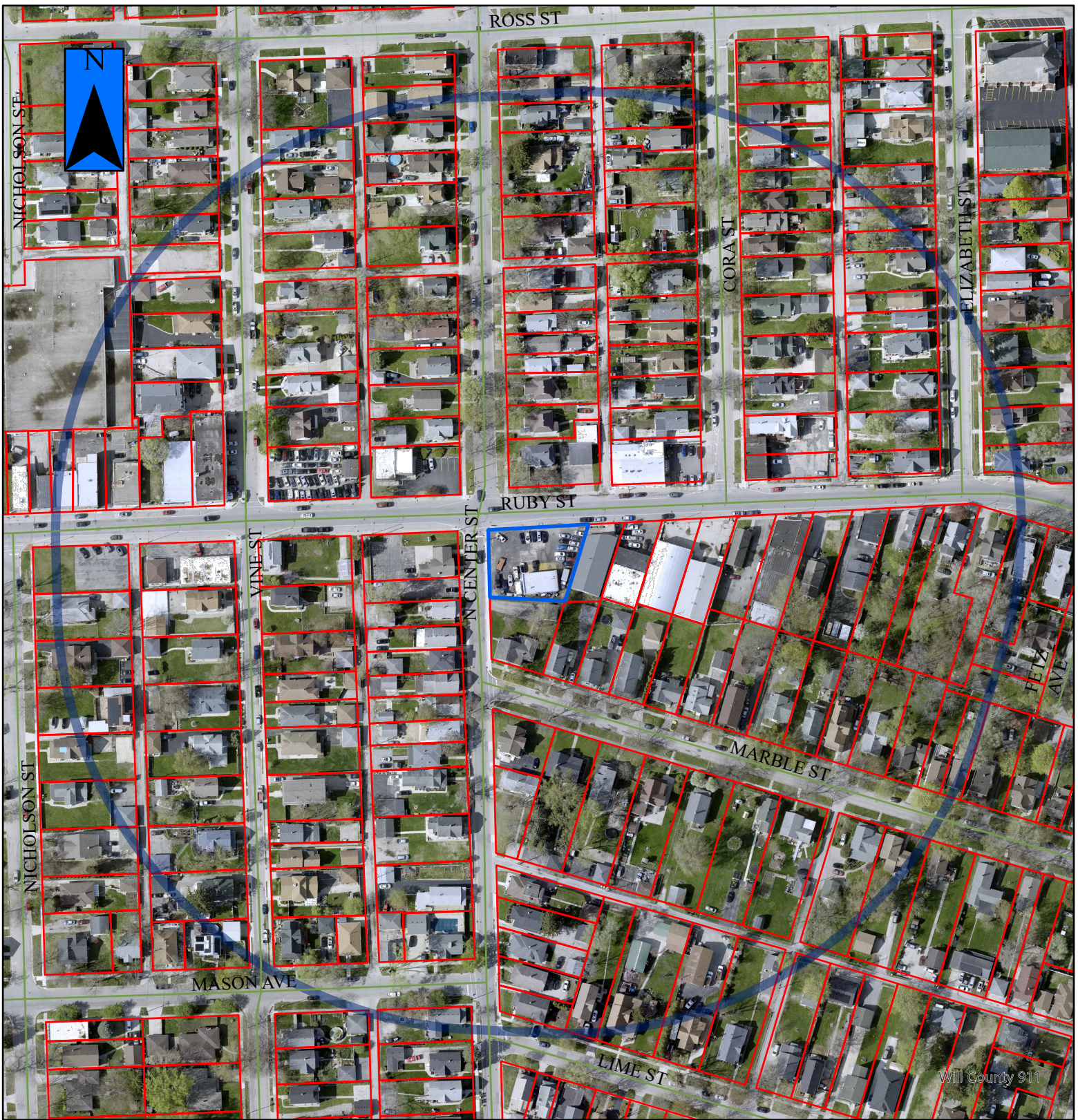


Figure 2: Subject site, view southeast from intersection of Ruby Street and Center Street (April 2026)



Figure 3: West side of subject site, view northeast from Center Street (April 2026)

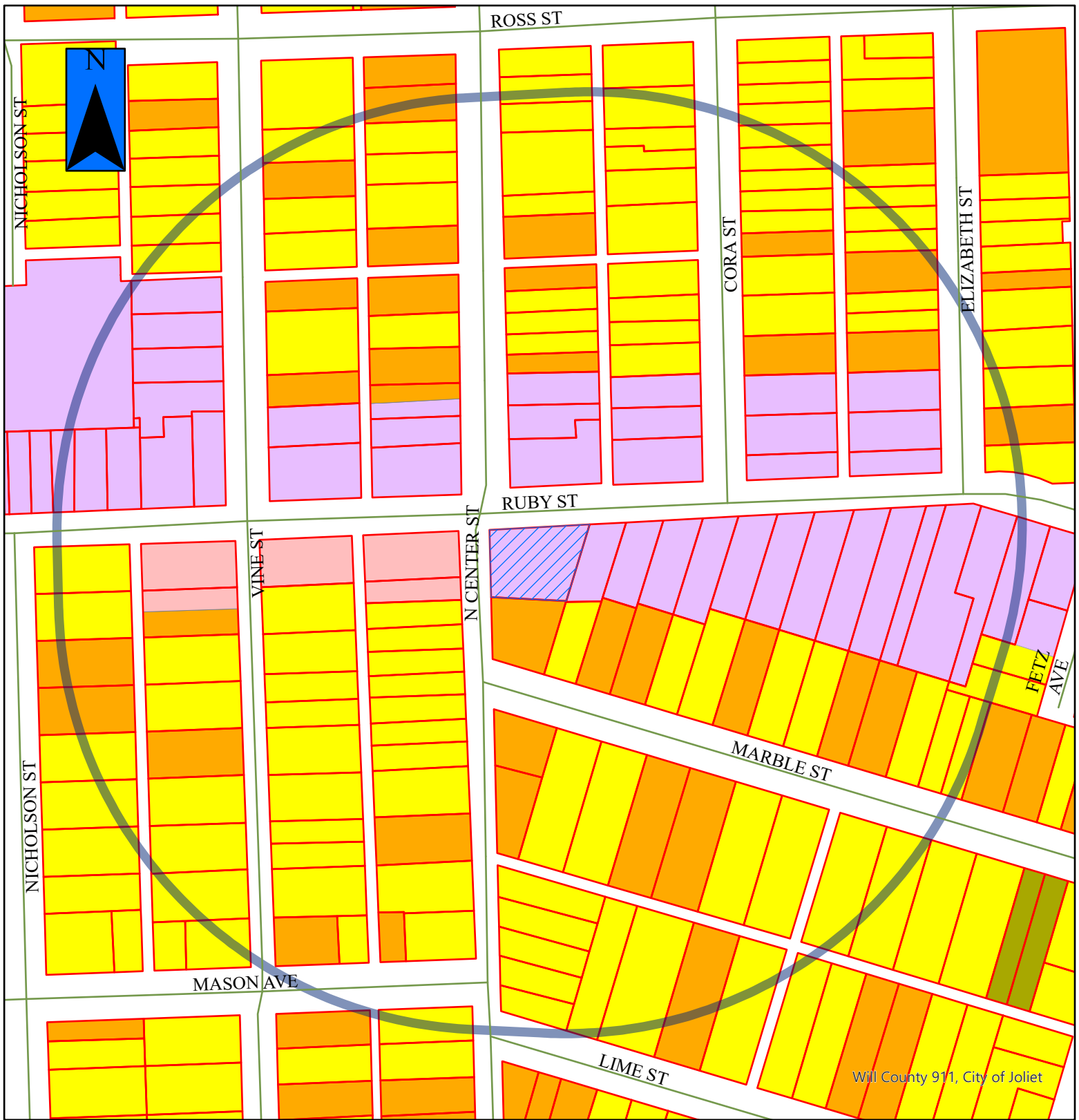




2026-18a, 2026-19a



- = Property in Question / Propiedad en cuestión
- = 600' Public Notification Boundary /
Límite de notificación pública de 600 ft (180 m)



Will County 911, City of Joliet

2026-18, 2026-19



= Property in Question

= 600' Public Notification Boundary

Legend

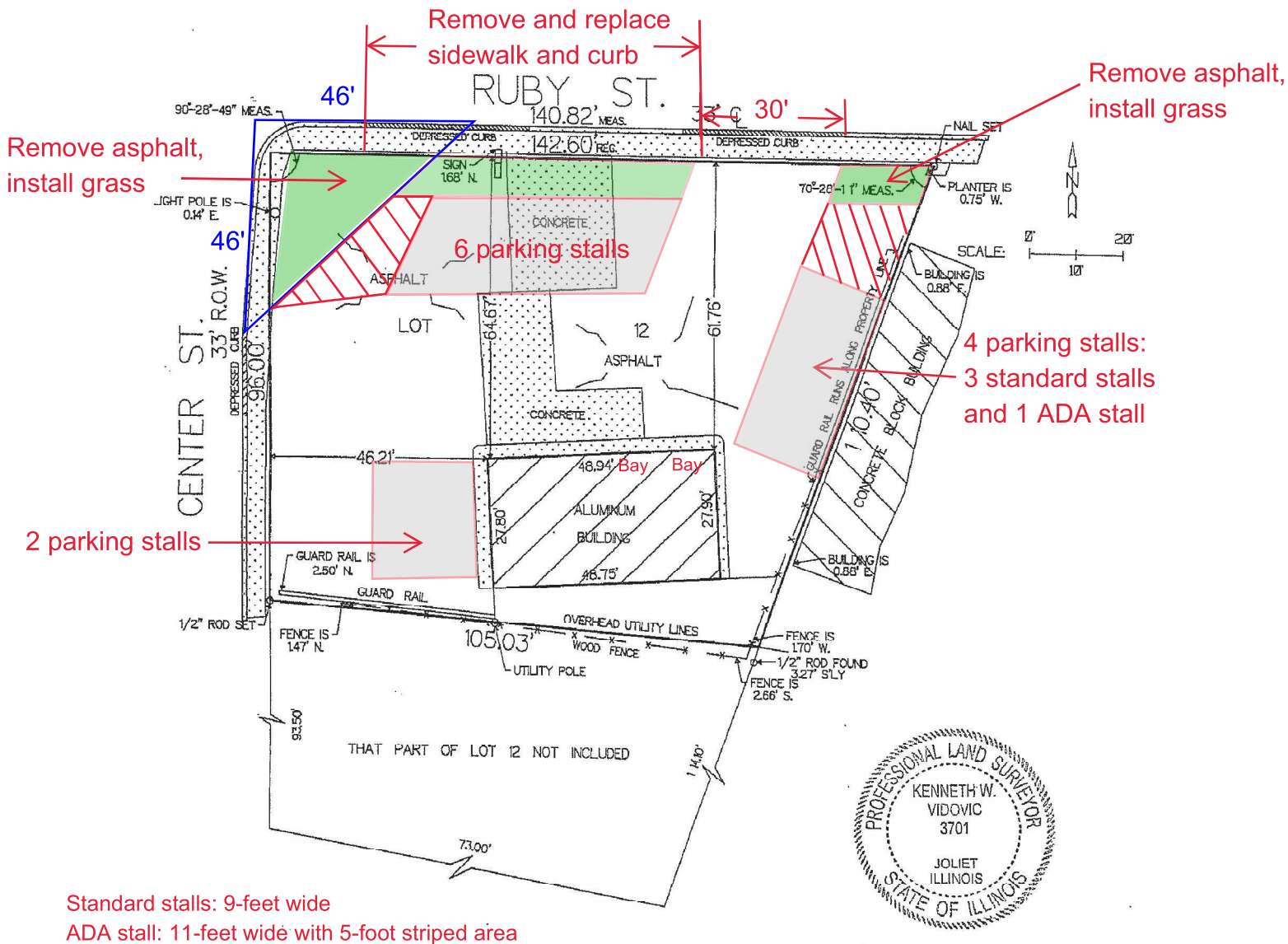
	B-1		I-TA		R-2
	B-2		I-TB		R-2A
	B-3		I-TC		R-3
	I-1		R-1		R-4
	I-2		R-1A		R-5
	I-T		R-1B		R-B

PROPOSED SITE PLAN FOR 370 RUBY STREET

PLAT OF SURVEY

THAT PART OF LOT 12 IN PAESOLDS SUBDIVISION OF BLOCK 34 IN NORTH JOLIET, DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHWEST CORNER OF SAID LOT 12, THENCE EASTERLY ALONG THE NORTH LINE OF SAID LOT TO THE NORTHEAST CORNER OF SAID LOT; THENCE SOUTHWESTERLY ALONG THE EAST LINE OF SAID LOT A DISTANCE OF 110.4 FEET; THENCE NORTHWESTERLY TO A POINT ON THE WEST LINE OF SAID LOT THAT IS 96 FEET SOUTH OF THE NORTHWEST CORNER THEREOF, THENCE NORTH ALONG THE WEST LINE OF THE SAID LOT TO THE POINT OF BEGINNING, ALL IN SECTION 9, TOWNSHIP 35 NORTH, AND IN RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN WILL COUNTY, ILLINOIS.

370 RUBY STREET
JOLIET, IL

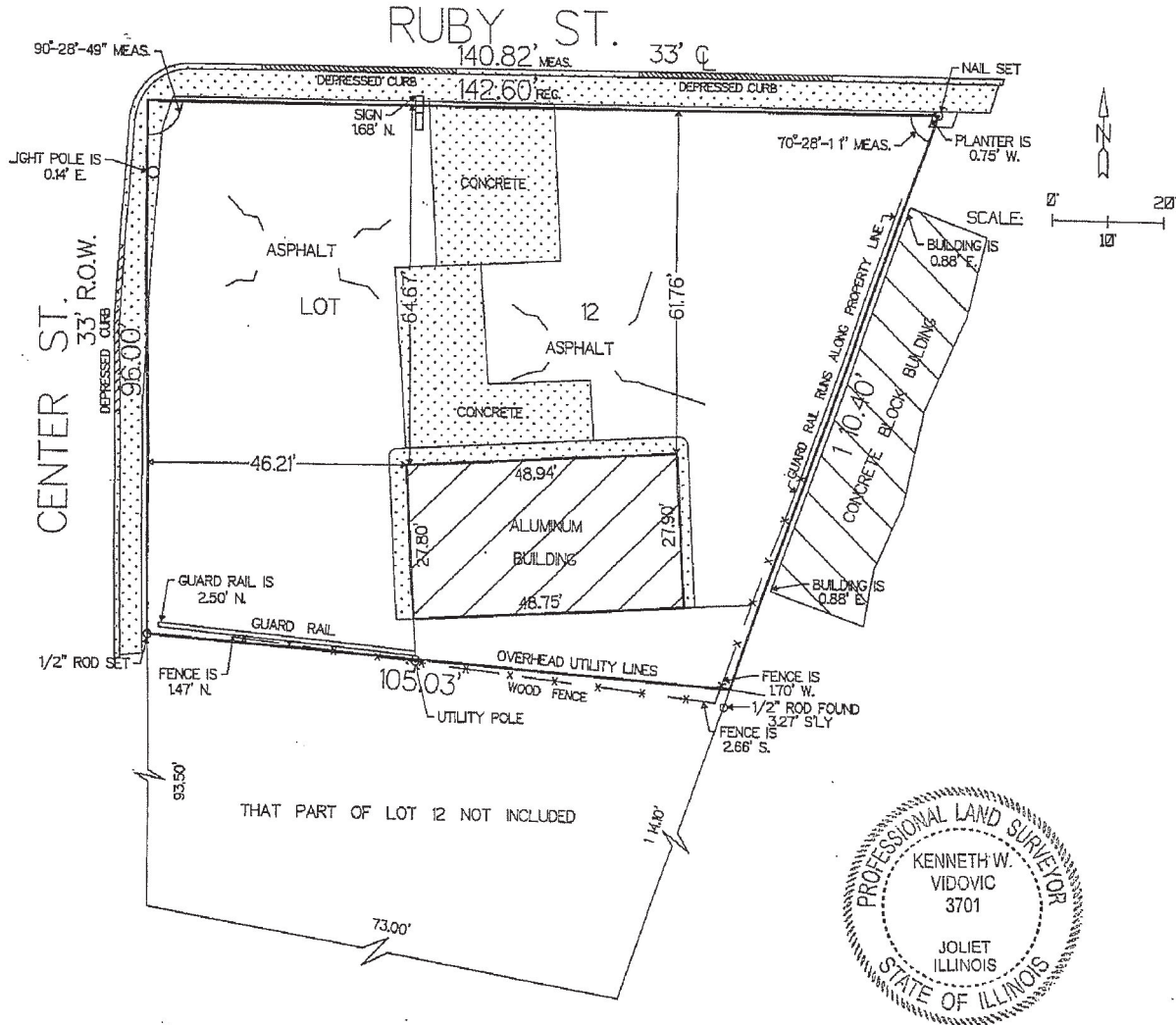


<p>COMMUNITY SURVEY INC. 81 N. CHICAGO STREET, SUITE 207 JOLIET, IL 60432 (815) 722-9005 (815) 722-9019 - fax EMAIL: kvcommunitysurvey@att.net DESIGN FIRM NO. 184-002899 CHECK DEED OR GUARANTEE POLICY FOR BUILDING LINE OR EASEMENT RESTRICTIONS NOT SHOWN ON PLAT OF SURVEY. COMPARE POINTS BEFORE BUILDING.</p>	<p>WE, COMMUNITY SURVEY INC., DO HEREBY CERTIFY THAT WE HAVE SURVEYED FOR SARA GRAY UNDER MY HAND AND SEAL ON THIS 2ND DAY OF JANUARY 2026. FIELD WORK 12/31/2025. THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY. SURVEY NUMBER <u>25-31568</u> <i>Kenneth W. Vidovic</i> ILLINOIS LAND SURVEYOR NO. 3701 EXPIRES 11/30/2026</p>
---	---

PLAT OF SURVEY

THAT PART OF LOT 12 IN PAESOLDS SUBDIVISION OF BLOCK 34 IN NORTH JOLIET, DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHWEST CORNER OF SAID LOT 12, THENCE EASTERLY ALONG THE NORTH LINE OF SAID LOT TO THE NORTHEAST CORNER OF SAID LOT; THENCE SOUTHWESTERLY ALONG THE EAST LINE OF SAID LOT A DISTANCE OF 110.4 FEET; THENCE NORTHWESTERLY TO A POINT ON THE WEST LINE OF SAID LOT THAT IS 96 FEET SOUTH OF THE NORTHWEST CORNER THEREOF, THENCE NORTH ALONG THE WEST LINE OF THE SAID LOT TO THE POINT OF BEGINNING, ALL IN SECTION 9, TOWNSHIP 35 NORTH, AND IN RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN WILL COUNTY, ILLINOIS.

370 RUBY STREET
JOLIET, IL



<p>COMMUNITY SURVEY INC. 81 N. CHICAGO STREET, SUITE 207 JOLIET, IL 60432 (815) 722-9005 (815) 722-9019 - fax EMAIL: kvcommunitysurvey@att.net DESIGN FIRM NO. 184-002899 CHECK DEED OR GUARANTEE POLICY FOR BUILDING LINE OR EASEMENT RESTRICTIONS NOT SHOWN ON PLAT OF SURVEY. COMPARE POINTS BEFORE BUILDING.</p>	<p>WE, COMMUNITY SURVEY INC., DO HEREBY CERTIFY THAT WE HAVE SURVEYED FOR SARA GRAY UNDER MY HAND AND SEAL ON THIS 2ND DAY OF JANUARY 2026. FIELD WORK 12/31/2025. THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY. SURVEY NUMBER <u>25-31568</u> <i>Kenneth W. Vidovic</i> ILLINOIS LAND SURVEYOR NO. 3701 EXPIRES 11/30/2026</p>
---	---

FOR OFFICE USE ONLY

Verified by Planner (please initial): _____

Payment received from:

Petition #: _____

Common Address: _____

Date filed: _____

Meeting date requested: _____

ZONING BOARD OF APPEALS
JOLIET, ILLINOIS
PETITION FOR SPECIAL USE PERMIT

City of Joliet Planning Division, 150 W. Jefferson St., First Floor, South Wing, Joliet, IL 60432
Phone (815)724-4050 Fax (815)724-4056

ADDRESS FOR WHICH SPECIAL USE IS REQUESTED: 370 RUBY ST JOLIET ILLINOIS 60435

PETITIONER'S NAME: ISRAEL HERNANDEZ

HOME ADDRESS: _____ ZIP CODE: _____

BUSINESS ADDRESS: _____ ZIP CODE: _____

PHONE: (Primary) _____ (Secondary) _____

EMAIL ADDRESS: _____ FAX: _____

PROPERTY INTEREST OF PETITIONER: _____

OWNER OF PROPERTY: ISRAEL HERNANDEZ (SELF)

HOME ADDRESS: _____ ZIP CODE: _____

BUSINESS ADDRESS: _____ ZIP CODE: _____

EMAIL ADDRESS: _____ FAX: _____

Any use requiring a business license shall concurrently apply for a business license and submit a copy with this petition. Additionally, if this request is for operation of a business, please provide the following information:

BUSINESS REFERENCES (name, address, phone):

OTHER PROJECTS AND/OR DEVELOPMENTS:

PERMANENT INDEX NUMBER (TAX NO. OR P. I. N.): 30-07-09-200-001-0000 ;

_____ ; _____ ; _____ .

Property Index Number/P.I.N. can be found on tax bill or Will County Supervisor of Assessments website

LEGAL DESCRIPTION OF PROPERTY (attached copy preferred):

THAT PRT OF LOT 12 IN PAESOLD'S SUB OF BLOCK 34 IN NORTH JOLIET, DAF: BEG AT THE NW COR OF SD LOT 12; THC E'LY ALG THE N LN OF SD LOT TO THE NE COR OF SD LOT; THE SW'LY ALG THE E LN OF SD LOT, A DIST OF 110.40 FT; THC NW'LY TO A PT ON THE W LN OF SD LOT THAT IS 96 FT S OF THE NW COR THROF; THC N ALG THE W LN OF SD LOT TO THE POB, BEING PART OF THE W1/2 OF THE NE1/4 OF SEC. 9, T35N-R10E.

LOT SIZE: WIDTH: _____ DEPTH: _____ AREA : _____

PRESENT USE(S) OF PROPERTY: MECHANIC GARAGE FOR MY DEALER ONLY CARS

PRESENT ZONING OF PROPERTY: _____

SPECIAL USE REQUESTED: _____

The Zoning Board of Appeals is authorized to grant a special use permit provided the applicant establishes by clear and convincing evidence:

- (1) That the establishment, maintenance, or operation of the special use will not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare; and
- (2) That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood; and
- (3) That the establishment of the special use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district; and
- (4) That adequate utilities, access roads, drainage, and/or other necessary facilities have been or will be provided; and
- (5) That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets; and
- (6) That the special use shall in all other respects conform to the applicable land use regulations of the district in which it is located and shall not be in violation of any other applicable law, ordinance or regulation; and
- (7) At least one (1) year has elapsed since any denial of any prior application for a special use permit that would have authorized substantially the same as all or part of the sites, unless conditions in the area have substantially changed.

Please describe how this request meets the criteria by responding to the following questions in your own words.

1. How will the establishment, maintenance, or operation of the special use affect the public health, safety, morals, comfort, or general welfare?

IT WILL NOT AFFECT IT

2. How will the special use impact properties in the immediate area? _____

IT WILL BE PROVIDING LOCAL TRUSTWORTHY MECHANICAL SERVICE AND BULDING A POSITIVE COMMUNITY REPUTATION IN THE NEIGHBORHOOD

3. Will the use impede the normal/orderly development/improvement of surrounding property?

NO, WE HAVE ENOUGH SPACE ON OUR LOT FOR VEHICLES THAT ARE BEING FIXED AND WAITING TO BE FIXED AND ALSO ROOM FOR CUSTOMERS TO HAVE TWO DIFFERENT EXITS OFF THE LOT

4. Are adequate utilities, access roads, drainage, and/or other necessary facilities provided?

YES

5. Have adequate measures been taken to provide ingress/egress design to minimize traffic congestion in public streets?

YES

6. Does the use conform to the applicable land use regulations of the district in which it is located and does it violate any other applicable law, ordinance or regulation?

YES ,

DOES NOT VIOLATE ANY LAW, ORDINANCES OR REGULATIONS

7. Has at least one (1) year elapsed since any denial of any prior application for a special use permit that would have authorized substantially the same as all or part of the sites (unless conditions in the area have changed substantially)?
-
-

REQUIRED SUPPORTING ATTACHMENTS

- Site plan / concept plan / floor plan / building elevation plan
- Joliet Ownership Disclosure form
- Business license application (if applicable)

NOTARIZATION OF PETITION

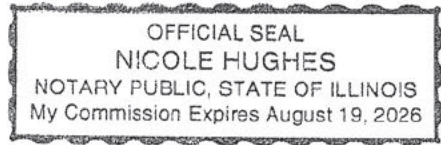
STATE OF ILLINOIS) ss
COUNTY OF WILL)

I, Israel Hernandez, depose and say that the above statements are true and correct to the best of my knowledge and belief. I agree to be present in person or by representation when this petition is heard before the Zoning Board of Appeals.




Petitioner's Signature

Owner's Signature
(If other than petitioner)



Subscribed and sworn to before me
this 12 day of January, 2020



FOR OFFICE USE ONLY

***Verified by Planner (please initial): _____ ***

Payment received from:

Petition #: _____

Common Address: _____

Date filed: _____

Meeting date assigned: _____

ZONING BOARD OF APPEALS
JOLIET, ILLINOIS

PETITION FOR VARIATION/APPEAL

City of Joliet Planning Division, 150 W. Jefferson St., Joliet, IL 60432
Ph (815)724-4050 Fax (815)724-4056

ADDRESS FOR WHICH VARIATION IS REQUESTED: 370 RUBY ST JOLIET, IL 60435

PETITIONER'S NAME: ISRAEL HERNANDEZ

HOME ADDRESS: [REDACTED] ZIP CODE: [REDACTED]

BUSINESS ADDRESS: 370 RUBY ST JOLIET ,IL ZIP CODE: 60435

PHONE: (Primary) [REDACTED] (Secondary) _____

EMAIL ADDRESS: [REDACTED] FAX: _____

PROPERTY INTEREST OF PETITIONER: AUTO MECHANIC SHOP

OWNER OF PROPERTY: ISRAEL HERNANDEZ

HOME ADDRESS: [REDACTED] ZIP CODE: [REDACTED]

BUSINESS ADDRESS: 370 RUBY ST JOLIET IL ZIP CODE: 60435

EMAIL ADDRESS: [REDACTED] FAX: _____

Any use requiring a business license shall concurrently apply for a business license and submit a copy with this petition. Additionally, if this request is for operation of a business, please provide the following information:

BUSINESS REFERENCES (name, address, phone or email):

ALFA MUFFLERS: LUIS PACHECO [REDACTED]

CARNITAS DON JOSE & SUPERMARKET [REDACTED]

EL PRIMO RESTAURANTS [REDACTED]

OTHER PROJECTS AND/OR DEVELOPMENTS:

PERMANENT INDEX NUMBER (TAX NO. OR P. I. N.): 30-07-09-200-001-0000 ;
370 RUBY ST ; JOLIET ; ILLINOIS 60435 .

Property Index Number/P.I.N. can be found on tax bill or Will County Supervisor of Assessments website

LEGAL DESCRIPTION OF PROPERTY (an attached copy preferred):

LOT SIZE: WIDTH: 126.50 DEPTH: 100.52 AREA: 12720

PRESENT USE(S) OF PROPERTY: KPERSONAL GARAGE TO CLEAN AND FIX MY OWN CARS

PRESENT ZONING OF PROPERTY: B-3 general business

VARIATION/APPEAL REQUESTED: Variation to allow an auto repair facility with an opening within 100 feet of a residential zoning district

RESPONSE TO VARIATION CRITERIA

The Zoning Board of Appeals is authorized to grant or recommend relief only when it has received adequate evidence to establish a practical difficulty or hardship. The evidence must support each of the following three conditions:

- (a) The property in question cannot yield a reasonable return by use permitted and subject to the conditions allowed by the regulations in the particular district or zone.
- (b) The plight of the owner is due to unique circumstances.
- (c) The variation, if granted, will not alter the essential character of the locality.

Please describe how this request meets the criteria by responding to the following questions in your own words.

1. How do the applicable zoning regulations prevent the property in question from yielding a reasonable return?
CURRENT ZONING DOESNT PERMIT A USE THAT CAN FULLY UTILIZE THE SIZE LOCATION AND CONFIGURATION.

THE PROPERTY IS IDEALLY SUITED FOR AN AUTO REPAIR SHOP WITH INDOOR VEHICLE SERVICE AND AMPL E ON SITE PARKING
AS A RESULT UNDER EXISTING ZONING THE PROPERTY CANNOT PRODUCE A RESOABLE RETURN ,
GRANTING A VARIANCEIS ESSENTIAL TO ENABLE SUSTAINABLE USE OF THE PROPERTY

2. *What unique circumstances exist which mandate a variance?*

TO ALLOW AN AUTO REPAIR SHOP WITHIN 100 FEET OF A RESIDENTIAL ZONING DISTRICT

3. *What impact would the granting of this variance have upon the essential character of the general area? Please include both positive and negative impacts.*

POSITIVES; CONVENIENT ACCESS TO VEHICLE MAINTENANCE AND REPAIR SERVICES FROM AN HONEST SHOP

SUPPORTS OTHER NEAR BY BUISNESSES THROUGH THE PURCHASE OF SUPPLIES

ENHANCE THE PROPERTY CONTRIBUTION TO THE NEIGHBORHOOD JHHJU

HONESTLY I SEE NO NEGATIVE IMPACTS WE HAVE EVERYTHING COVERED

REQUIRED SUPPORTING ATTACHMENTS

- Site plan / concept plan / floor plan / building elevation plan
- Joliet Ownership Disclosure form
- Business license application (if applicable)

NOTARIZATION OF PETITION

STATE OF ILLINOIS) ss
COUNTY OF WILL)

I, Israel Hernandez, depose and say that the above statements are true and correct to the best of my knowledge and belief. I agree to be present in person or by representation when this petition is heard before the Zoning Board of Appeals.

[Redacted Signature]
Petitioner's Signature

[Redacted Signature]
Owner's Signature
(If other than petitioner)

Subscribed and sworn to before me by Israel Hernandez
this 06 day of March, 2020.

[Redacted Notary Signature]

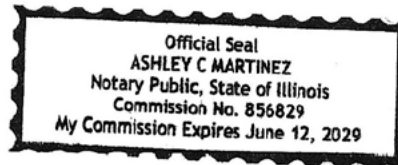


EXHIBIT 'A'
Legal Description

THAT PART OF LOT 12 IN PAESOLDS SUBDIVISION OF BLOCK 34 IN NORTH JOLIET, DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHWEST CORNER OF SAID LOT 12, THENCE EASTERLY ALONG THE NORTH LINE OF SAID LOT TO THE NORTHEAST CORNER OF SAID LOT; THENCE SOUTHWESTERLY ALONG THE EAST LINE OF SAID LOT A DISTANCE OF 110.4 FEET; THENCE NORTHWESTERLY TO A POINT ON THE WEST LINE OF SAID LOT THAT IS 96 FEET SOUTH OF THE NORTHWEST CORNER THEREOF, THENCE NORTH ALONG THE WEST LINE OF THE SAID LOT TO THE POINT OF BEGINNING, ALL IN SECTION 9, TOWNSHIP 35 NORTH, AND IN RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN WILL COUNTY, ILLINOIS

CITY OF JOLIET OWNERSHIP DISCLOSURE FORM

The City of Joliet requires that applicants for zoning relief, subdivision approval, building permits and business licenses disclose the identity of all persons having an ownership interest in the business and the real property associated with the application. A copy of this form must be completed and submitted with other application materials. Failure to properly complete and submit this form may result in the denial of the application.

I. INFORMATION ABOUT THE APPLICATION

This form is submitted as part of an application for the following (check all that apply):

- Rezoning, Special Use Permit, Variation, or Other Zoning Relief (Complete Sections II and III)
- Preliminary Plat, Final Plat, or Record Plat of Subdivision (Complete Sections II and III)
- Building Permit (Complete Sections II and III)
- Business License (Complete All Sections)

II. INFORMATION ABOUT THE PROPERTY

The address and PIN(s) of the real property associated with this application are:

370 RUBY ST JOLIET ILLINOIS 60435

PIN(s): 30-07-09-200-001-0000

III. PROPERTY OWNERSHIP

Select the type of owner of the real property associated with this application and fill in the appropriate contact information below:

- Individual:** State the names, addresses, and phone #'s of the individual owner(s)
- Corporation:** State the names, addresses, and phone #'s of all persons holding 3% or more of the stock of the corporation and the percentage of shares held by such stockholders
- Limited Liability Company:** State the names, addresses, and phone #'s of all members of the company along with the percentage of ownership held by each member
- Land Trust:** State the names, addresses, and phone #'s of the trustee(s) and all beneficiaries
- Partnership:** State the names, addresses, and phone #'s of all partners
- Other type of organization:** State the names, addresses, and phone #'s of all persons having a legal or equitable ownership interest in the organization or the right to direct the affairs of the organization

ISRAEL HERNANDEZ

E-MAIL:

FAX:

IV. BUSINESS OWNERSHIP

If the owner of the business is different than the owner of the real property associated with the application, then the following information must be provided:

Select the type of business owner associated with this application and fill in the contact information below:

- Individual:** State the names, addresses, and phone #'s of the individual owner(s)
- Corporation:** State the names, addresses, and phone #'s of all persons holding 3% or more of the stock of the corporation and the percentage of shares held by such stockholders
- Limited Liability Company:** State the names, addresses, and phone #'s of all members of the company along with the percentage of ownership held by each member
- Partnership:** State the names, addresses, and phone #'s of all partners
- Other type of organization:** State the names, addresses, and phone #'s of all persons having a legal or equitable ownership interest in the organization

E-MAIL: _____ FAX: _____

NOTE:
If a stockholder, member, beneficiary or partner disclosed in Section III or Section IV is not an individual, then the individuals holding the legal or equitable title to the real property or business associated with the application must also be disclosed. For example, if the real property associated with an application is owned by a land trust, and the beneficiary of the land trust is a limited liability company, then the members of the limited liability company must be disclosed. If one of the members of the limited liability company is a partnership, then the identity of the partners must be disclosed. If one of the partners is a corporation, then all persons owning 3% or more of the issued stock must be disclosed.

SIGNED: _____

DATE: 12/3/2025

Name, Title, and Telephone Numbers of Person Completing and Submitting This Form:
ISRAEL HERNANDEZ OWNER

PRINT

ZONING BOARD OF APPEALS
CRITERIA FOR SPECIAL USES

Section 47-5.2 (C) of the Zoning Ordinance states:

A special use permit shall not be granted unless the applicant establishes by clear and convincing evidence:

	Does the evidence presented sustain this criteria?	Comments
(1) That the establishment, maintenance or operation of the special use will not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare; and		
(2) That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood; and		
(3) That the establishment of the special use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district; and		
(4) That adequate utilities, access roads, drainage, and/or other necessary facilities have been or will be provided; and		
(5) That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets; and		
(6) That the special use shall in all other respects conform to the applicable land use regulations of the district in which it is located and shall not be in violation of any other applicable law, ordinance or regulation; and		
(7) At least one (1) year has elapsed since any denial of any prior application for a special use permit that would have authorized substantially the same as all or part of the sites, unless conditions in the area have substantially changed.		

ZONING BOARD OF APPEALS
CRITERIA FOR VARIATIONS

Section 47-19.8 of the Zoning Ordinance states:

A variation shall not be granted in any case unless the Board shall find and clearly state in its record of the case that:

	Does the evidence presented sustain this criteria?	Comments
<p>(1) Reasons sustaining the contention that strict enforcement of the Ordinance would involve practical difficulties or impose exceptional hardship were found as follows:</p> <p>(a) _____</p> <p>(b) _____</p> <p>(c) _____</p> <p>(list of reasons)</p>		
<p>(2) Adequate evidence was submitted to establish practical difficulties or particular hardship so that, in the judgment of the Board, a variation is permitted because the evidence sustained the existence of each of the three following conditions:</p> <p>(a) The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in the particular district or zone.</p> <p>(b) The plight of the owner is due to unique circumstances.</p> <p>(c) The variation, if granted, will not alter the essential character of the locality.</p>		
<p>(3) A public hearing was held on such variation of which at least 15 days and not more than 30 days notice was published in the _____ (name of newspaper) on _____ (date).</p>		



City of Joliet

150 West Jefferson Street
Joliet, IL 60432

Memo

File #: TMP-9649

Agenda Date:4/16/2026

STAFF REPORT

DATE: April 9, 2026
TO: Zoning Board of Appeals
FROM: Helen Miller, Planner
RE: Petition Number: 2026-20 and 2026-21
Applicant: Abraham Garcia
Status of Applicant: Property owner
Location: 540 Bluff Street (Council District #4)
Request: 2026-20: Variation of Use to allow conversion of a single-unit residence into a two-unit residence, an R-3 (one- and two-family residential) use, in the R-2 (single-family residential) zoning district
2026-21: Variation to reduce the front yard setback to allow a second story addition

Purpose

The applicant is requesting a Variation of Use to allow the conversion of a single-unit residence into a two-unit residence, an R-3 (one- and two-family residential) use, within the R-2 (single-family residential) zoning district at 540 Bluff Street. The Variation of Use request must be considered by the City Council following the recommendation of the Zoning Board of Appeals.

The applicant is also requesting a Variation to reduce the required front yard setback from 30 feet to 12.9 feet to allow a second story addition on the existing structure. The Zoning Board of Appeals makes the final decision on this Variation request.

Site Specific Information

The subject site is an 80-foot by 100-foot double lot (8,000 square feet) that contains a one-and-a-half-story single-unit residence built around 1906. There is an existing asphalt driveway along the south side of the house. The property is zoned R-2 (single-family residential).

The property was reclassified from the R-4 (multi-family residential) zoning district to the R-2 (single-family residential) zoning district in 1995 as part of a neighborhood-wide rezoning process. At that time, the property was identified as a single-family use. Based on historic Joliet Street Directory information, the property appears to have been a single-family residence since its construction.

The house has an existing nonconforming front yard setback: the setback to the porch is around 8.3 feet and the setback to the front wall of the house is around 12.9 feet. The required front yard setback in the R-2 district is 30 feet. Section 47-17.22(3) *Non-conforming Structures* of the Zoning Ordinance allows pre-existing nonconformities to remain as long as the structures are not enlarged or altered in a way that increases their nonconformity. The addition of a full second story, with the same 12.9-foot front yard setback as the existing structure, increases the nonconformity and requires approval of a Variation.

Surrounding Zoning, Land Use and Character

The property is located in the Bicentennial Bluffs neighborhood on the east side of Bluff Street, south of Lime Street. The area contains a mix of single-unit, two-unit, and multi-unit residential uses. The zoning and land use for the adjacent properties are as follows:

- North: R-2 (single-family residential), residence
- South: R-2 (single-family residential), residence and auto repair business
- East: Des Plaines River
- West: R-2 (single-family residential), residences

Applicable Regulations

- Section 47-7 R-3 (One- and Two-Family Residential) District
- Section 47-6 R-2 (Single-Family Residential) District
- Section 47-17.28 Variation of Use

Section 47-17.28: Variation of Use: *A "variation of use" shall be defined to mean relief from strict compliance with the use limitations of this Ordinance regarding the classification, regulation, and restriction of the location where trades, industries, businesses, and residences may exist.*

Discussion

The petitioner, Abraham Garcia, is requesting a Variation of Use to allow a two-unit residence in the R-2 (single-family residential) zoning district. The petitioner purchased the property in December 2025 and began construction to convert the structure from a one-and-a-half-story single-unit residence into a two-story two-unit residence. The owner began work without a permit. When City staff alerted the owner to apply for building permits, staff also informed the owner that a two-unit was a prohibited use in this zoning district and that approvals of a Variation of Use and Variation would also be needed. The owner ceased work on the structure and applied for these petitions.

The structure prior to the recent construction is shown in Figure 1; the current structure is shown in Figure 2. The proposed elevations and floor plans are included as an

attachment to the staff report packet. Each floor would contain one dwelling unit with three bedrooms and approximately 1,012 square feet of living area. The units would have separate entrances and no interior connections. The existing front porch and enclosed side porch would remain. The proposed two-story structure would have a gable roof with a 4:12 pitch. As a condition of approval, the parkway along the frontage of the north side of the lot would need to be returned to grass.

The required number of off-street parking spaces for a two-unit residence is three spaces. The site plan shows that these will be provided on the existing paved driveway along the south side of the house. The property also meets the required lot area per family of 3,500 square feet, which is the area required per unit for two-unit dwellings in the R-3 (one- and two-family residential) district.

The construction of a full second story requires approval of a Variation because the front wall of the second story has the same nonconforming front yard setback of 12.9 feet as the existing structure. The Variation for the second story addition is required regardless of whether the structure contains one unit or two units.

The petitioner states that they plan to live in one of the units and rent out the other unit. If the Variation of Use is approved, the property will need to be enrolled in and comply with the City's Rental Inspection Program.

Recommended Action

Staff does not find that the Variation of Use request meets the criteria for hardship or practical difficulties. However, staff does find that the proposed two-unit use would not alter the essential character of the area. The neighborhood has a mix of single- and multi-unit properties. The property in question can accommodate the required number of off-street parking spaces. Approval of the Variation of Use would allow one additional dwelling unit within the neighborhood.

Staff finds that the setback Variation request meets the following criteria: there is a physical hardship due to the house's existing location on the lot. The house was built prior to the adoption of the Zoning Ordinance bulk requirements and has an existing nonconforming front yard setback. The petitioner would not be able to add a second story in an architecturally sensitive manner and meet the current setback requirements. Additionally, approval of the requested Variation to allow a full second story will not alter the essential character of the area.

Conditions

If the Zoning Board desires to approve the Variation of Use to allow conversion of a single-unit residence into a two-unit residence and Variation to reduce the front yard

setback to allow a second story addition at 540 Bluff Street, staff recommends that the following conditions would be included:

1. That the property shall be enrolled in and comply with the City's Rental Inspection Program;
2. That the area between the street edge and the front property line shall be seeded or sodded with turf grass prior to issuance of a Certificate of Occupancy;
3. That the use of the property shall not be expanded in the future;
4. Should the property be declared a public nuisance, the property may be subject to a rehearing and a possible revocation of the Variation of Use.

Figure 1: One-and-a-half-story structure at 540 Bluff Street (April 2025)



Figure 2: Current structure at 540 Bluff Street (April 2026)



Figure 3: Current structure at 540 Bluff Street (April 2026)

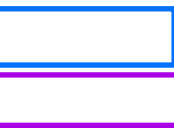


Figure 4: Aerial view of the subject site (2025)





2026-20a, 2026-21a





= Property in Question / Propiedad en cuestión




= 600' Public Notification Boundary /
Límite de notificación pública de 600 ft (180 m)



2026-20, 2026-21



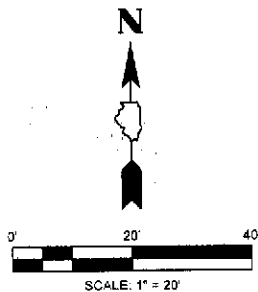
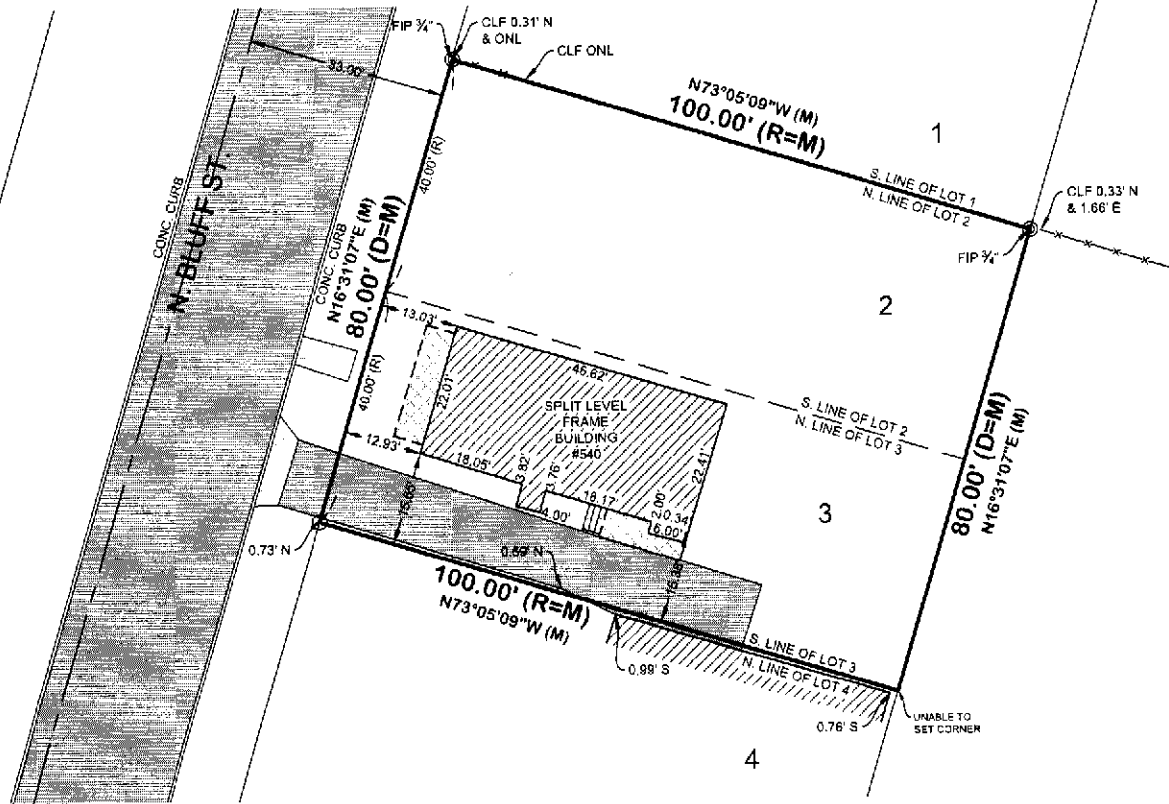
 = Property in Question
 = 600' Public Notification Boundary

Legend			
	B-1		R-2
	B-2		I-TA
	B-3		R-2A
	I-1		I-TC
	I-2		R-1
	I-T		R-1A
			R-1B
			R-B
			R-4
			R-3
			R-5

Will County 911, City of Joliet

PLAT OF SURVEY

OF
 LOTS 2 AND 3, IN BLOCK 4 IN NORTH JOLIET, IN THE CITY OF JOLIET, A SUBDIVISION OF PART OF THE NORTHEAST 1/4 OF SECTION 9, IN TOWNSHIP 35 NORTH, AND RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN WILL COUNTY, ILLINOIS.



LEGEND

(M)	MEASURED DIMENSION	ONL	ON LINE	⊙	FOUND IRON PIPE 1/2" (FIP)		BUILDING
(R)	RECORD DIMENSION	POB	POINT OF BEGINNING	⊙	SET IRON PIPE 1/2" (SIP)		CONCRETE
(D)	DEED DIMENSION	POC	POINT OF COMMENCEMENT	⊙	FOUND IRON ROD 5/8" (FIR)		ASPHALT
CH	CHORD DIMENSION	OH	OVERHANG	⊙	SET IRON ROD 5/8" (SIR)		WOOD
B.S.L.	BUILDING SETBACK LINE	TYP	TYPICAL	+	CUT CROSS		METAL
⊙C	POINT OF CURVATURE	CLF	CHAIN LINK FENCE	+	FOUND CROSS		BRICK
PT	POINT OF TANGENCY	WF	WOOD FENCE	+	CUT NOTCH		GRAVEL
PRC	POINT OF RETURN CURVE	MF	IRON/METAL FENCE	+	FOUND CROSS		STONE
L	ARC LENGTH DIMENSION	PF	PLASTIC/VINYL FENCE	+	FOUND MAG NAIL (FMAG)		WATER
R	ARC RADIUS DIMENSION	WRF	WIRE FENCE	+	SET MAG NAIL (SMAG)		OVERHANG
CH	ARC CHORD DIMENSION	GR	GUARD RAIL	+	RTW		ADDITION

SURVEY NOTES:

- FOR BUILDING LINES, EASEMENTS AND OTHER RESTRICTIONS NOT SHOWN HEREON, REFER TO YOUR DEED, TITLE POLICY AND LOCAL ZONING ORDINANCE ETC.
- ALL DIMENSIONS ARE IN FEET AND DECIMAL PARTS THEREOF.
- REVIEW LEGAL DESCRIPTION AND RECORD MEASUREMENT ON THIS PLAT AND REPORT ANY DISCREPANCIES TO SURVEYOR AT ONCE, BEFORE DAMAGE MAY OCCUR.
- COMPARE ALL POINTS BEFORE BUILDING BY SAME.
- WE DO NOT CERTIFY UTILITIES, THEREFORE, CONTACT UTILITIES COMPANIES BEFORE BUILDING.
- BASIS OF BEARING IF SHOWN IS ASSUMED UNLESS NOTED.
- DATE OF FIELD WORK IS DATE SHOWN IN CERTIFICATION.
- NO MEASUREMENTS ARE TO BE ASSUMED BY SCALING.
- ANY COMMENTS, MODIFICATIONS, ALTERATIONS AND REVISIONS MUST BE BROUGHT TO OUR ATTENTION WITHIN 90 DAYS OF DATE OF COMPLETION OF THIS SURVEY.
- TREES AND UTILITIES ARE NOT SHOWN HEREON.
- CATEGORY OF THIS SURVEY IS BASED UPON CLIENT'S REQUEST.
- TO ENSURE LEGITIMACY OF THIS PLAT, IT MUST CARRY THE SEAL OF THE PROFESSIONAL LICENSEE WHO PREPARED THIS PLAT.
- ALL BUILDING DIMENSIONS AND TIES ARE TO CURRENT SIDING MATERIAL AND NOT TO FOUNDATION.
- ARCHITECT, OWNER OR ENGINEER SHOULD VERIFY AND RE-MEASURE BUILDING FOR BUILDING ADDITION PURPOSES.
- NO PHOTOCOPIES/SCANNED COPIES SHALL BE MADE WITHOUT EXPRESS AUTHORIZATION FROM PROFESSIONAL LAND SURVEYOR.
- NO IMPROVEMENTS SHALL BE CONSTRUCTED BASED ON TIES SHOWN HEREON WITHOUT PRIOR WRITTEN APPROVAL FROM THE PROFESSIONAL LAND SURVEYOR. REFERENCE SHALL BE MADE ONLY TO EXISTING MONUMENTATION.
- REFER TO LOCAL TAX ASSESSOR'S OFFICE FOR REPORTED SQUARE FOOTAGE.

© 2025 PI SURVEYING PLLC - ALL RIGHTS RESERVED.

SNOW NOTE:

DUE TO SNOW OR ICE COVERAGE, SOME IMPROVEMENTS MAY NOT BE SHOWN HEREON.

SUBJECT SITE AREA:
8,000.2± SQ. FT.

BASIS OF BEARINGS:

THE BASIS OF BEARINGS IS THE STATE PLANE COORDINATE SYSTEM (SPCS) NAD 83 (2011) EAST ZONE. ALL MEASUREMENTS ARE ON THE GROUND.

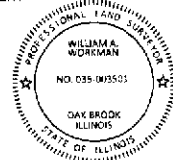
STATE OF ILLINOIS
 COUNTY OF DUPAGE

WE, PI SURVEYING PLLC, AN ILLINOIS PROFESSIONAL DESIGN FIRM DO HEREBY CERTIFY THAT THE SURVEY WAS MADE UNDER ITS SUPERVISION ON THE GROUND AND THE PLAT HEREON DRAWN IS A REPRESENTATION OF SAME. THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR BOUNDARY SURVEY.

DATED AT OAK BROOK, ILLINOIS THIS 9th DAY OF DECEMBER, 2025.

BY: _____
 ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 035.003501
 LICENSE EXPIRES 11/30/2025

ILLINOIS PROFESSIONAL DESIGN FIRM NO. 184.008811-0003



COPYRIGHT NOTICE
 THIS DRAWING IS THE PROPERTY OF PI SURVEYING PLLC AND IS NOT TO BE USED FOR ANY PURPOSE OTHER THAN THE SPECIFIC PROJECT AND SITE NAMED HEREIN AND CANNOT BE REPRODUCED IN ANY MANNER WITHOUT THE EXPRESS WRITTEN PERMISSION FROM PI SURVEYING PLLC



Pi Surveying PLLC
 LAND SURVEYORS

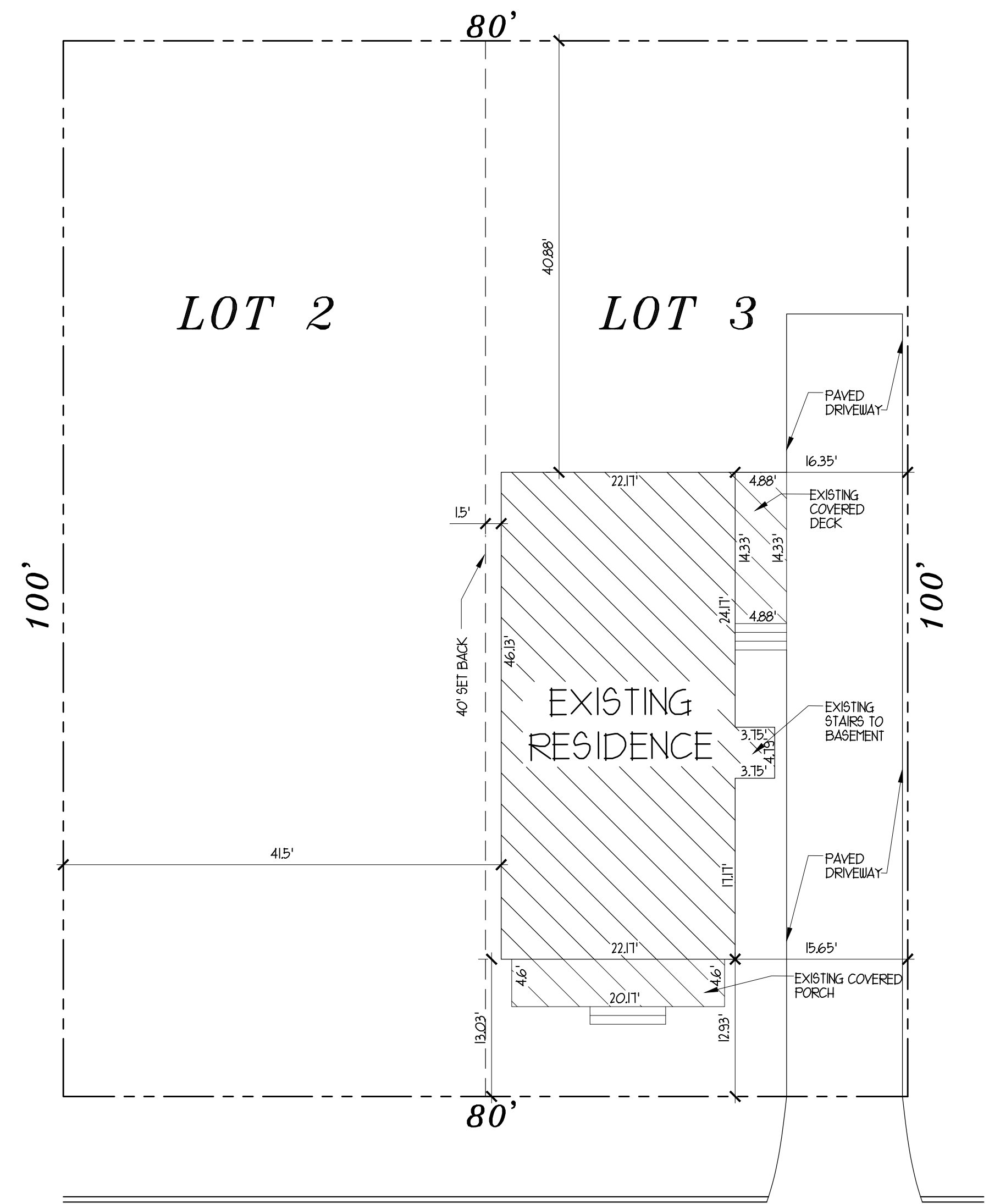
903 COMMERCE DRIVE, SUITE 210, OAK BROOK, IL 60423
 PHONE: (773) 444-0445 www.pisurveying.com

ADDRESS: 540 NORTH BLUFF STREET, JOLIET, IL, 60435

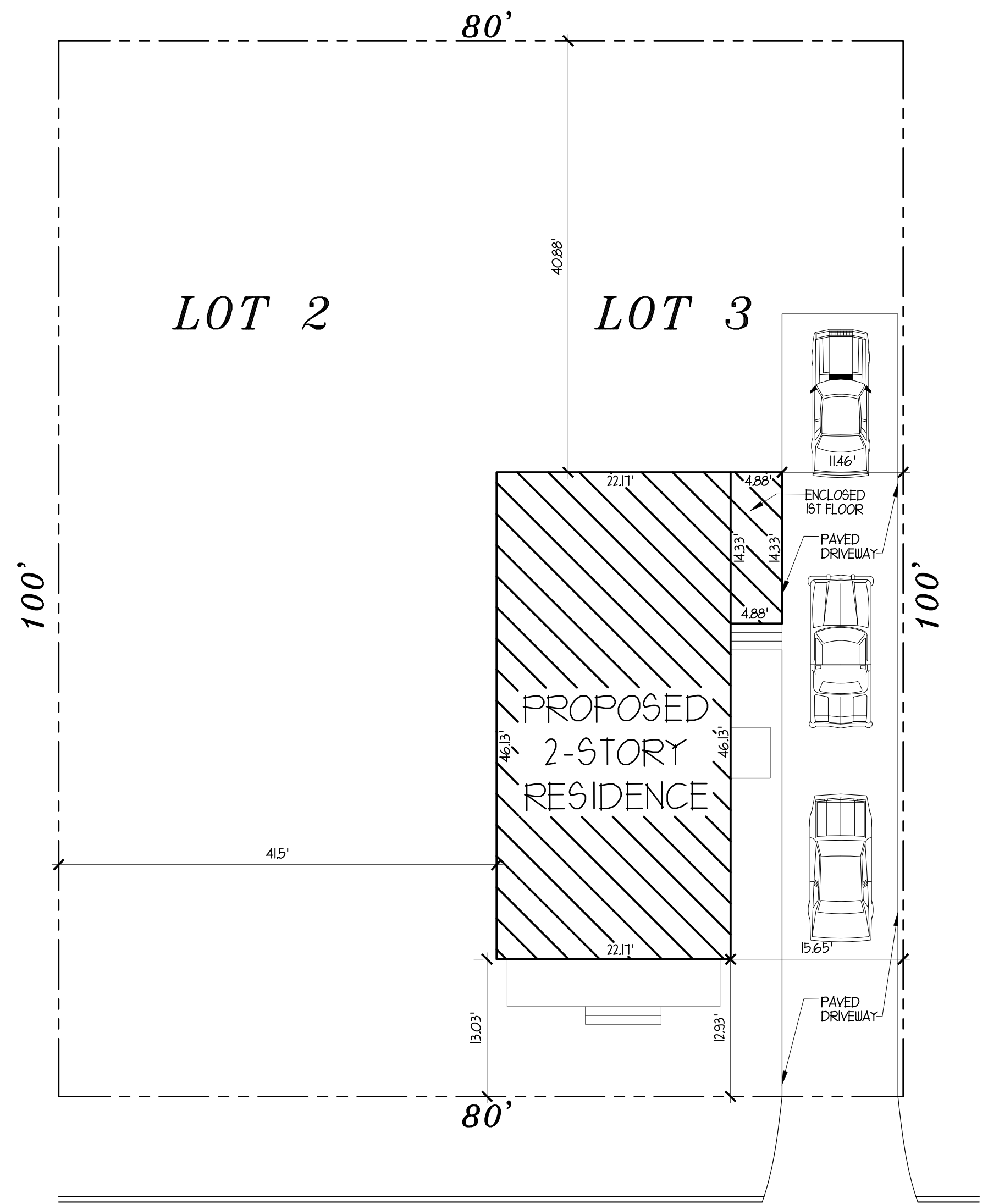
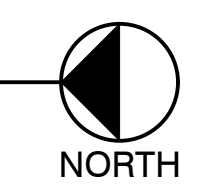
FILE NUMBER: L25-5782

ORDERED BY: HANSON & ASSOCIATES, LTD

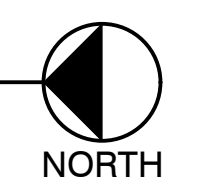
CATEGORY: BOUNDARY FIELD BY: AW DRAWN BY: AB CHECKED BY: WAW



N. BLUFF ST.



N. BLUFF ST.



DRAWING INDEX	
S-1	EXISTING & PROPOSED SITE PLANS
A-1	EXISTING FLOOR PLANS & WALL SECTION
A-2	EXISTING ELEVATIONS
A-3	PROPOSED FLOOR PLANS
A-4	PROPOSED ROOF PLAN & WALL SECTION
A-5	PROPOSED ELEVATIONS
E-1	PROPOSED ELECTRICAL PLANS

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ISSUED FOR CITY VARIANCE FEBRUARY 9, 2026

REVISION NO.	DATE	REMARKS

PROPOSED 2ND FLOOR ADDITION
 FOR : GARCIA
 540 N. BLUFF ST., JOLIET, IL, 60435

DRAWN BY: M.A.
 CHECKED BY: BOB GEBEL
 DATE: FEBRUARY 9, 2026
 PROJECT NO: 26-02
 TITLE: EXISTING FLOOR PLANS

SHEET A-1

REVISION NO.	DATE	REMARKS

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PROPOSED 2ND FLOOR ADDITION
 FOR: GARCIA
 540 N. BLUFF ST., JOLIET, IL, 60435

DRAWN BY: M.A.
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SHEET
 A-1

ADMINISTRATIVE NOTES

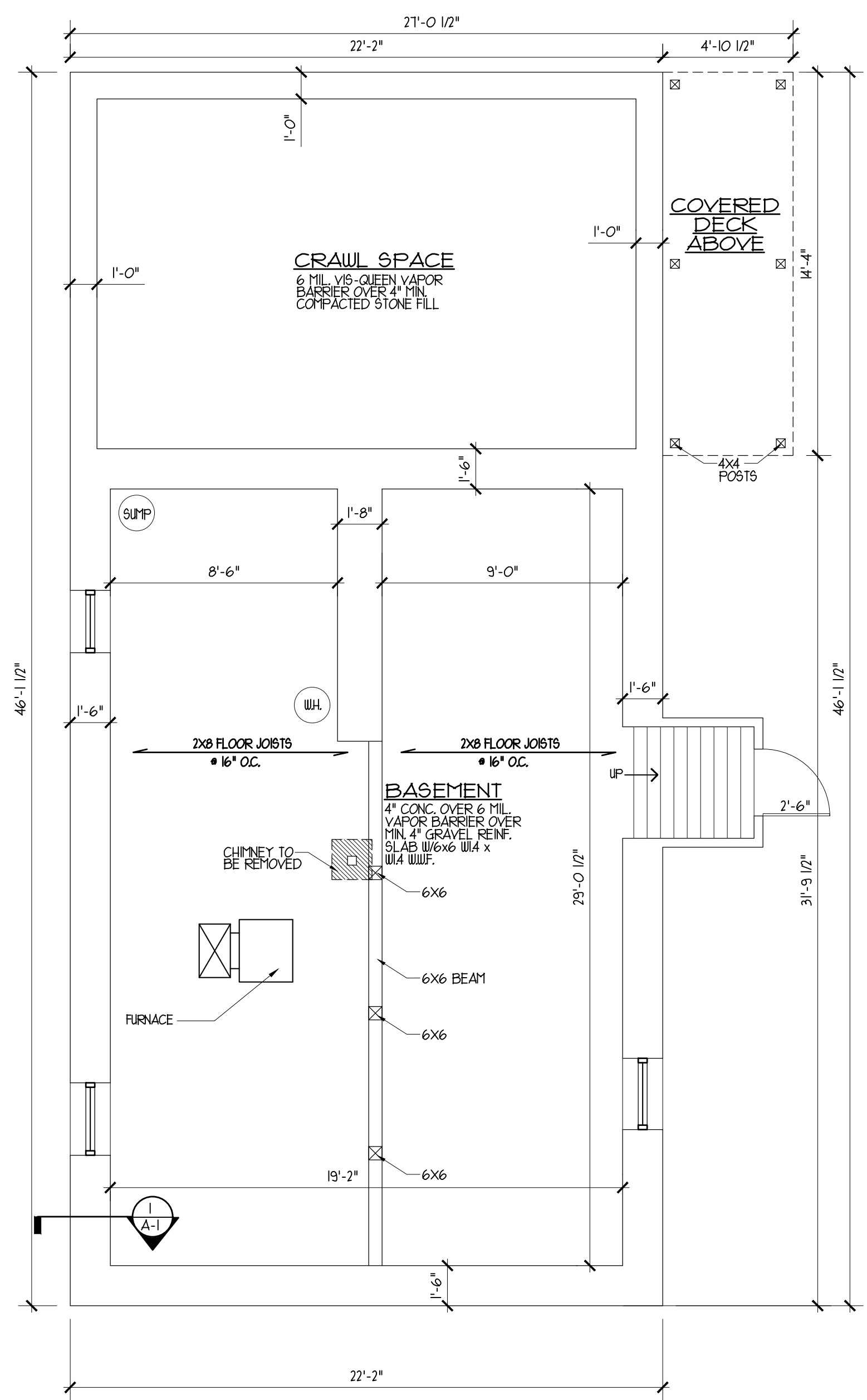
- THIS ARCHITECT HAS NOT BEEN RETAINED TO SUPERVISE CONSTRUCTION OF THIS PROJECT. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE CONSTRUCTION BASED ON THE DRAWINGS.
- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PREFERENCE OVER SCALED DIMENSIONS.
- THE INFORMATION CONTAINED IN THESE DRAWINGS WAS OBTAINED PREVIOUSLY. IF CONDITIONS HAVE CHANGED SUBSEQUENT TO COMPLETION OF THE DRAWING (I.E. DESIGN, CONTRACTOR, PRE-FABRICATED METAL BUILDING DESIGN OR SUPPLIER) THE ARCHITECT SHALL BE CONTACTED FOR REVISIONS TO THE DRAWINGS. IF NOT CONTACTED THE CONTRACTOR AND OWNER SHALL ASSUME RESPONSIBILITY FOR ANY VARIATIONS OR CHANGES FROM ANY INFORMATION, MATERIAL, ETC., ON THESE DRAWINGS.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD PRIOR TO STARTING THE WORK.
- ALL DIMENSIONS ON STRUCTURAL DRAWINGS TO BE CHECKED AND COORDINATED AGAINST ARCHITECTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS BY CONTRACTOR.
- THE CONTRACTOR, OWNER OR OTHER SHALL BE RESPONSIBLE FOR ANY DEVIATIONS OR CHANGES FROM THESE PLANS WITHOUT APPROVAL OF THE ARCHITECT.
- ALL CONSTRUCTION SHALL BE DONE BY A LICENSED CONTRACTOR AND ACCORDING TO THE ICC INTERNATIONAL RESIDENTIAL CODE 2018.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE LOCATION AND PLACEMENT OF INSERTS, HANGERS, SLEEVES, DUCTWORK, PADS AND ANCHOR BOLTS THAT ARE REQUIRED BY THE MECHANICAL EQUIPMENT. NO SLEEVES GREATER THAN 4 INCH DIAMETER OR ANY OPENINGS CLOSER THAN 12 INCHES TO A COLUMN SHALL BE ALLOWED IN THE CONCRETE WORK, UNLESS SHOWN ON THE STRUCTURAL DRAWINGS OR APPROVAL BY THE STRUCTURAL ENGINEER OR ARCHITECT. THE GENERAL CONTRACTOR SHALL VERIFY ALL OPENINGS THROUGH FLOORS AND WALLS WITH MECHANICAL AND ELECTRICAL CONTRACTORS.
- THE INFORMATION CONTAINED ON THE STRUCTURAL DRAWINGS IS IN ITSELF INCOMPLETE AND VOID UNLESS USED IN CONJUNCTION WITH THE CONTRACT DOCUMENTS AND WITH ALL THE SPECIFICATIONS, TRADE PRACTICES OR APPLICABLE STANDARDS, CODES, ETC., INCORPORATED THEREIN BY REFERENCE WHICH THE CONTRACTOR CERTIFIES KNOWLEDGE OF BY SIGNING THE CONTRACT.
- ALL PLUMBING SHALL BE DONE BY A LICENSED CONTRACTOR AND ACCORDING TO ILLINOIS STATE PLUMBING CODE 2014.
- ALL ELECTRICAL WORK SHALL BE DONE BY A LICENSED CONTRACTOR AND ACCORDING TO THE NATIONAL ELECTRICAL CODE 2014.
- ALL MECHANICAL WORK SHALL BE DONE BY A LICENSED CONTRACTOR AND ACCORDING TO THE INTERNATIONAL MECHANICAL CODE 2015.
- ALL INSULATION & ENERGY CONSERVATION WORK SHALL BE DONE ACCORDING TO THE INTERNATIONAL ENERGY CONSERVATION CODE 2012.

ALL COLORS, FINISHES, MATERIALS AND PRODUCTS TO BE APPROVED BY OWNER FROM SAMPLES OR SPECIFICATIONS FURNISHED BY CONTRACTOR.

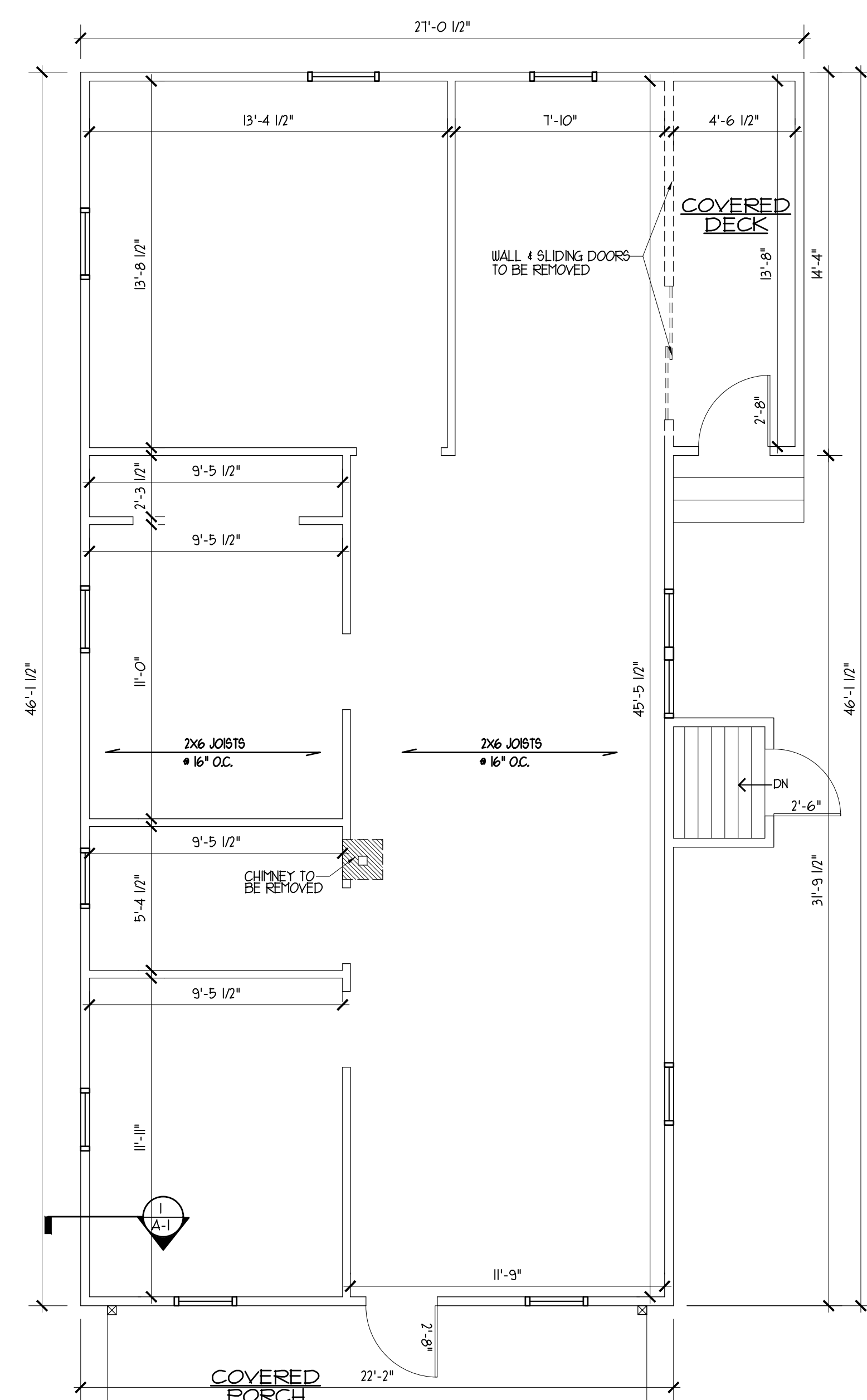
CONTRACTOR TO ASSUME FULL RESPONSIBILITY FOR COMPLIANCE WITH THE CONSTRUCTION DOCUMENTS, FOR DIMENSIONS TO BE CONFIRMED AND CORRELATED ON THE JOB SITE AND INDIVIDUAL DRAWINGS OR SETS OF DRAWINGS FOR FABRICATION PROCESS AND CONSTRUCTION TECHNIQUES (INCLUDING EXCAVATION, SHORING, SCAFFOLDING, BRACING, ERECTION, FORM WORK, ETC.) FOR THE VARIOUS TRADES AND FOR SAFE CONDITIONS ON THE JOB SITE.

STRUCTURAL LOADS -

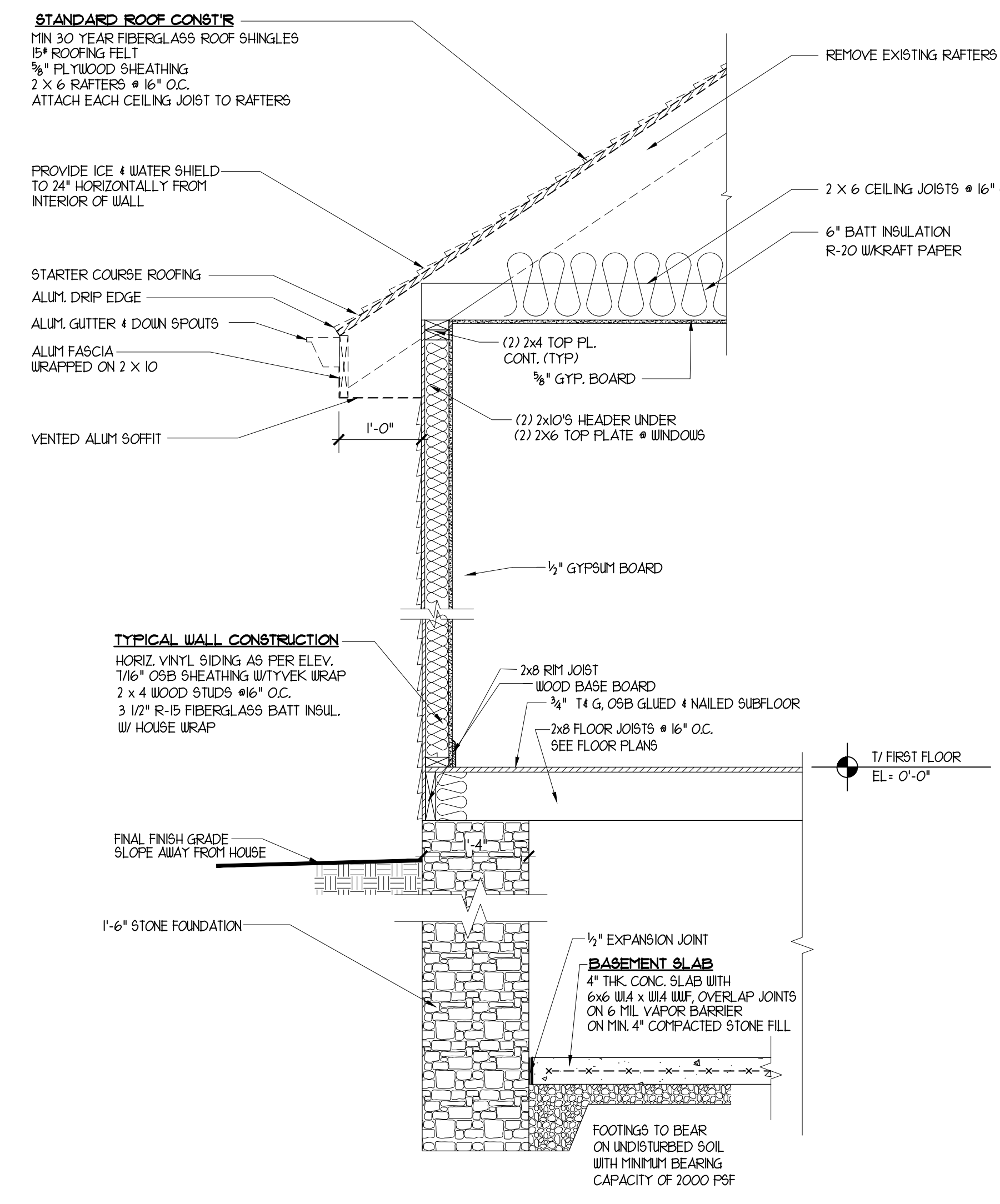
ROOF LOADS	SECOND FLOOR LOADS
30 PSF LIVE LOAD	30 PSF LIVE LOAD
15 PSF DEAD LOAD	15 PSF DEAD LOAD
FIRST FLOOR LOADS	
40 PSF LIVE LOAD	
15 PSF DEAD LOAD	
ATTIC FLOOR LOAD	
NO STORAGE	
10 PSF LIVE LOAD	
5 PSF DEAD LOAD	
WIND LOADS	
115 MPH	



EXISTING FOUNDATION PLAN
 SCALE: 1/4" = 1'-0"
 NORTH

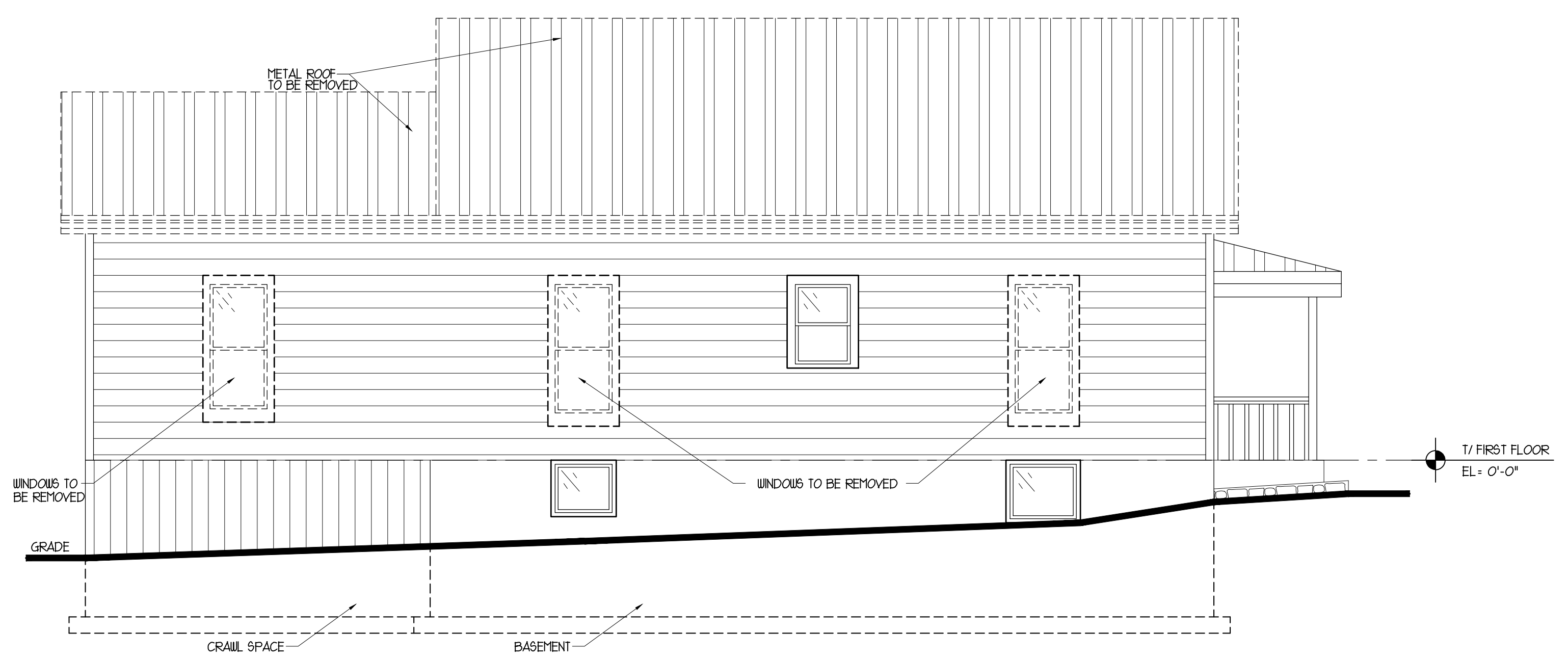


EXISTING FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"
 NORTH

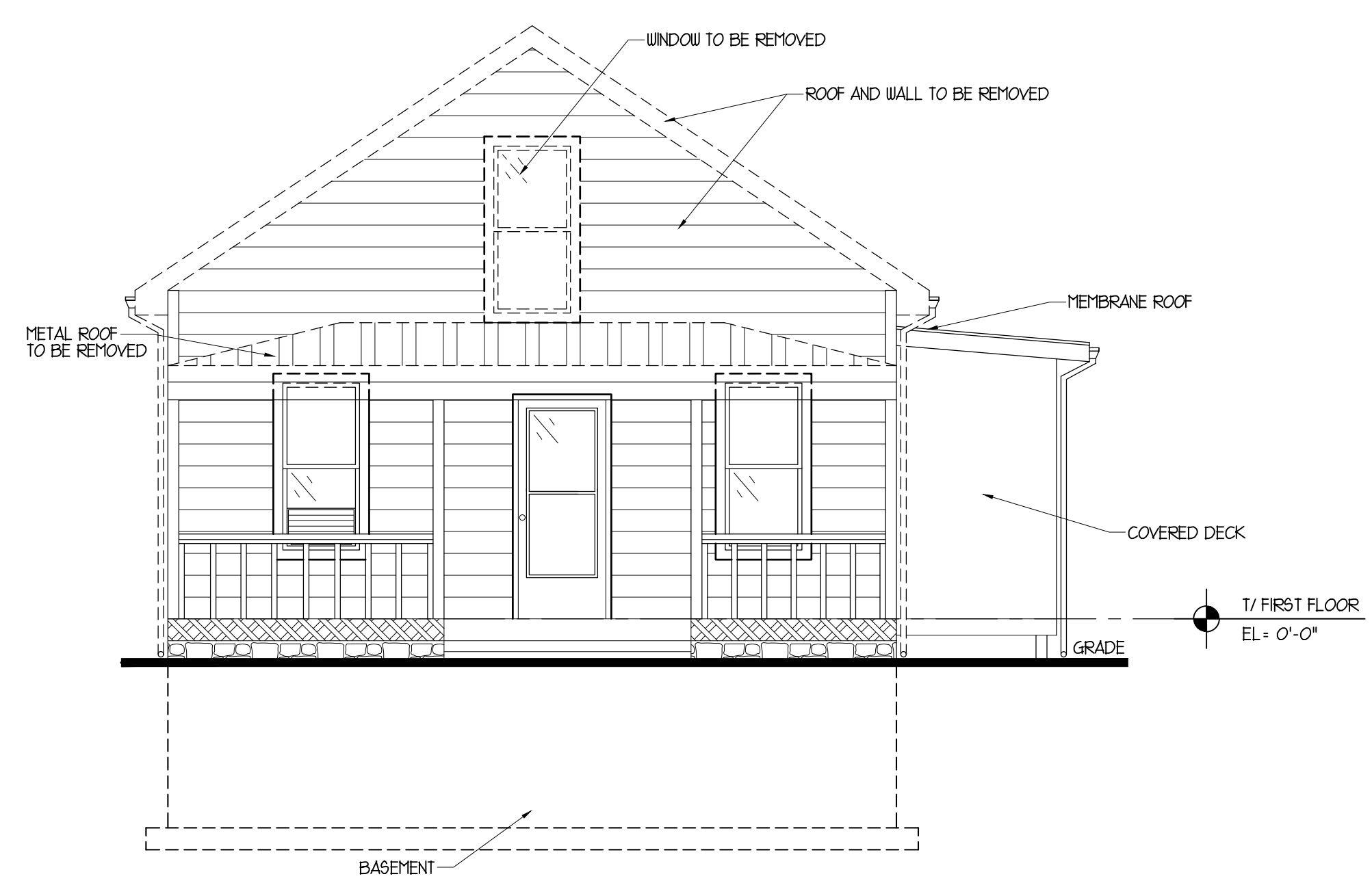


EXISTING WALL SECTION
 SCALE: 3/4" = 1'-0"

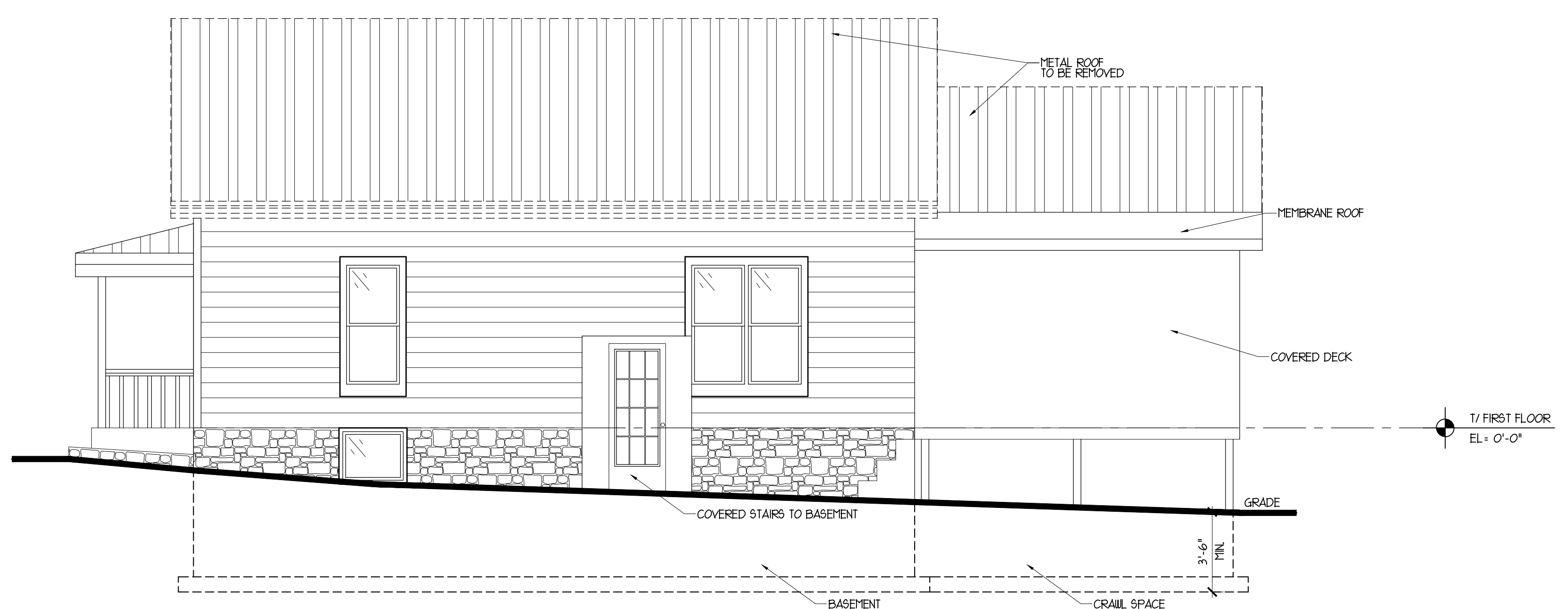
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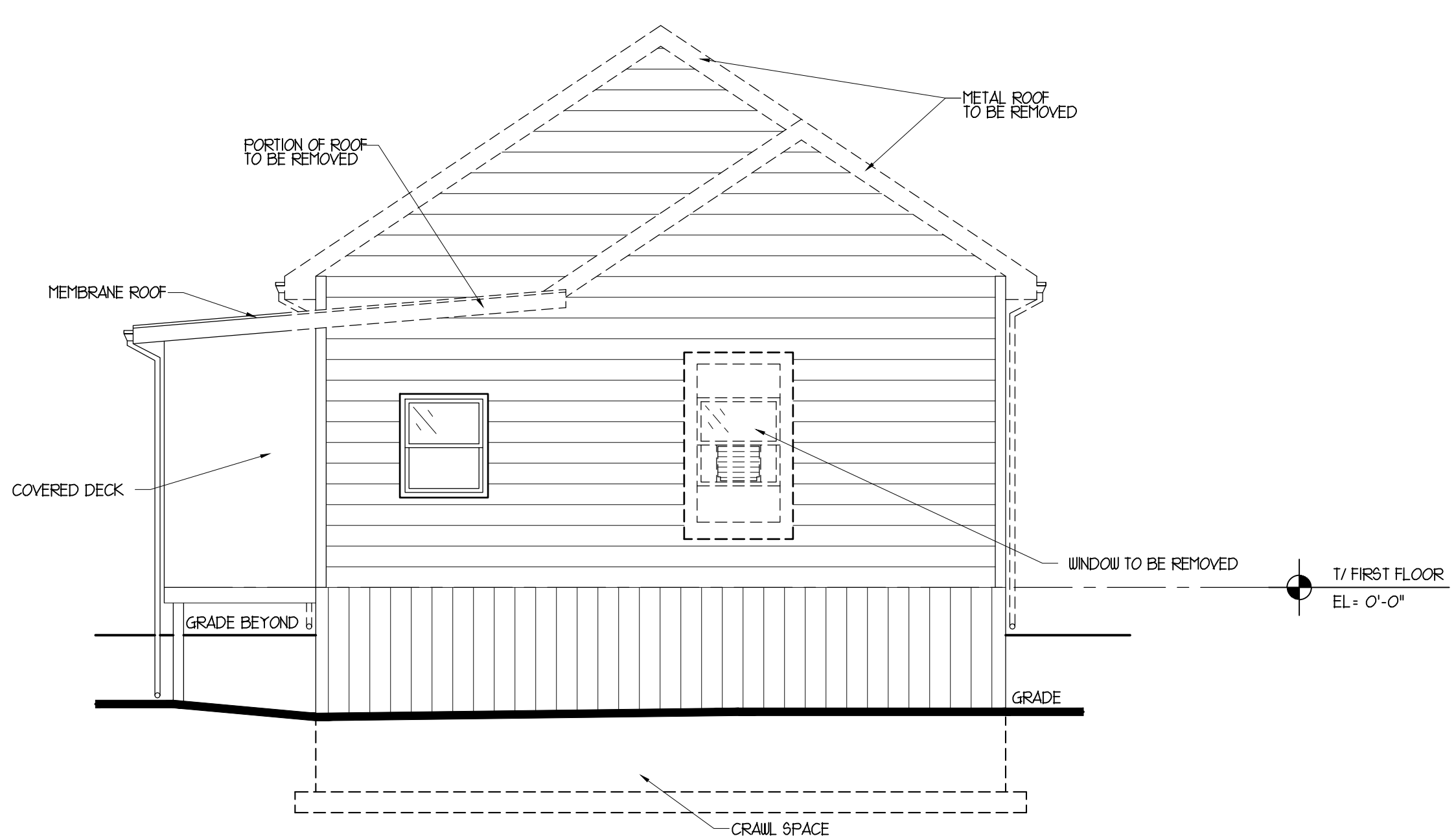
EXISTING LEFT ELEVATION
 SCALE : 1/4" = 1'-0"



EXISTING FRONT ELEVATION
 SCALE : 1/4" = 1'-0"



EXISTING RIGHT ELEVATION
 SCALE : 1/4" = 1'-0"



EXISTING REAR ELEVATION
 SCALE : 1/4" = 1'-0"

ISSUED FOR CITY VARIANCE FEBRUARY 9, 2026

REVISION NO.	DATE	REMARKS

PROPOSED 2ND FLOOR ADDITION
 FOR : GARCIA
 540 N. BLUFF ST., JOLIET, IL, 60435

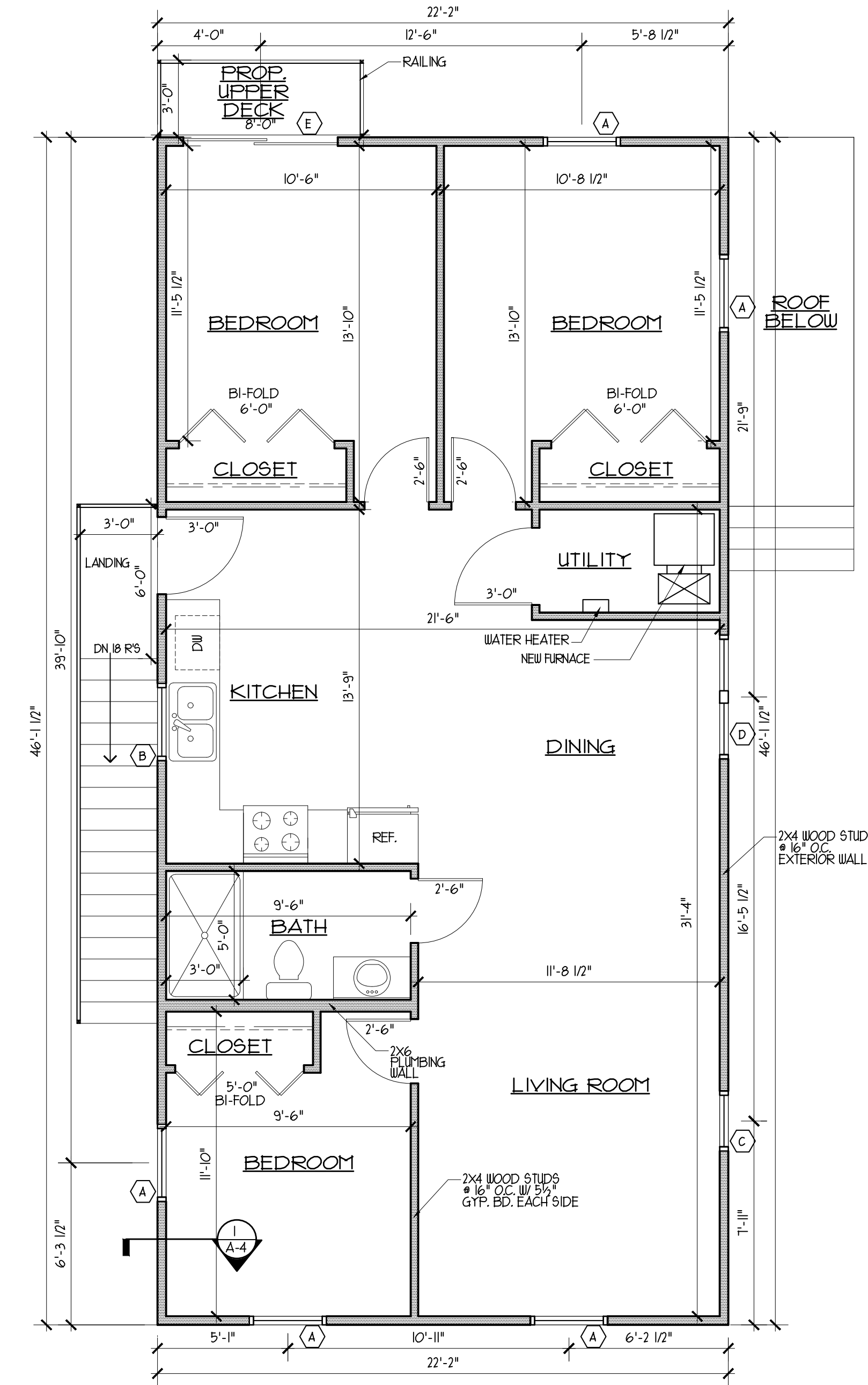
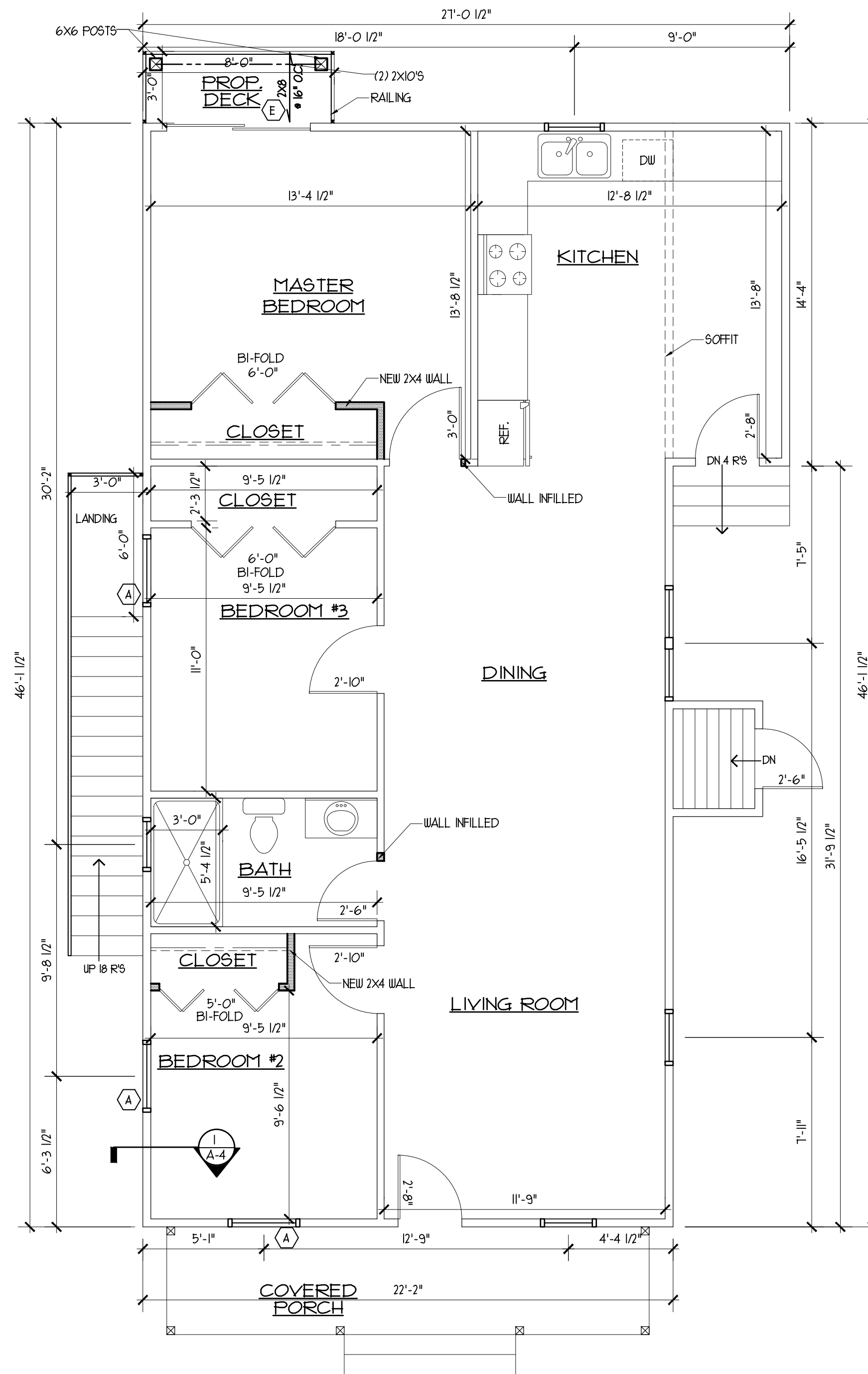
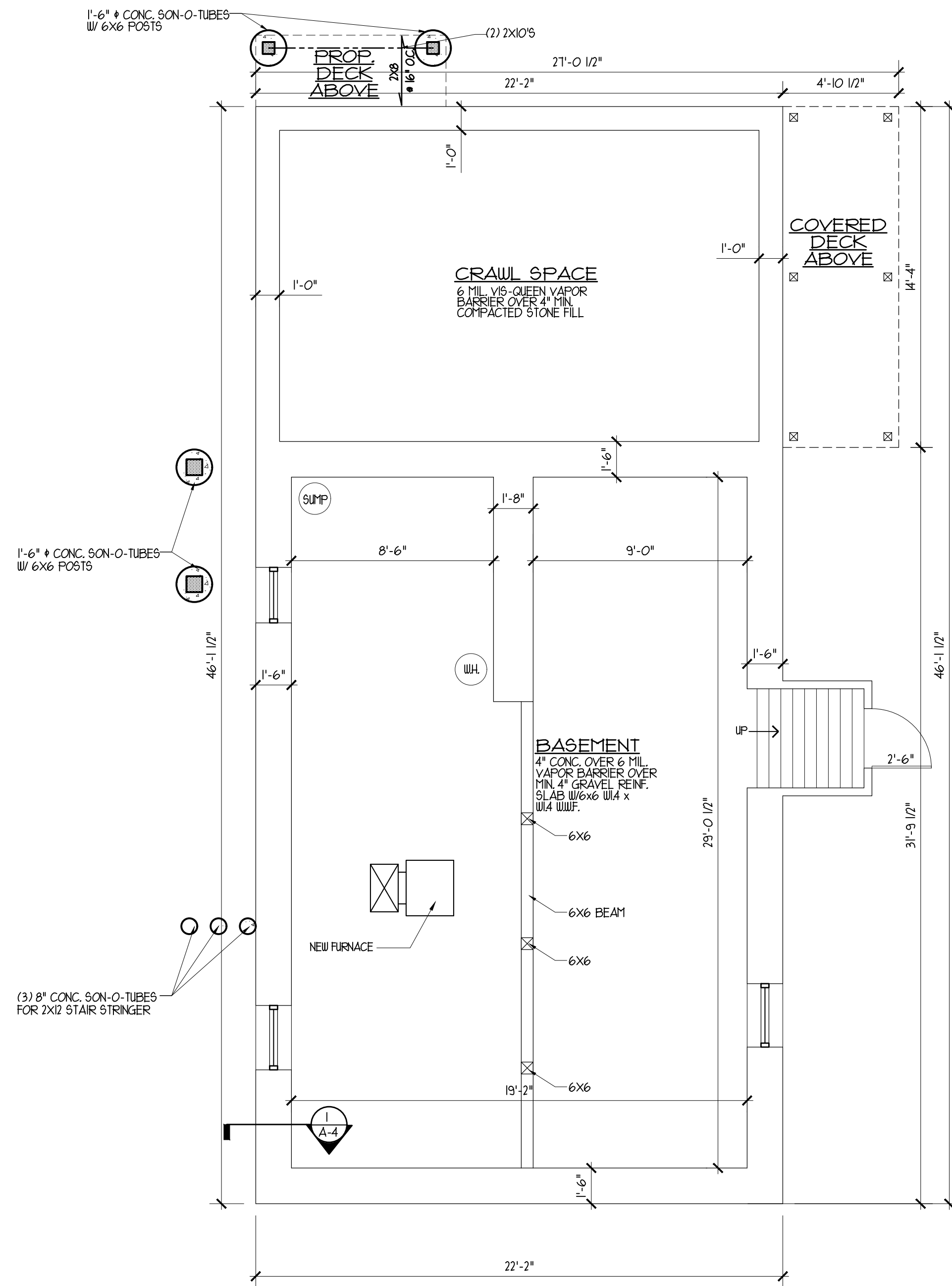
DRAWN BY: M.A.
CHECKED BY: BOB GEBEL
DATE: FEBRUARY 9, 2026
PROJECT NO: 26-62
TITLE: EXISTING ELEVATIONS

SHEET A-2

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WINDOW SCHEDULE				
LTR.	QTY.	ROUGH OPENING (W X H)	MODEL	DESCRIPTION
(A)	8	3'-0" X 5'-0"	3050	EGRESS SINGLE HUNG WINDOWS
(B)	1	3'-0" X 3'-0"	3030	EGRESS SINGLE HUNG WINDOW
(C)	1	2'-4" X 5'-0"	2450	SINGLE HUNG WINDOW
(D)	1	5'-0" X 5'-0"	5050	2 SINGLE HUNG WINDOWS
(E)	2	6'-0" X 7'-0"	6070	SLIDING GLASS DOORS

NOTE: ALL WINDOW MODEL #'S ARE BY SILVERLINE WINDOWS, AND CAN NOT BE SUBSTITUTED, UNLESS APPROVED BY THE OWNER.
 NOTE: MAXIMUM U-VALUE IN WINDOWS & DOORS SHALL BE 0.30



ISSUED FOR CITY VARIANCE FEBRUARY 9, 2026

REVISION NO. -DATE- -REMARKS-

PROPOSED 2ND FLOOR ADDITION

FOR : GARCIA

540 N. BLUFF ST., JOLIET, IL, 60435

DRAWN BY: M.A.

CHECKED BY: BOB GEBEL

DATE: FEBRUARY 9, 2026

PROJECT NO: 26-62

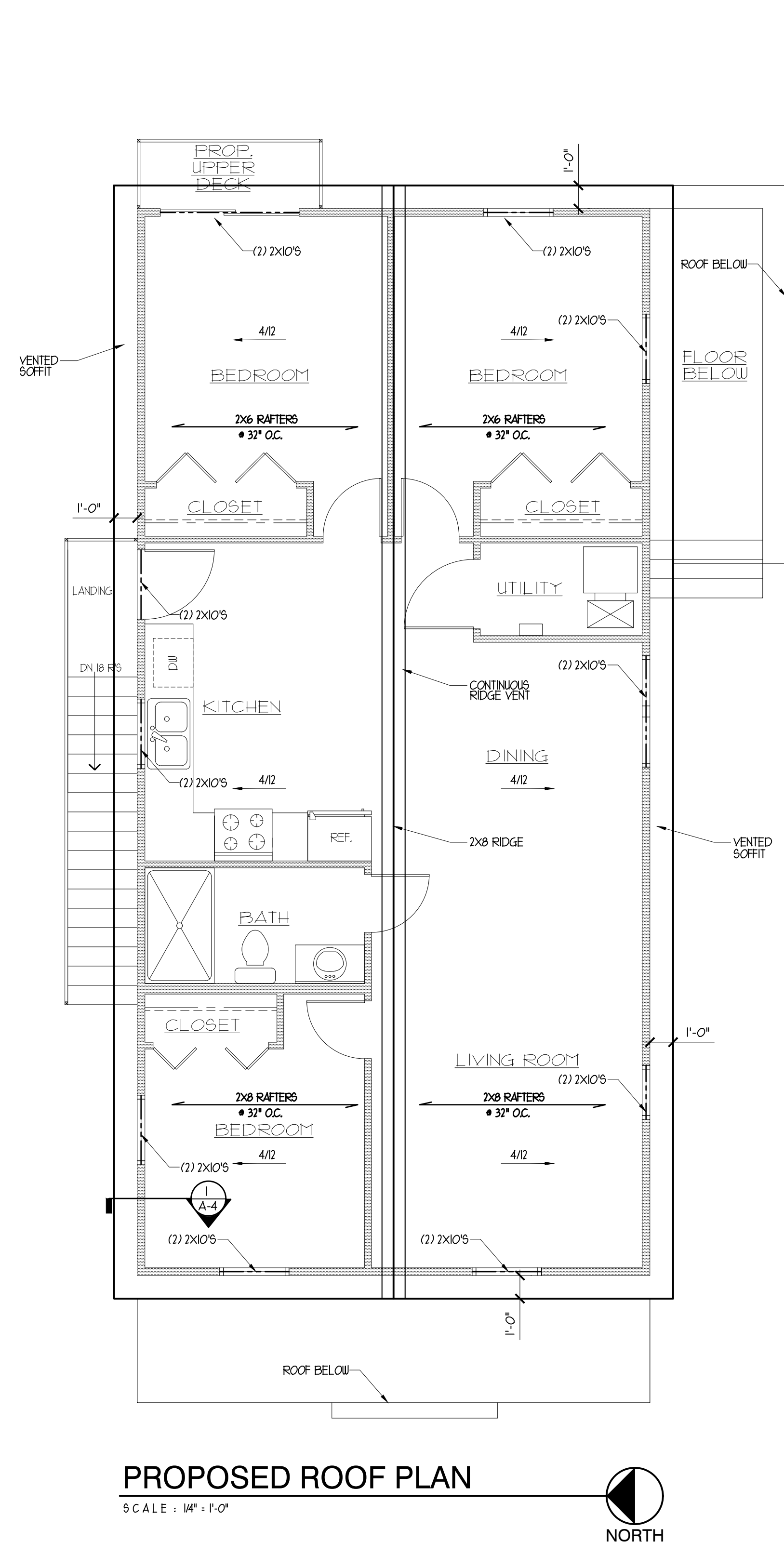
TITLE: PROPOSED FLOOR PLANS

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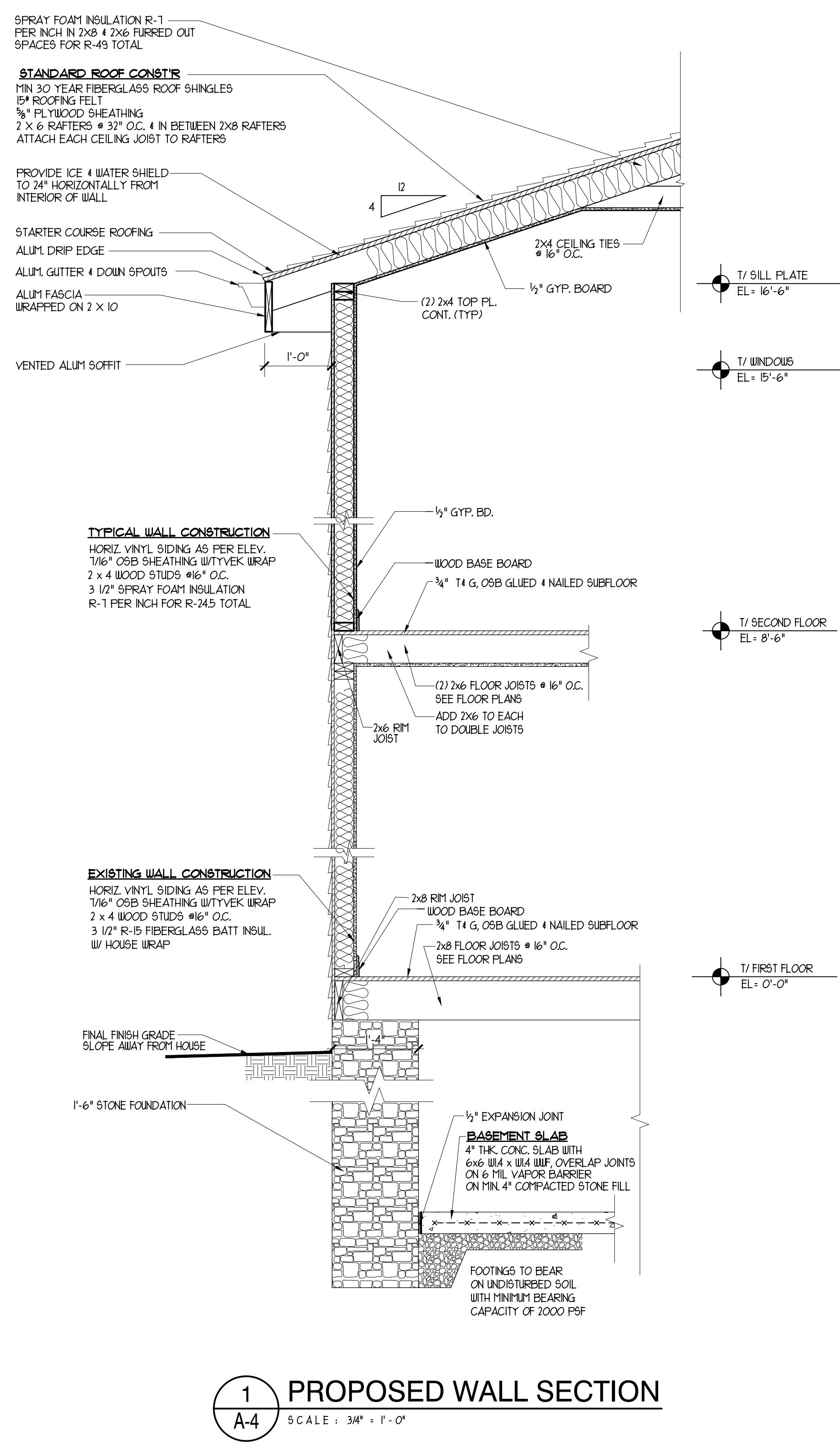
SHEET A-3

CONSTRUCTION NOTES & SPECIFICATIONS

- CONTRACTOR TO LOCATE ALL UNDERGROUND UTILITIES PRIOR TO COMMENCING WORK.
- ALL EXCAVATIONS SHALL BE SUBSTANTIALLY FREE OF WATER DURING FOUNDATION CONSTRUCTION WORK.
- ALL FOOTINGS SHALL BEAR ON UNDISTURBED SOIL CAPABLE OF SUPPORTING 1500 PSF. ALL FOOTINGS SHALL BE MIN 3'-6" BELOW GRADE. THE BEARING CAPACITY OF THE SOIL IS TO BE DETERMINED BY THE CONTRACTOR BEFORE CONSTRUCTION BEGINS. SPECIFIC SOIL CONDITIONS AT VARIANCE WITH THIS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT, BY THE CONTRACTOR.
- SITE GRADING SHALL DIRECT WATER AWAY FROM BUILDINGS.
- CONCRETE SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3000 PSI. ALL CONCRETE EXPOSED TO WEATHER SHALL HAVE AIR ENTRAINMENT OF 5% TO 7% & A MINIMUM COMPRESSIVE STRENGTH OF 3500 PSI.
- STEEL REINFORCEMENT SHALL CONFORM TO ASTM-615 GRADE 60. ANCHOR BOLTS SHALL CONFORM TO ASTM A-325.
- ALL STRUCTURAL STEEL SHALL BE ASTM A-36, A-50.
- WOOD FLOOR JOISTS, CEILING JOISTS, & ROOF RAFTERS SHALL HAVE A MINIMUM FIBER STRESS IN BENDING OF 850 PSI & A MINIMUM MODULUS OF ELASTICITY OF 1,000,000 PSI. EXAMPLE- SPRUCE-PINE-FIR NO.2, DOUGLAS-FIR LARCH NO.2, OR HEM-FIR NO.2.
- PROVIDE SOLID WOOD BRIDGING • MID-SPAN OF ALL WOOD 2 X MEMBER JOISTS & RAFTERS.
- PROVIDE DOUBLE JOISTS • ALL PARALLEL WALLS ABOVE & AS SHOWN ON FRAMING PLANS. PROVIDE DOUBLE HEADERS AROUND OPENINGS IN FLOORS, CEILINGS, OR ROOFS.
- WOOD MICROLAMB BEAMS NOTED AS LVL SHALL BE 20 LAMINATED VENEER LUMBER AS MANUFACTURED BY Weyerhaeuser.
- WOOD TIMBERSTRAND BEAMS SHALL BE USE LAMINATED STRAND LUMBER AS MANUFACTURED BY WEYERHAEUSER.
- WOOD PARALLEL BEAMS NOTED AS "PSL'S" SHALL BE 20E PARALLEL STRAND LUMBER AS MANUFACTURED BY WEYERHAEUSER.
- ALL WOOD STUDS SHALL BE SPRUCE-PINE-FIR, HEM-FIR OR DOUGLAS-FIR 2 GRADE OR BETTER (WITH A MINIMUM COMPRESSIVE STRENGTH PARALLEL TO THE GRAIN OF 800 PSI). ALL WOOD MEMBERS TO HAVE A MOISTURE CONTENT OF 19% OR LESS.
- WHERE WOOD FRAMING MEMBERS ARE SUPPORTED BY OTHER WOOD MEMBERS AT A SIMILAR ELEVATION, USE METAL JOIST HANGERS OF APPROPRIATE SIZES.
- ALL STRUCTURAL WOOD FRAMING TO BE 2" CLEAR OF FLUES, CHIMNEYS, AND FIREPLACES AND 6" CLEAR OF THE OPENINGS.
- ALL WOOD POSTS ARE TO BE (2) 2X4'S OR (3) 2X4'S AT CORNERS, EXCEPT WHERE NOTED.
- ALL EXTERIOR WOOD FRAMING & SILL PLATES ON FOUNDATIONS TO BE PRESURE TREATED.
- WOOD HEADERS TO BE (2) 2 X 10'S, UNLESS NOTED OTHERWISE.
- WINDOW NUMBERS LISTED ON PLANS ARE WINDOWS AS MANUFACTURED BY SILVERLINE. SEE WINDOW SCHEDULE. PROVIDE TEMPERED SAFETY GLASS WHERE REQUIRED BY CODE. GLASS IN WINDOWS SHALL BE "LOW E" ARGON GAS FILLED INSULATING PERFORMANCE GLASS.
- PROVIDE AT LEAST ONE EGRESS WINDOW IN EACH SLEEPING ROOM & BASEMENT. THE WINDOWS SHALL HAVE A SILL HEIGHT NOT MORE THAN 44 INCHES ABOVE THE FLOOR. ALL EGRESS OR RESCUE WINDOWS FOR SLEEPING ROOMS MUST HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET. THE MINIMUM NET CLEAR OPENING HEIGHT SHALL BE 24 INCHES, & THE MINIMUM NET CLEAR OPENING WIDTH DIMENSION SHALL BE 20 INCHES. SHALL BE OPERATIONAL FROM INSIDE WITHOUT USE OF KEYS, TOOLS OR SPECIAL KNOWLEDGE. SUBMIT MANUFACTURER'S CUT SHEETS FOR ALL ESCAPE AND EGRESS WINDOWS.
- ALL OPERABLE WINDOWS SHALL HAVE SCREENS AND INTERIOR SASH LOCKS.
- ALL GLASS WITHIN TUB ENCLOSURES AND ANY GLASS WITHIN 8" OF THE FINISHED FLOOR SHALL BE SAFETY GLASS. ALL GLASS IN DOORS & WINDOWS WITHIN 2'-0" OF DOORS SHALL BE SAFETY GLAZING.
- INTERIOR DOORS SHALL BE WOOD SOLID CORE 6 PANEL DOORS AS MANUFACTURED BY WESTERN DOORS. DOOR & GARAGE AND HOUSE SHALL BE INSULATED HOLLOW METAL W/ A U-VALUE OF LESS THAN 34 & SHALL BE A ONE HOUR RATED DOOR AS MANUFACTURED BY THERMA-TRU.
- HOUSE ENTRANCE DOORS SHALL BE FIBERGLASS AS MANUFACTURED BY THERMA-TRU AND AS APPROVED BY OWNER, W/ A U-VALUE OF LESS THAN 30.
- ALL HARDWARE SHALL BE AS APPROVED BY OWNER.
- FLOORING SHALL BE AS APPROVED BY OWNER.
- WOOD TRIM FOR WINDOWS, DOORS, AND BASEBOARDS SHALL BE 2" WIDE AS APPROVED BY OWNER.
- WALL INSULATION SHALL BE R-245 SPRAY FOAM INSULATION AS MANUFACTURED BY JOHNS-MANVILLE INTERNATIONAL INC, QUIK'S CORNING OR EQUAL.
- ATTIC-ROOF INSULATION SHALL BE R-49 SPRAY FOAM INSULATION AS MANUFACTURED BY JOHNS-MANVILLE INTERNATIONAL INC, QUIK'S CORNING OR EQUAL.
- VINYL SIDING SHALL BE DOUBLE 4" SIDING AS MANUFACTURED BY ABCO OR EQUAL.
- ROOFING SHALL BE ASPHALT/FIBERGLASS SHINGLES-MIN. 30 YEAR, CLASS A SHINGLE BY CELOTEX, GAF, GLOBE, OR APPROVED EQUAL.
- RIDGE VENT SHALL BE COR-A-VENT "V-400" USE WITH ALUMINUM SOFFIT VENTS. THE TOTAL NET VENTILATING AREA SHALL NOT BE LESS THAN 1/60TH OF THE AREA TO BE VENTILATED, EXCEPT THAT THE AREA MAY BE 1/30TH IF AT LEAST 50% OF THE REQUIRED VENTILATING AREA IS PROVIDED BY MECHANICAL VENTILATORS.
- ALUMINUM SOFFITS SHALL BE "SYSTEM 3" 1/2" CENTER VENTED SOFFIT PROFILE AS MANUFACTURED BY ROLLEX OR APPROVED EQUAL. COLOR AS SELECTED BY STANDARD COLORS.
- ALUMINUM FASCIA SHALL BE "L6 OR L8" SMOOTH FASCIA COVER AS MANUFACTURED BY ROLLEX, OR APPROVED EQUAL. COLOR AS SELECTED BY STANDARD COLORS.
- PROVIDE ALUMINUM GUTTERS & DOWNSPOUTS FOR THE ENTIRE HOUSE. DRAIN ALL DOWNSPOUTS AWAY FROM HOUSE.
- "HARDBOARD" TRIM AT EXTERIOR SHALL BE TREATED EXTERIOR COMPOSITE TRIM AS MANUFACTURED BY MIRATEC.
- GYPSONUM BOARD SHALL BE 1/2" GYPSONUM BOARD. PROVIDE 5/8" TYPE "X" FIRE RESISTANT PROVIDE CEMENT, FIBER, CEMENT OR GLASS MAT GYPSONUM BACKERS BE INSTALLED AS BACKERS FOR WALL TILE APPLIED IN TUB/SHOWER AREAS AND WALL PANELS IN SHOWER AREAS WHICH ARE IN DIRECT CONTACT WITH WATER OR HIGH HUMIDITY. WATER RESISTANT GYPSONUM BOARD ONLY TO BE USED WITHIN THE LIMITS LISTED IN R1023.8.
- PRIME W/ COAT & PAINT W/ 2 COATS ALL NEW WALL AND EXPOSED CEILING SURFACES SHERWIN-WILLIAMS OR EQUAL.
- SMOKE DETECTORS SHALL BE LOCATED AS SHOWN ON PLANS, AND/OR AT LEAST ONE ON EACH FLOOR, EACH SLEEPING ROOM, AND EACH HALL. TO BEDROOMS. SMOKE DETECTORS SHALL BE INTERCONNECTED & WIRED TO THE ELECTRICAL POWER, SO THAT THE ACTUATION OF ONE DETECTOR WILL ACTIVATE ALL ALARMS.
- DUCT ALL EXHAUST FANS TO THE EXTERIOR.
- STAIRS : RISERS 1 3/4" MAXIMUM. TREADS: 10" MINIMUM. 6'-8" MINIMUM HEADROOM.
- ALL CLOSETS TO HAVE ONE SHELF AND ONE CLOTHES POLE UNLESS OTHERWISE NOTED. LINEN AND PANTRY CLOSETS TO HAVE FIVE SHELVES.
- GENERAL CONTRACTOR IS TO PROVIDE AND INSTALL FLASHING AT ALL ENTRANCE SLABS ADJACENT TO WALL CONSTRUCTION.
- PROVIDE ALUMINUM FLASHING AT ALL WALL / ROOF INTERSECTIONS TO INSURE WATERTIGHT CONDITIONS.
- ALL SKYLIGHTS, METAL FLUES, VENTS, STACKS, OR OTHER ROOF ACCESSORIES REQUIRING FLASHINGS SHALL BE INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS.

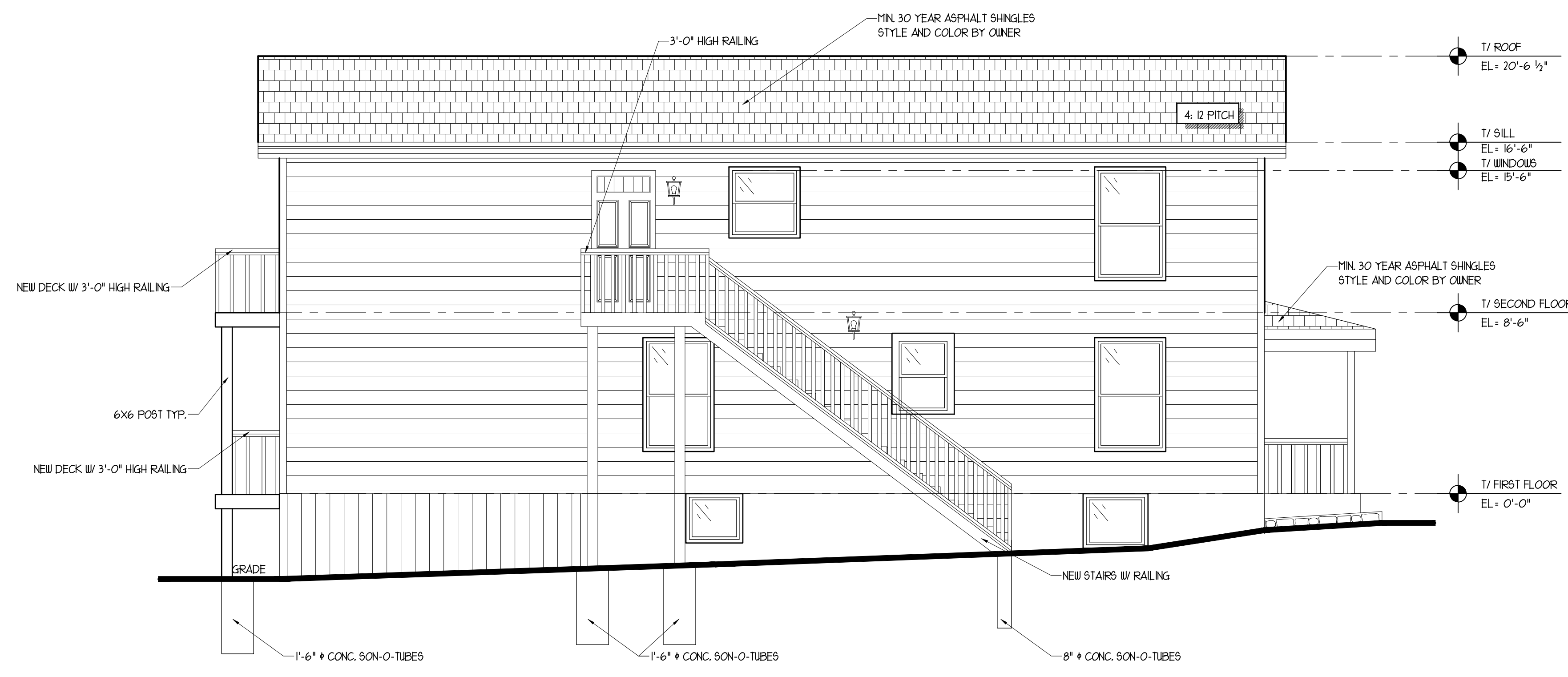


PROPOSED ROOF PLAN
 SCALE : 1/4" = 1'-0"

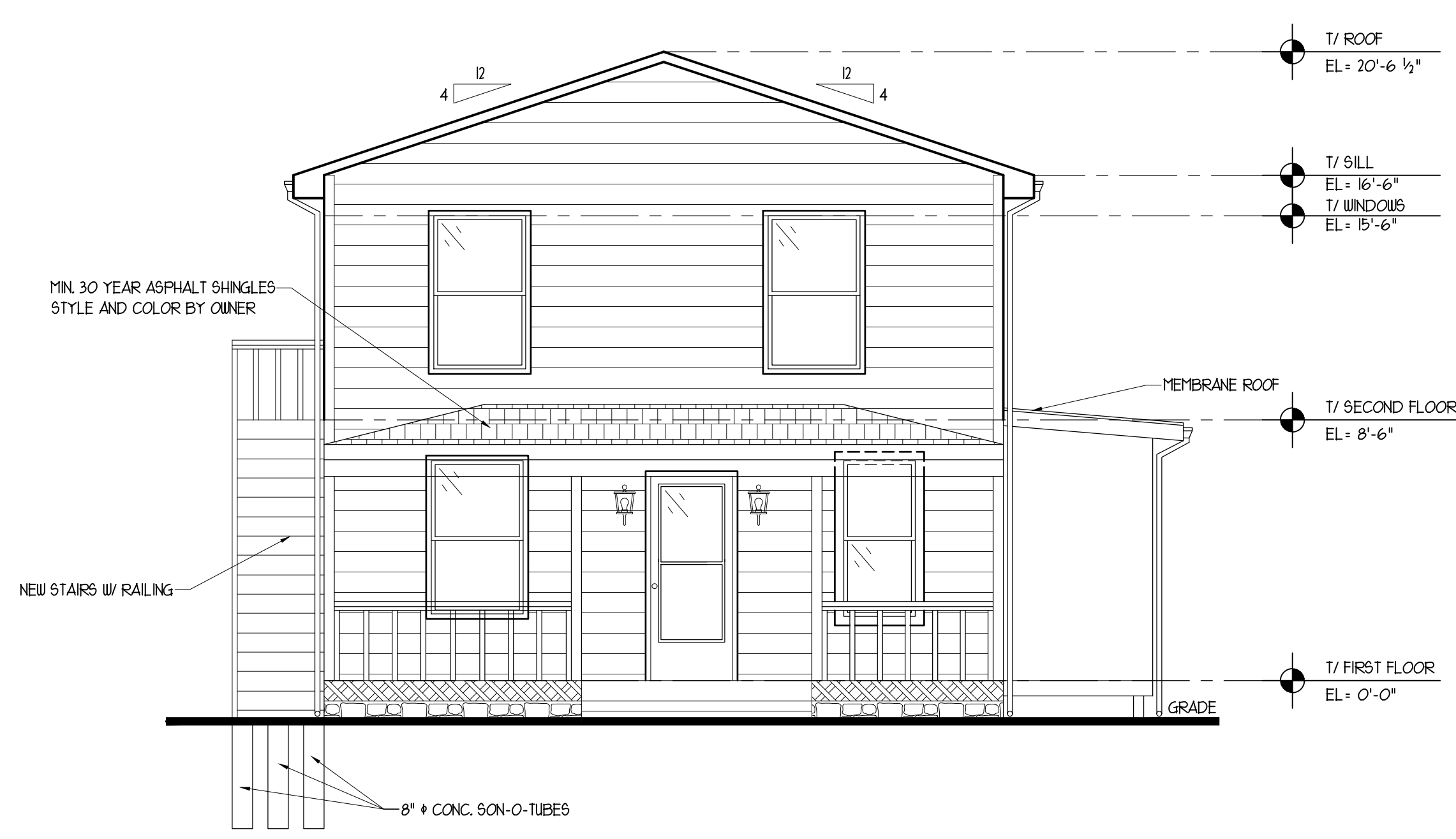


1
 A-4 PROPOSED WALL SECTION
 SCALE : 3/4" = 1'-0"

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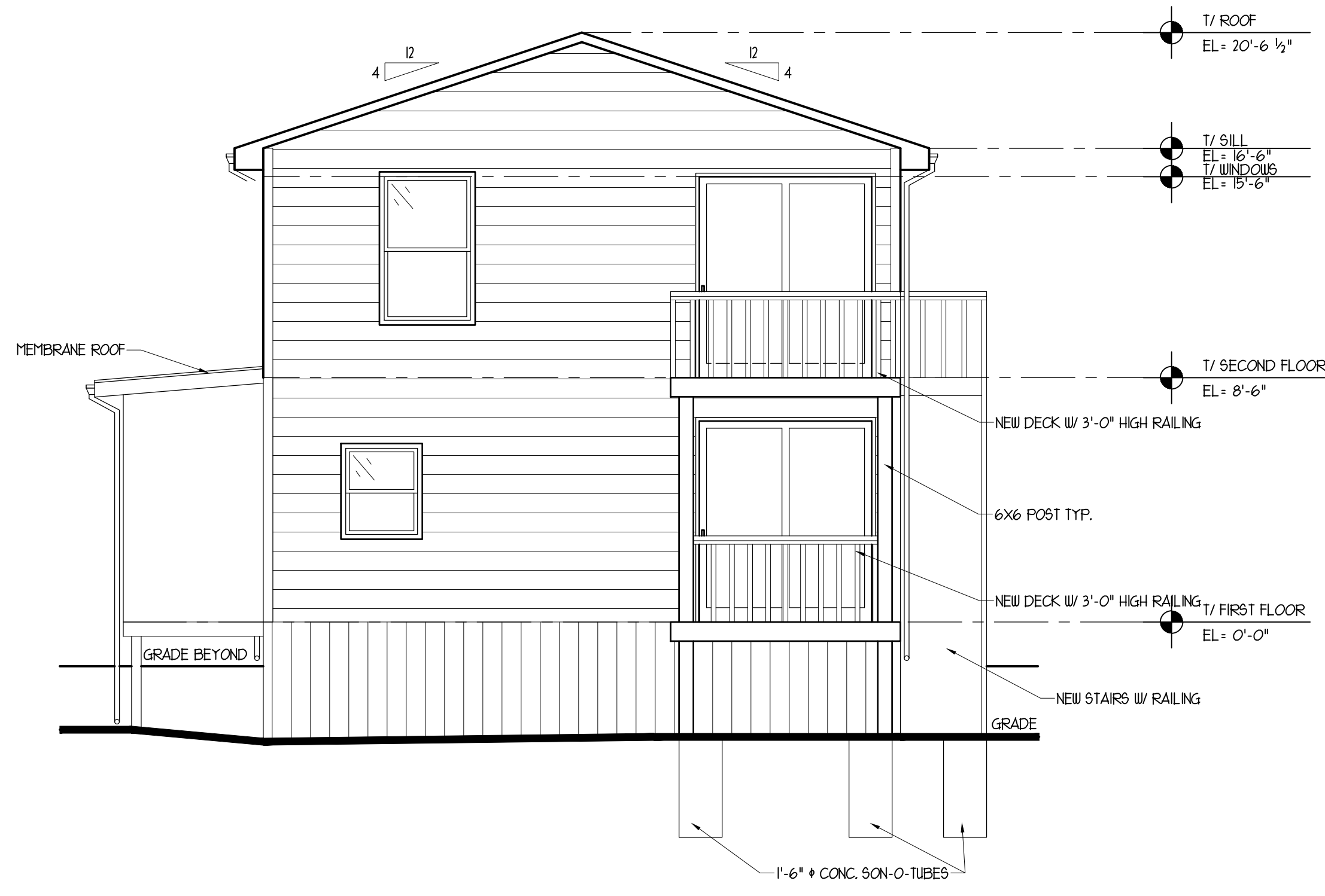
PROPOSED LEFT ELEVATION
 SCALE : 1/4" = 1'-0"



PROPOSED FRONT ELEVATION
 SCALE : 1/4" = 1'-0"



PROPOSED RIGHT ELEVATION
 SCALE : 1/4" = 1'-0"



PROPOSED REAR ELEVATION
 SCALE : 1/4" = 1'-0"

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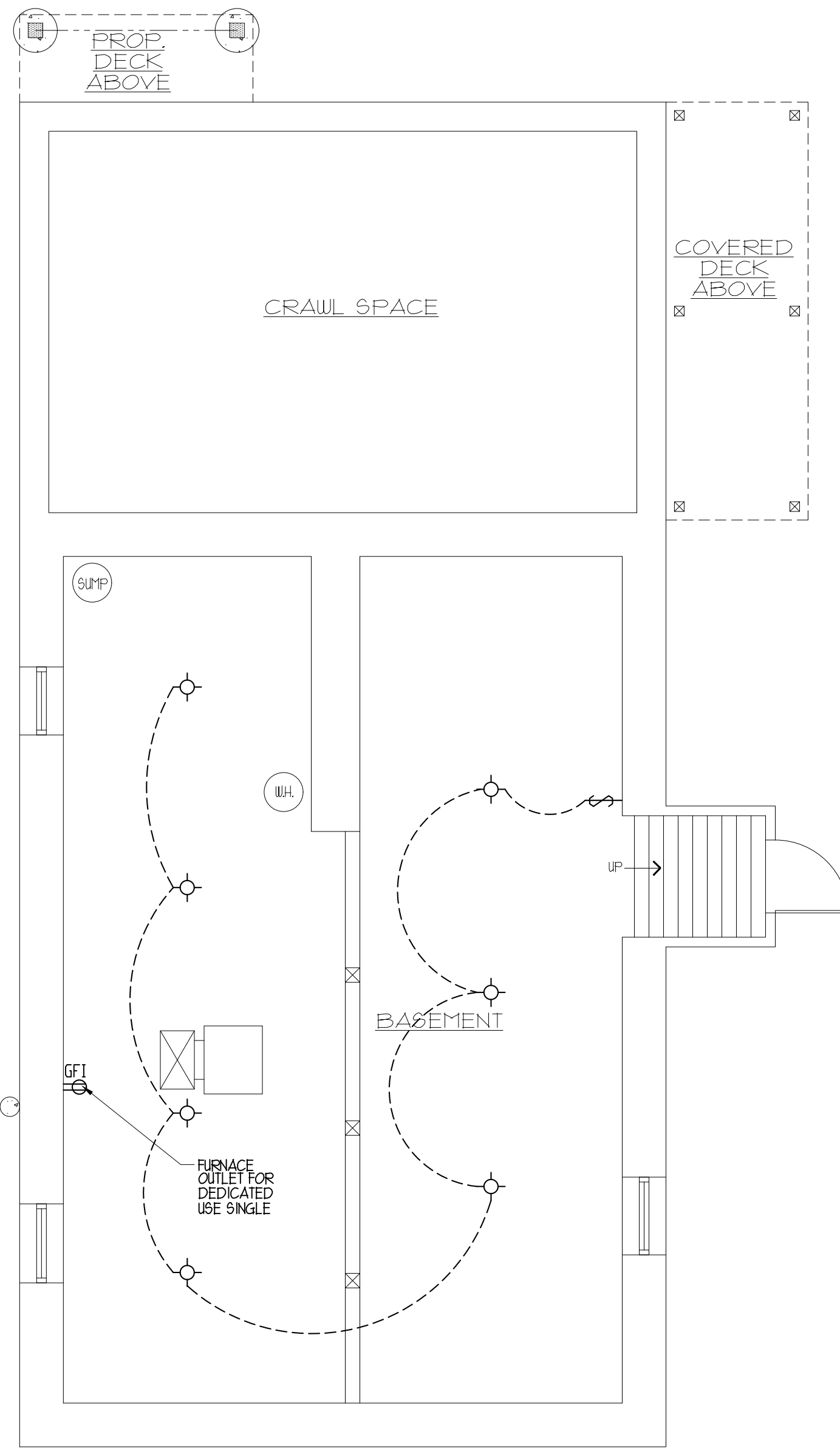
REVISION NO.	DATE	REMARKS

PROPOSED 2ND FLOOR ADDITION
 FOR : GARCIA
 540 N. BLUFF ST., JOLIET, IL, 60435

DRAWN BY: M. A.
CHECKED BY: BOB GEBEL
DATE : FEBRUARY 9, 2026
PROJECT NO: 26-02
TITLE: PROPOSED ELEVATIONS

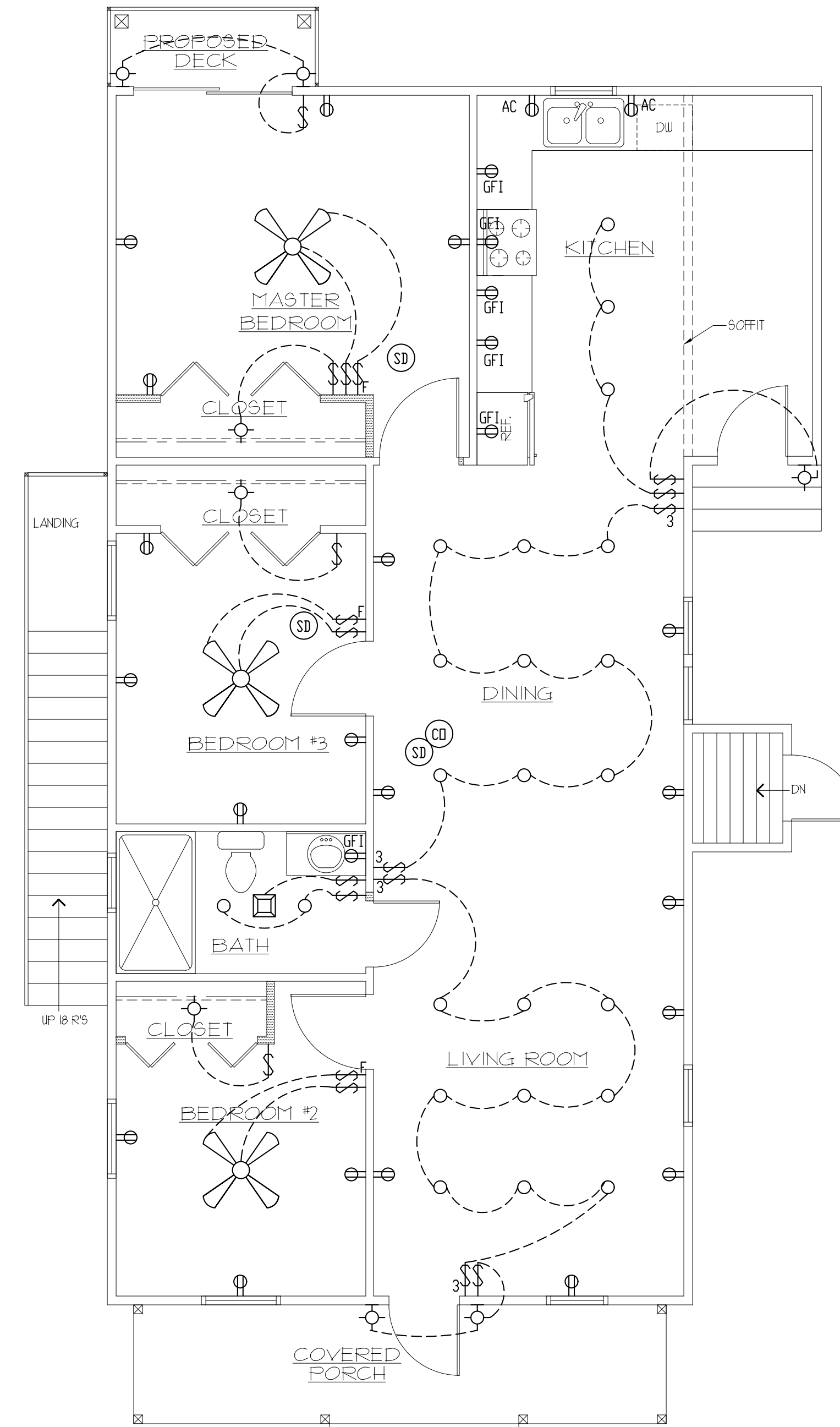
SHEET A-5

ELECTRICAL KEY	
	EXHAUST FAN LIGHT COMBINATION
	WALL SCONCE
	STANDARD LIGHT
	GROUND FAULT CIRCUIT INTERRUPTER
	DUPLEX OUTLET
	LIGHT SWITCH
	THREE WAY LIGHT SWITCH
	SMOKE DETECTOR
	FAN LIGHT
	6" CAN LIGHT
	COMBINATION SMOKE & CARBON MONOXIDE DETECTOR
	FAN LIGHT SWITCH
	OUTLET ABOVE THE COUNTER



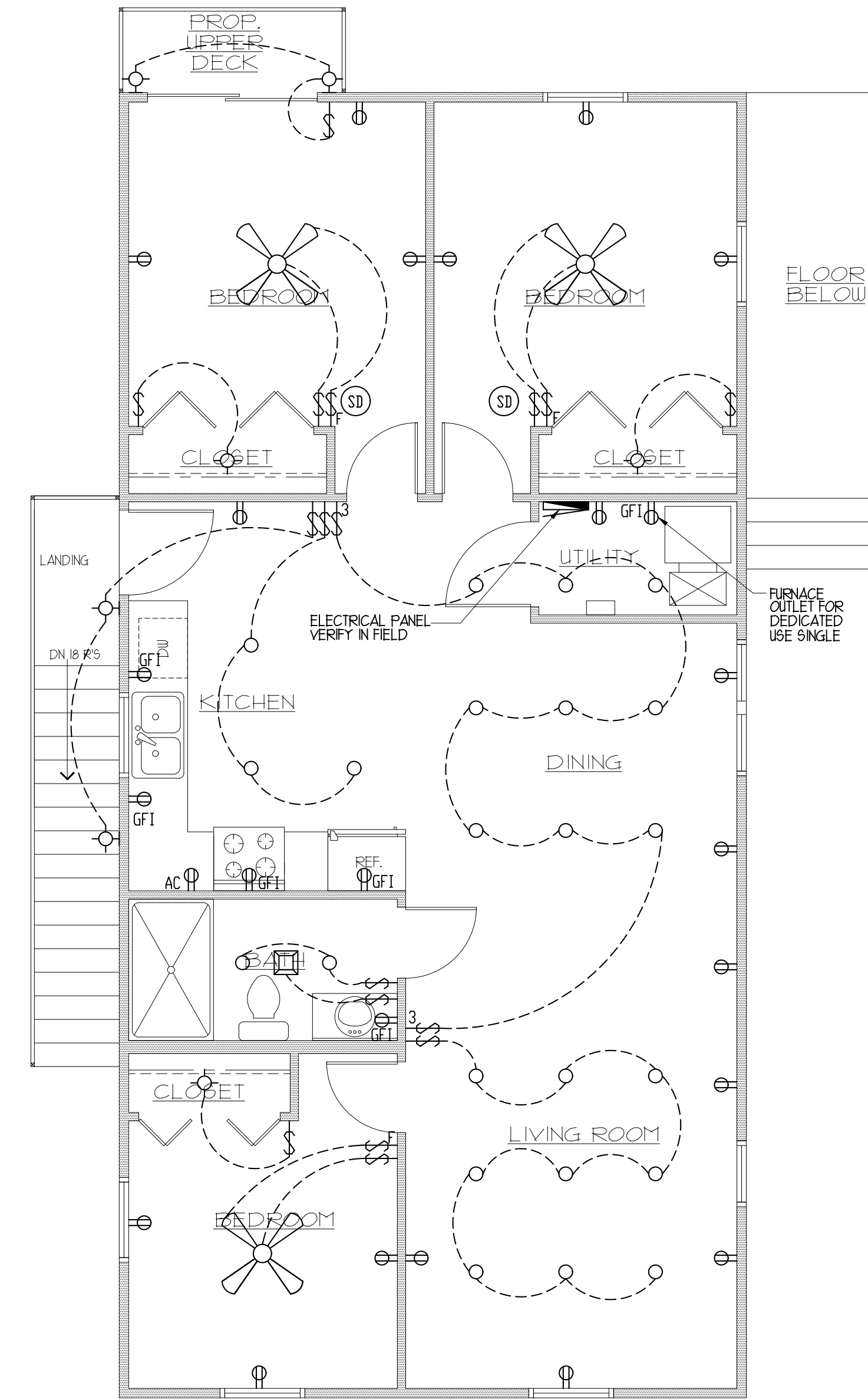
PROPOSED ELECTRICAL PLAN @ BASEMENT

SCALE : 1/4" = 1'-0"



PROPOSED ELECTRICAL PLAN @ FIRST FLOOR

SCALE : 1/4" = 1'-0"



PROPOSED ELECTRICAL PLAN @ SECOND FLOOR

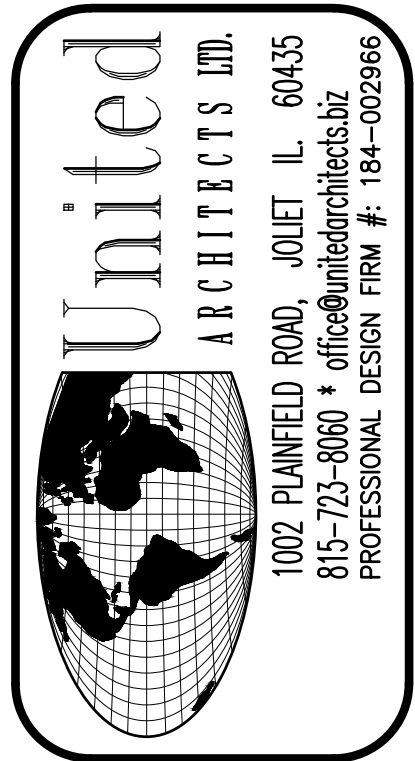
SCALE : 1/4" = 1'-0"



- ### NOTES FOR ELECTRICAL PLAN
- ALL LIGHT FIXTURES ARE TO BE APPROVED BY OWNER PRIOR TO CONSTRUCTION.
 - A CARBON MONOXIDE DETECTOR SHALL BE REQUIRED AT EACH SLEEPING LEVEL.
 - PROVIDE A LISTED TYPE AFCI (ARC FAULT PROTECTION) FOR ALL CIRCUITS IN ALL LIVING AREAS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS, SUNROOM, REC ROOMS, CLOSETS, HALLWAYS, AND SIMILAR ROOMS.
 - 110 VOLT SMOKE DETECTOR W/ BATTERY BACK UP. TO BE INSTALLED IN EACH BEDROOM, INCLUDING EXISTING BEDROOM.
 - INTERCONNECT ALL DEVICES- SO THAT IF ONE ALARMS, ALL ALARMS. A DEVICE MUST BE LOCATED WITHIN 15' OF EACH BEDROOM DOOR (TYP).
 - ALL BATHROOM EXHAUST FANS TO BE DIRECTLY VENTED THROUGH EXTERIOR WALL OR ROOF OPENINGS.
 - REQUIRED GROUND FAULT CIRCUIT INTERRUPTERS- (GFI) ARE REQUIRED IN EVERY BATHROOM, ALL GARAGE RECEPTACLES, ALL EXTERIOR RECEPTACLES, ALL KITCHEN COUNTERTOP RECEPTACLES, AND ALL BASEMENT RECEPTACLES.
 - WIRING SHALL BE IN RIGID METAL CONDUIT
 - ALL ELECTRICAL WORK SHALL BE DONE BY A LICENSED CONTRACTOR & ACCORDING TO THE NATIONAL ELECTRICAL CODE 2011 & AMENDMENTS
 - ONLY COOPER WIRE MAY BE USED.
 - ALL CLOSET LIGHTS SHALL BE:
 - A. RECESSED LIGHTS WITH 6" CLEARANCE BETWEEN FIXTURE AND NEAREST POINT OF STORAGE SPACE.
 - B. FLOURESCENT LIGHTS WITH 6" CLEARANCE BETWEEN FIXTURE AND NEAREST POINT OF STORAGE SPACE.
 - C. INCANDESCENT LIGHTS WITH 12" CLEARANCE BETWEEN FIXTURE AND NEAREST POINT OF STORAGE SPACE.
 - LIGHT FIXTURE ABOVE WHIRPOOL, TUBS AND SHOWERS SHALL BE GFI.
 - ALL OF NEW INSTALLED FIXTURES SHOW CONTAIN ONLY HIGH EFFICACY LAMPS- FOR EXAMPLE FLOURESCENT OR LED

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ISSUED FOR CITY VARIANCE FEBRUARY 9, 2026



1002 PLAINFIELD ROAD, JOLIET, IL 60435
815-733-8060 • office@unitedarchitects.biz
PROFESSIONAL DESIGN FIRM # 184-002966

PROPOSED 2ND FLOOR ADDITION
FOR : GARCIA
540 N. BLUFF ST., JOLIET, IL, 60435

DRAWN BY: M. A.
CHECKED BY: BOB GEBEL
DATE : FEBRUARY 9, 2026
PROJECT NO: 26-02
TITLE: PROPOSED ELECTRICAL PLANS

SHEET
E-1

FOR OFFICE USE ONLY

Verified by Planner (please initial): _____

Payment received from: _____

Petition #: _____

Common Address: _____

Date filed: _____

Meeting date assigned: _____

ZONING BOARD OF APPEALS

JOLIET, ILLINOIS

PETITION FOR VARIATION OF USE

City of Joliet Planning Division, 150 W. Jefferson St., Joliet, IL 60432

Ph (815)724-4050 Fax (815)724-4056

ADDRESS FOR WHICH VARIATION IS REQUESTED: 540 Bluff St.

PETITIONER'S NAME: Abraham Garcia

HOME ADDRESS: _____ ZIP CODE: _____

BUSINESS ADDRESS: _____ ZIP CODE: _____

PHONE: (Primary) _____ (Secondary) _____

EMAIL ADDRESS: _____ FAX: _____

PROPERTY INTEREST OF PETITIONER: Owner

OWNER OF PROPERTY: Abraham Garcia

HOME ADDRESS: 3rd St ZIP CODE: _____

BUSINESS ADDRESS: _____ ZIP CODE: _____

EMAIL ADDRESS: _____ FAX: _____

Any use requiring a business license shall concurrently apply for a business license and submit a copy with this petition. Additionally, if this request is for operation of a business, please provide the following information:

BUSINESS REFERENCES (name, address, phone or email):

N/A

OTHER PROJECTS AND/OR DEVELOPMENTS:

N/A

PERMANENT INDEX NUMBER (TAX NO. OR P. I. N.): 30-07-09-220-010-0000 ; _____ ; _____ ; _____

Property Index Number/P.I.N. can be found on tax bill or Will County Supervisor of Assessments website

LEGAL DESCRIPTION OF PROPERTY (an attached copy preferred):
See Survey Attached

LOT SIZE: WIDTH: 80' DEPTH: 100' AREA: 8,000 SF

PRESENT USE(S) OF PROPERTY: Single Family

PRESENT ZONING OF PROPERTY: R-2

VARIATION OF USE REQUESTED: Multi-family/2 unit.

To convert a one story single family house into a 2 story 2 unit house

RESPONSE TO VARIATION OF USE CRITERIA

The Zoning Board of Appeals is authorized to grant or recommend relief only when it has received adequate evidence to establish a practical difficulty or hardship. The evidence must support each of the following three conditions:

- (a) The property in question cannot yield a reasonable return by use permitted and subject to the conditions allowed by the regulations in the particular district or zone.
- (b) The plight of the owner is due to unique circumstances.
- (c) The variation, if granted, will not alter the essential character of the locality.

Please describe how this request meets the criteria by responding to the following questions in your own words.

1. How do the applicable zoning regulations prevent the property in question from yielding a reasonable return?
The zoning is for single family residences, with the addition of a second floor then there can be 2 units.

2. What unique circumstances exist which mandate a variance?

The zoning is R-2 single family, to be a 2 unit the zoning would need to be R-3

3. What impact would the granting of this variance have upon the essential character of the general area? Please include both positive and negative impacts.

Positive: The house will be fixed up and will bring a clean look to the neighborhood.
negative: There should not be any negative impacts

REQUIRED SUPPORTING ATTACHMENTS

- Site plan / concept plan / floor plan / building elevation plan
- Joliet Ownership Disclosure form
- Business license application (if applicable)

NOTARIZATION OF PETITION

STATE OF ILLINOIS) ss
COUNTY OF WILL)

I, Abraham Garcia, depose and say that the above statements are true and correct to the best of my knowledge and belief. I agree to be present in person or by representation when this petition is heard before the Zoning Board of Appeals.

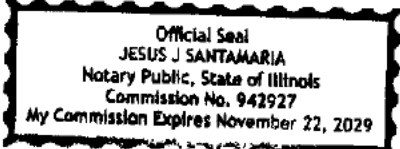
[Redacted Signature]

Petitioner's Signature

Owner's Signature
(If other than petitioner)

Subscribed and sworn to before me
this 12th day of February, 2026

[Redacted Notary Signature]



FOR OFFICE USE ONLY

Verified by Planner (please initial): _____

Payment received from: _____

Petition #: _____

Common Address: _____

Date filed: _____

Meeting date assigned: _____

ZONING BOARD OF APPEALS
JOLIET, ILLINOIS

PETITION FOR VARIATION/APPEAL

City of Joliet Planning Division, 150 W. Jefferson St., Joliet, IL 60432
Ph (815)724-4050 Fax (815)724-4056

ADDRESS FOR WHICH VARIATION IS REQUESTED: 540 Bluff St.

PETITIONER'S NAME: Abraham Garcia

HOME ADDRESS: [REDACTED] ZIP CODE: [REDACTED]

BUSINESS ADDRESS: _____ ZIP CODE: _____

PHONE: (Primary) [REDACTED] (Secondary) _____

EMAIL ADDRESS: [REDACTED] FAX: _____

PROPERTY INTEREST OF PETITIONER: Owner

OWNER OF PROPERTY: Abraham Garcia

HOME ADDRESS: same ZIP CODE: _____

BUSINESS ADDRESS: _____ ZIP CODE: _____

EMAIL ADDRESS: [REDACTED] FAX: _____

Any use requiring a business license shall concurrently apply for a business license and submit a copy with this petition. Additionally, if this request is for operation of a business, please provide the following information:

BUSINESS REFERENCES (name, address, phone or email):

no.

OTHER PROJECTS AND/OR DEVELOPMENTS:

PERMANENT INDEX NUMBER (TAX NO. OR P. I. N.): 30-07-09-220-010-0000;

_____; _____; _____
Property Index Number/P.I.N. can be found on tax bill or Will County Supervisor of Assessments website

LEGAL DESCRIPTION OF PROPERTY (an attached copy preferred):

see attached survey

LOT SIZE: WIDTH: 80' DEPTH: 100' AREA: 8,000

PRESENT USE(S) OF PROPERTY: Single Family

PRESENT ZONING OF PROPERTY: Single Family R-2

VARIATION/APEAL REQUESTED: To reduce, the front yard setback from 30'-0" TO 12.93'

RESPONSE TO VARIATION CRITERIA

The Zoning Board of Appeals is authorized to grant or recommend relief only when it has received adequate evidence to establish a practical difficulty or hardship. The evidence must support each of the following three conditions:

- (a) The property in question cannot yield a reasonable return by use permitted and subject to the conditions allowed by the regulations in the particular district or zone.
- (b) The plight of the owner is due to unique circumstances.
- (c) The variation, if granted, will not alter the essential character of the locality.

Please describe how this request meets the criteria by responding to the following questions in your own words.

1. How do the applicable zoning regulations prevent the property in question from yielding a reasonable return?
The house was built close to the front property line. so it is about 13 feet to the house from the front property line. it would be very difficult to create a 30 foot setback.

2. What unique circumstances exist which mandate a variance?

The unique circumstance is that the house was built close to the front property line, making it nearly impossible to have a 30 foot front yard setback.

3. What impact would the granting of this variance have upon the essential character of the general area? Please include both positive and negative impacts.

Positive: The house will be fixed up and will bring a clean look to the neighborhood.

Negative: There should not be any negative impacts.

REQUIRED SUPPORTING ATTACHMENTS

- Site plan / concept plan / floor plan / building elevation plan
- Joliet Ownership Disclosure form
- Business license application (if applicable)

NOTARIZATION OF PETITION

STATE OF ILLINOIS) ss
COUNTY OF WILL)

I, Abraham Garcia, depose and say that the above statements are true and correct to the best of my knowledge and belief. I agree to be present in person or by representation when this petition is heard before the Zoning Board of Appeals.

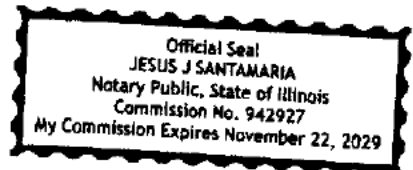
[Redacted Signature]

Petitioner's Signature

Owner's Signature
(If other than petitioner)

Subscribed and sworn to before me
this 12th day of February, 2016

[Redacted Notary Signature]



IV. BUSINESS OWNERSHIP

If the owner of the business is different than the owner of the real property associated with the application, then the following information must be provided:

Select the type of business owner associated with this application and fill in the contact information below:


- Individual:** State the names, addresses, and phone #'s of the individual owner(s)
- Corporation:** State the names, addresses, and phone #'s of all persons holding 3% or more of the stock of the corporation and the percentage of shares held by such stockholders
- Limited Liability Company:** State the names, addresses, and phone #'s of all members of the company along with the percentage of ownership held by each member
- Partnership:** State the names, addresses, and phone #'s of all partners
- Other type of organization:** State the names, addresses, and phone #'s of all persons having a legal or equitable ownership interest in the organization

E-MAIL: _____ FAX: _____

NOTE:
If a stockholder, member, beneficiary or partner disclosed in Section III or Section IV is not an individual, then the individuals holding the legal or equitable title to the real property or business associated with the application must also be disclosed. For example, if the real property associated with an application is owned by a land trust, and the beneficiary of the land trust is a limited liability company, then the members of the limited liability company must be disclosed. If one of the members of the limited liability company is a partnership, then the identity of the partners must be disclosed. If one of the partners is a corporation, then all persons owning 3% or more of the issued stock must be disclosed.

SIGNED: 

DATE: 2/12/2026

Name, Title, and Telephone Numbers of Person Completing and Submitting This Form:
Abraham Garcia, owner, 

PRINT

ZONING BOARD OF APPEALS
CRITERIA FOR VARIATIONS

Section 47-19.8 of the Zoning Ordinance states:

A variation shall not be granted in any case unless the Board shall find and clearly state in its record of the case that:

	Does the evidence presented sustain this criteria?	Comments
<p>(1) Reasons sustaining the contention that strict enforcement of the Ordinance would involve practical difficulties or impose exceptional hardship were found as follows:</p> <p>(a) _____</p> <p>(b) _____</p> <p>(c) _____</p> <p>(list of reasons)</p>		
<p>(2) Adequate evidence was submitted to establish practical difficulties or particular hardship so that, in the judgment of the Board, a variation is permitted because the evidence sustained the existence of each of the three following conditions:</p> <p>(a) The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in the particular district or zone.</p> <p>(b) The plight of the owner is due to unique circumstances.</p> <p>(c) The variation, if granted, will not alter the essential character of the locality.</p>		
<p>(3) A public hearing was held on such variation of which at least 15 days and not more than 30 days notice was published in the _____ (name of newspaper) on _____ (date).</p>		



City of Joliet

150 West Jefferson Street
Joliet, IL 60432

Memo

File #: TMP-9650

Agenda Date:4/16/2026

STAFF REPORT

DATE: April 9, 2026
TO: Zoning Board of Appeals
FROM: Helen Miller, Planner
RE: Petition Number: 2026-22
Applicant: Maria Garcia
Status of Applicant: Property owner
Location: 201 N. William Street (Council District #2)
Request: Variation of Use to allow the continuation of a three-unit residence, an R-4 (multi-family residential) use, in the R-2 (single-family residential) zoning district

Purpose

The applicant is requesting a Variation of Use to allow the continuation of a three-unit residence, an R-4 (multi-family residential) use, in the R-2 (single-family residential) zoning district at 201 N. William Street. The Variation of Use request must be considered by the City Council following the recommendation of the Zoning Board of Appeals.

Site Specific Information

The subject site is approximately 85.6 feet by 124 feet (10,648 square feet) and contains a two-story three-unit residence built around 1956. The property has an existing paved driveway off William Street that leads to an attached two-car garage. The property is zoned R-2 (single-family residential).

The property currently contains three separate dwelling units. According to City Directory information, the house has contained at least two units since its construction. It is unclear when the third unit was established. Notes from the Neighborhood Services history of the property indicate that it had three units in 2008 when it was first added to the Rental Inspection Program. The area has been zoned R-2 since the zoning maps were established in the 1960s and 1970s.

The petitioner purchased the property in May 2025. At that time, City staff alerted the petitioner that the three-unit use was not permitted and that a Variation of Use would need to be obtained. Following the purchase of the property, the petitioner was in contact with Neighborhood Services staff regarding existing rental inspection violations from an inspection performed for the prior owner. The petitioner was able to have all violations abated as of November 2025, and Neighborhood Services issued a two-year Rental

Inspection Certificate for the property that expires in September 2027. In February 2026, the petitioner applied for the Variation of Use.

The house has an existing nonconforming front yard setback. Section 47-17.22(3) *Non-conforming Structures* of the Zoning Ordinance allows pre-existing nonconformities to remain as long as the structures are not enlarged or altered in a way that increases their nonconformity. There are no proposed changes to the exterior or footprint of the building.

Surrounding Zoning, Land Use and Character

The property is located in the Cathedral Area neighborhood, at the northwest corner of William Street and Oneida Street. While the area predominantly contains single-family uses, there are some two-unit and multi-unit residences throughout the neighborhood. The subject property is surrounded by other properties with R-2 (single-family residential) zoning. There appear to be single-unit residences on the north, east, and south, and a multi-unit residence to the west.

Applicable Regulations

- Section 47-8 R-4 (Low Density Multi-Family Residential) District
- Section 47-6 R-2 (Single-Family Residential) District
- Section 47-17.28 Variation of Use

Section 47-17.28: Variation of Use: A "variation of use" shall be defined to mean relief from strict compliance with the use limitations of this Ordinance regarding the classification, regulation, and restriction of the location where trades, industries, businesses, and residences may exist.

Discussion

The petitioner, Maria Garcia, is requesting a Variation of Use to allow a three-unit residence within the R-2 (single-family residential) zoning district. The property appears to have contained three units since at least 2008, and at least two units since it was constructed in the 1950s. The multi-unit use within the R-2 (single-family residential) zoning district is no longer considered "grandfathered" because the Zoning Ordinance has provisions for the termination of nonconforming uses after certain time periods. Therefore, the property owner needs to obtain a Variation of Use to allow the continuation of the existing three-unit residence. The zoning mismatch was noticed by Planning staff when the property was for sale around 2023, but the previous owner did not apply for a Variation of Use. When the property was for sale again in 2025 and then purchased by the petitioner, Planning staff alerted the petitioner of the need to obtain a Variation of Use.

A plat of survey and floor plans are included in the staff report packet. The first floor contains an attached two-car garage and one dwelling unit (Unit 1) that is around 780 square feet with two bedrooms. The second floor contains two dwelling units: Unit 2 is

around 780 square feet with two bedrooms, and Unit 3 is around 568 square feet with one bedroom. The second-floor units are accessed by an interior staircase that leads to both entrances.

The required number of off-street parking spaces for a three-unit residence is five spaces (1.5 spaces per unit). The property contains the required spaces, as the garage has two spaces and the driveway can accommodate three spaces. The property also meets the required lot area per family of 2,500 square feet, which is the area required per unit for multi-unit dwellings in the R-4 (multi-family residential) district.

The property is currently enrolled in the Rental Inspection Program and has received a two-year rental certificate. There are no outstanding rental inspection violations at the property. Neighborhood Services does not have concerns about the property remaining as a three-unit. If the Variation of Use is approved, the property will remain enrolled in the Rental Inspection Program.

Recommended Action

Staff finds that the request meets the following Variation of Use criteria:

- the use of the property as fewer than three units would involve practical difficulties since the three units have been established for years;
- the site has the unique circumstance of being constructed as a multi-unit structure within a predominantly single-family area; and
- the approval of the Variation of Use will not alter the essential character of the area.

While the surrounding neighborhood is largely single-family residential in character, there are some existing multi-unit structures located throughout the area. There are no proposed changes to the exterior or appearance of the existing residence. The property can accommodate the required off-street parking spaces for three units. Approval of the Variation of Use would allow the existing three-unit structure to remain as it currently exists.

Conditions

If the Zoning Board desires to approve this Variation of Use to allow the continuation of a three-unit residence, an R-4 (multi-family residential) use, in the R-2 (single-family residential) zoning district at 201 N. William Street, staff recommends that the following conditions be included:

1. That the property shall remain enrolled in and comply with the City's Rental Inspection Program;
2. That the use of the property shall not be expanded in the future;
3. Should the property be declared a public nuisance, the property may be subject to a rehearing and a possible revocation of the Variation of Use.

Figure 1: Aerial view of the subject site at 201 N. William Street (2025)

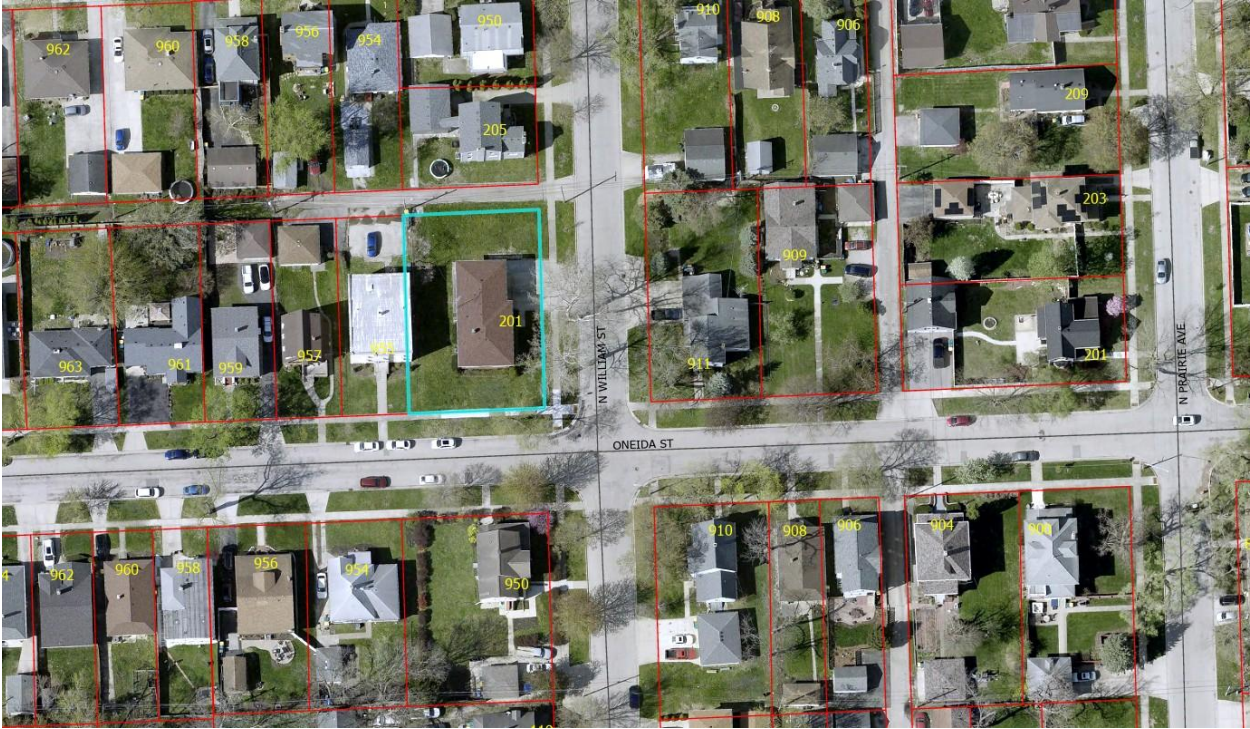
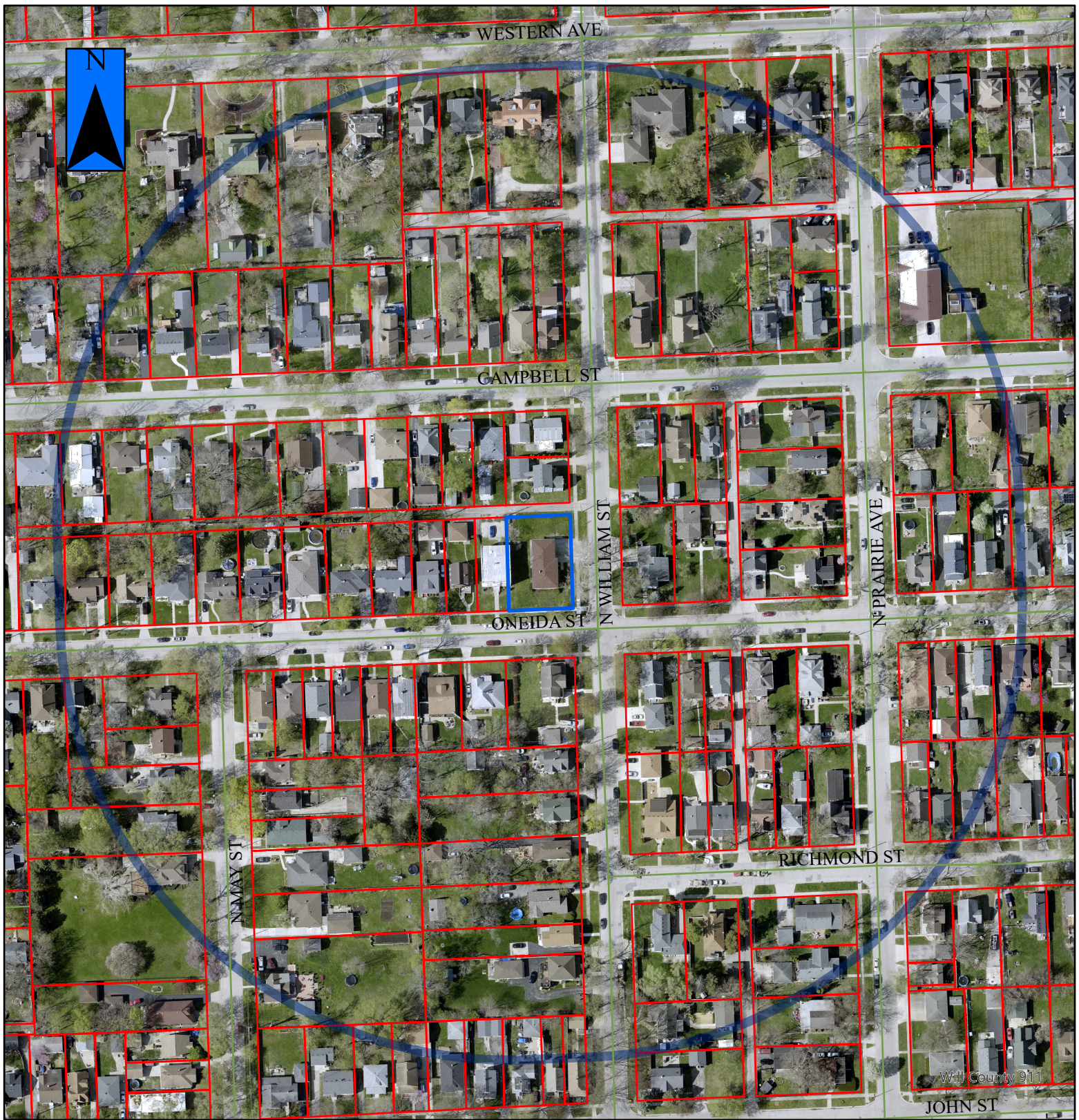


Figure 2: Existing residence at 201 N. William Street, view northwest from the intersection of William Street and Oneida Street (April 2026)

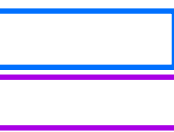


Figure 3: Existing residence at 201 N . William Street, view north from Oneida Street (April 2026)





2026-22a



= Property in Question / Propiedad en cuestión
 = 600' Public Notification Boundary /
 Límite de notificación pública de 600 ft (180 m)



2026-22



= Property in Question



= 600' Public Notification Boundary

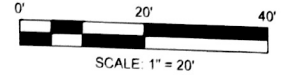
Legend					
	B-1		I-TA		R-2
	B-2		I-TB		R-2A
	B-3		I-TC		R-3
	I-1		R-1		R-4
	I-2		R-1A		R-5
	I-T		R-1B		R-B

Will County 911, City of Joliet

JOHN ST

PLAT OF SURVEY

LOTS 18 AND 19 IN CAGWIN AND MACK'S SUBDIVISION OF LOT 14, IN THOMAS P. FORD'S SUBDIVISION OF THE WEST 100 ACRES OF THE SOUTHEAST 1/4 OF SECTION 8, TOWNSHIP 35 NORTH AND IN RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED SEPTEMBER 15, 1891 AS DOCUMENT NO. 164681, IN WILL COUNTY, ILLINOIS.



SUBJECT SITE AREA
10,649.0± SQ. FT.

LEGEND

- (M) MEASURED DIMENSION
- (R) RECORD DIMENSION
- (D) DEED DIMENSION
- BSL BUILDING SETBACK LINE
- L ARC LENGTH DIMENSION
- R ARC RADIUS DIMENSION
- CH ARC CHORD DIMENSION
- PC POINT OF CURVATURE
- PT POINT OF TANGENCY
- PRC POINT OF RETURN CURVE
- ONL ONL
- OH OVERHANG
- TYP TYPICAL
- POB POINT OF BEGINNING
- POC POINT OF COMMENCEMENT
- ⊙ FOUND IRON PIPE "SIZE" (FIP)
- ⊙ SET IRON PIPE "SIZE" (SIP)
- FOUND IRON ROD "SIZE" (FIR)
- SET IRON ROD "SIZE" (SIR)
- ⊕ CUT CROSS
- ⊕ FOUND CROSS
- ⊕ CUT NOTCH
- ⊕ FOUND NOTCH
- ⊙ FOUND MAG NAIL (FMAG)
- SET MAG NAIL (SMAG)
- CLF CHAIN LINK FENCE
- WF WOOD FENCE
- MF IRON/METAL FENCE
- PF PLASTIC/VINYL FENCE
- WRF WIRE FENCE
- GR GUARD RAIL
- RTW RETAINING WALL
- ▨ BUILDING
- ▨ CONCRETE
- ▨ ASPHALT
- ▨ WOOD
- ▨ METAL
- ▨ BRICK
- ▨ GRAVEL
- ▨ STONE
- ▨ WATER
- ▨ OVERHANG/CANOPY
- ▨ ADDITION

BASIS OF BEARINGS:

THE BASIS OF BEARINGS IS THE STATE PLANE COORDINATE SYSTEM (SPCS) NAD 83 (2011) EAST ZONE. ALL MEASUREMENTS ARE ON THE GROUND.

STATE OF ILLINOIS
COUNTY OF DUPAGE

WE, PI SURVEYING PLLC, AN ILLINOIS PROFESSIONAL DESIGN FIRM DO HEREBY CERTIFY THAT THE SURVEY WAS MADE UNDER ITS SUPERVISION ON THE GROUND AND THE PLAT HEREON DRAWN IS A REPRESENTATION OF SAME. THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR BOUNDARY SURVEY.

DATED AT OAK BROOK, ILLINOIS THIS 10th DAY OF APRIL, 2025.

BY: _____
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 035 003501
LICENSE EXPIRES 11/30/2026

ILLINOIS PROFESSIONAL DESIGN FIRM NO. 184.008811-0008



SURVEY NOTES:

1. FOR BUILDING LINES, EASEMENTS AND OTHER RESTRICTIONS NOT SHOWN HEREON; REFER TO YOUR DEED, TITLE POLICY AND LOCAL ZONING ORDINANCE ETC.
2. ALL DIMENSIONS ARE IN FEET AND DECIMAL PARTS THEREOF.
3. REVIEW LEGAL DESCRIPTION AND RECORD MEASUREMENT ON THIS PLAT AND REPORT ANY DISCREPANCIES TO SURVEYOR AT ONCE, BEFORE DAMAGE MAY OCCUR.
4. COMPARE ALL POINTS BEFORE BUILDING BY SAME.
5. WE DO NOT CERTIFY UTILITIES, THEREFORE, CONTACT UTILITIES COMPANIES BEFORE BUILDING.
6. BASIS OF BEARING IF SHOWN IS ASSUMED UNLESS NOTED.
7. DATE OF FIELD WORK IS DATE SHOWN IN CERTIFICATION.
8. NO MEASUREMENTS ARE TO BE ASSUMED BY SCALING.
9. ANY COMMENTS, MODIFICATIONS, ALTERATIONS AND REVISIONS MUST BE BROUGHT TO OUR ATTENTION WITHIN 90 DAYS OF DATE OF COMPLETION OF THIS SURVEY.
10. TREES AND UTILITIES ARE NOT SHOWN HEREON.
11. CATEGORY OF THIS SURVEY IS BASED UPON CLIENT'S REQUEST.
12. TO ENSURE LEGITIMACY OF THIS PLAT, IT MUST CARRY THE SEAL OF THE PROFESSIONAL LICENSEE WHO PREPARED THIS PLAT.
13. ALL BUILDING DIMENSIONS AND TIES ARE TO CURRENT SIDING MATERIAL AND NOT TO FOUNDATION.
14. ARCHITECT, OWNER OR ENGINEER SHOULD VERIFY AND REMEASURE BUILDING FOR BUILDING ADDITION PURPOSES.
15. NO ZEROX, SCANNED COPIES SHALL BE MADE WITHOUT WRITTEN PERMISSION FROM PROFESSIONAL LAND SURVEYOR.

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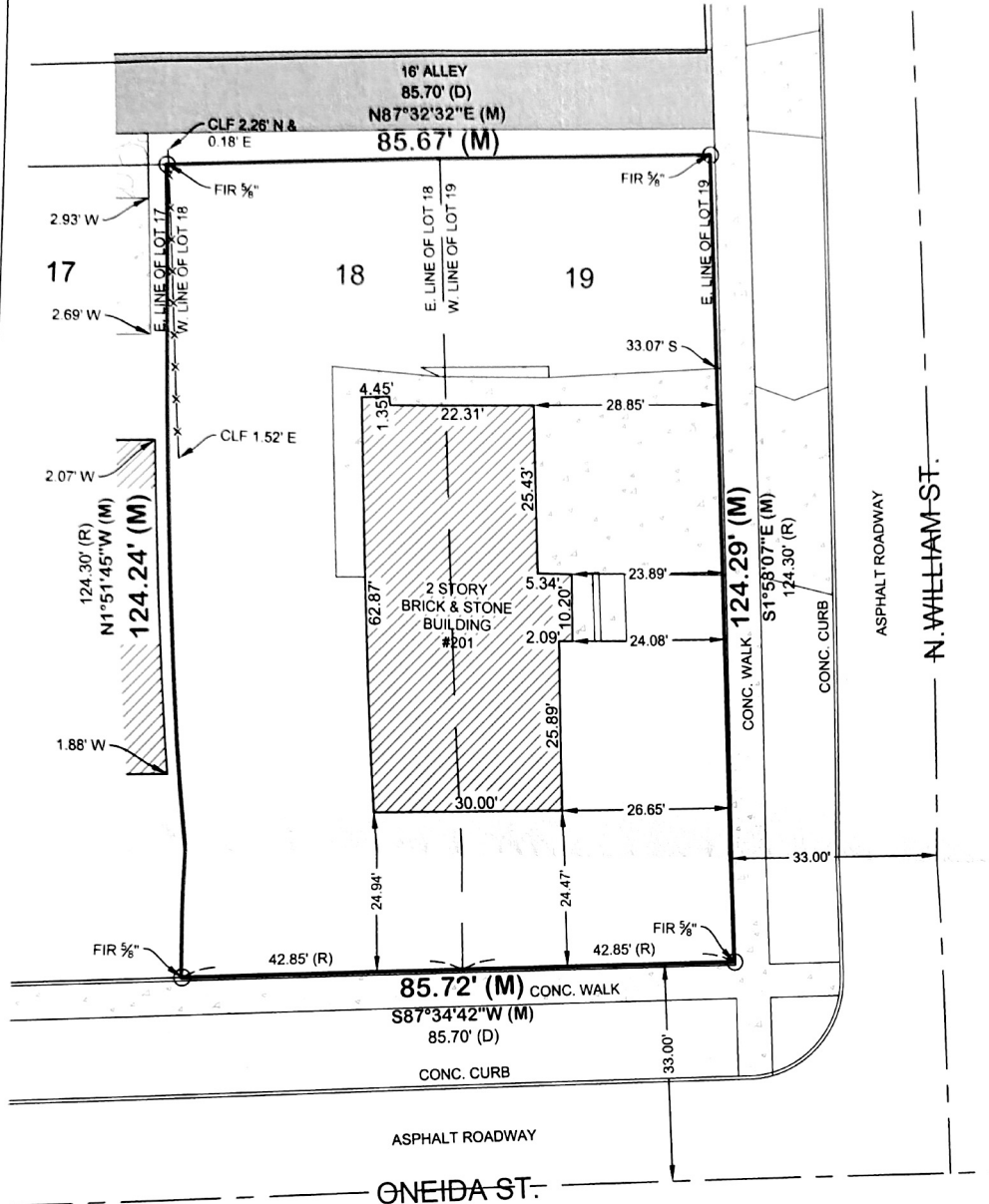


Pi Surveying PLLC
LAND SURVEYORS

903 COMMERCE DRIVE, SUITE 210, OAK BROOK, IL 60523
PHONE: (773) 444-0445 www.pisurveying.com

ADDRESS: 201 N. WILLIAM STREET, JOLIET, IL, 60435
FIELD BY: CD DRAWN BY: AB CHECKED BY: WAW
FILE NUMBER: L25-2097
ORDERED BY: JAMES FLANAGAN, ATTORNEY AT LAW
CATEGORY: BOUNDARY

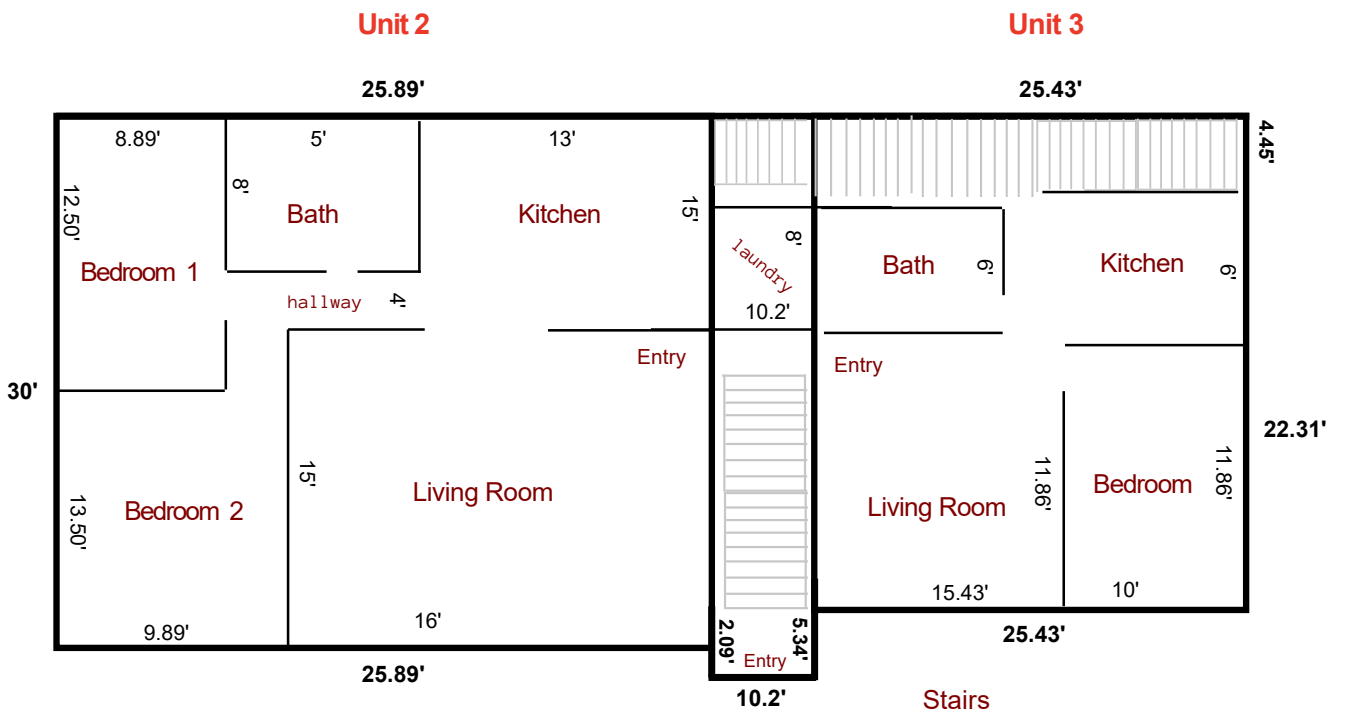
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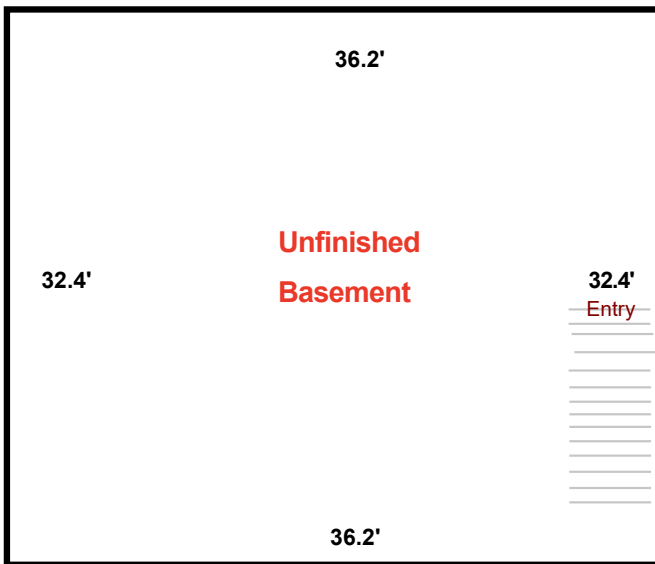
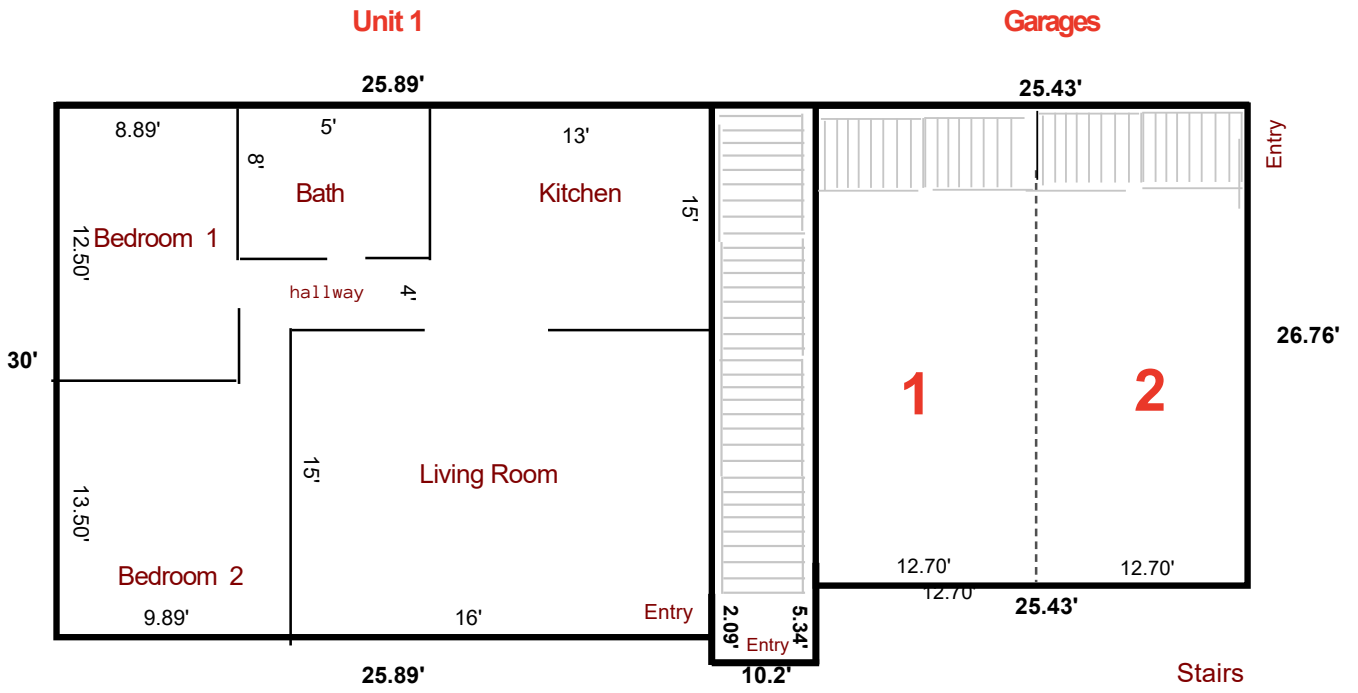
ONEIDA ST.

N. WILLIAM ST.

Second Floor

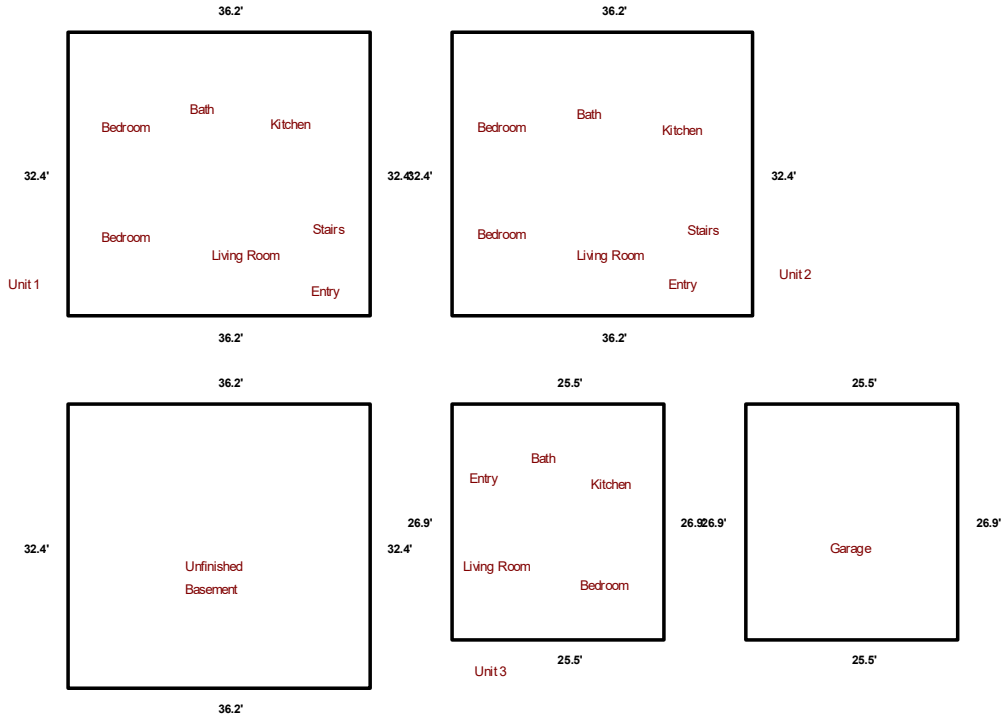


First Floor



SKETCH ADDENDUM

Borrower or Owner	Maria Garcia		
Property Address	201 N William St		
City	Joliet	County	Will
		State	IL
		Zip Code	60435
Client	Cross Country Mortgage LLC, ISAOA/ATIMA		



Summary	Square Ft. Area	Perimeter	Area Calculation Details
Living Area	First Floor	1,172.9	36.2 x 32.4 = 1,172.8
	Second Floor	1,172.9	Total = 1,172.9
	Second Floor	686.0	36.2 x 32.4 = 1,172.8
	Total	3,031.8	Total = 1,172.9
Basement	Basement	1,172.9	25.5 x 26.9 = 685.9
	Attached Garage	686.0	Total = 686.0
Garage & Carport	Basement	1,172.9	36.2 x 32.4 = 1,172.8
	Attached Garage	686.0	Total = 1,172.9
			25.5 x 26.9 = 685.9
			Total = 686.0

FOR OFFICE USE ONLY

Verified by Planner (please initial): _____

Payment received from:

Petition #:

Common Address:

Date filed:

Meeting date assigned:

ZONING BOARD OF APPEALS
JOLIET, ILLINOIS

PETITION FOR VARIATION OF USE

City of Joliet Planning Division, 150 W. Jefferson St., Joliet, IL 60432
Ph (815)724-4050 Fax (815)724-4056

ADDRESS FOR WHICH VARIATION IS REQUESTED: 201 N William Street, Joliet, IL 60435

PETITIONER'S NAME: Maria Garcia

HOME ADDRESS:

ZIP CODE:

BUSINESS ADDRESS:

ZIP CODE:

PHONE: (Primary)

(Secondary)

EMAIL ADDRESS:

FAX:

PROPERTY INTEREST OF PETITIONER: Owner

OWNER OF PROPERTY: Maria G. Garcia

HOME ADDRESS:

ZIP CODE:

BUSINESS ADDRESS:

ZIP CODE:

EMAIL ADDRESS:

FAX:

Any use requiring a business license shall concurrently apply for a business license and submit a copy with this petition. Additionally, if this request is for operation of a business, please provide the following information:

BUSINESS REFERENCES (name, address, phone or email):

N/A - Residential rental property

OTHER PROJECTS AND/OR DEVELOPMENTS:

N/A

PERMANENT INDEX NUMBER (TAX NO. OR P. I. N.): 30-07-08-412-037-0000
_____ ; _____ ; _____ .

****Property Index Number/P.I.N. can be found on tax bill or Will County Supervisor of Assessments website****

LEGAL DESCRIPTION OF PROPERTY (an attached copy preferred):

See attached legal description.

LOT SIZE: WIDTH: 124.24 DEPTH: 85.67 AREA: 10,649

PRESENT USE(S) OF PROPERTY: Existing residential building currently containing three dwelling units.

PRESENT ZONING OF PROPERTY: R-2 (Single-family Residential Districts)

VARIATION OF USE REQUESTED: Requesting approval to allow the existing building to be legally recognized as a three-unit residential property instead of two units.

RESPONSE TO VARIATION OF USE CRITERIA

The Zoning Board of Appeals is authorized to grant or recommend relief only when it has received adequate evidence to establish a practical difficulty or hardship. The evidence must support each of the following three conditions:

- (a) The property in question cannot yield a reasonable return by use permitted and subject to the conditions allowed by the regulations in the particular district or zone.
- (b) The plight of the owner is due to unique circumstances.
- (c) The variation, if granted, will not alter the essential character of the locality.

Please describe how this request meets the criteria by responding to the following questions in your own words.

1. How do the applicable zoning regulations prevent the property in question from yielding a reasonable return?
The structure has historically functioned as three separate dwelling units. Reducing the property to two units would require removal of an existing apartment causing significant financial hardship and underutilization of the building. The current layout and entrances are already designed for three units.

2. What unique circumstances exist which mandate a variance?

The property is unique because it was purchased and represented as a three-unit building at the time of sale, including in the appraisal. As part of the closing process, the petitioner agreed to pursue zoning recognition for the third unit. After acquisition, I invested substantial funds to correct 24+ code violations and have since brought the building into full compliance. The property has passed inspection and is certified as safe and consistent with the neighborhood. The layout, kitchens, and entrance arrangements are designed for three units. Without the variation, the owner cannot obtain separate electrical service for the third apartment, creating hardship. The three units were already established before the building was purchased and the request is to bring the building into proper legal status.

3. What impact would the granting of this variance have upon the essential character of the general area? Please include both positive and negative impacts.

Granting the variation will allow continued residential use, maintain the property, and provide needed housing. The request will not change the exterior appearance or increase traffic beyond what has historically existed. Any impact is minimal and consistent with nearby multi-family properties.

REQUIRED SUPPORTING ATTACHMENTS

- Site plan / concept plan / floor plan / building elevation plan
- Joliet Ownership Disclosure form
- Business license application (if applicable)

NOTARIZATION OF PETITION

STATE OF ILLINOIS) ss
COUNTY OF WILL)

I, Maria Garcia, depose and say that the above statements are true and correct to the best of my knowledge and belief. I agree to be present in person or by representation when this petition is heard before the Zoning Board of Appeals.

Petitioner's Signature

Owner's Signature
(If other than petitioner)

Subscribed and sworn to before me
this 15th day of February, 2026

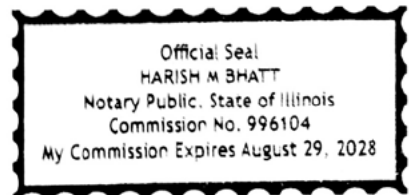


EXHIBIT A
LEGAL DESCRIPTION

LOTS 18 AND 19 IN CAGWIN AND MACK'S SUBDIVISION OF LOT 14, IN THOMAS P. FORD'S SUBDIVISION OF THE WEST 100 ACRES OF THE SOUTHEAST 1/4 OF SECTION 8, TOWNSHIP 35 NORTH AND IN RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED SEPTEMBER 15, 1891 AS DOCUMENT NO. 164681, IN WILL COUNTY, ILLINOIS.

CITY OF JOLIET OWNERSHIP DISCLOSURE FORM

The City of Joliet requires that applicants for zoning relief, subdivision approval, building permits and business licenses disclose the identity of all persons having an ownership interest in the business and the real property associated with the application. A copy of this form must be completed and submitted with other application materials. Failure to properly complete and submit this form may result in the denial of the application.

I. INFORMATION ABOUT THE APPLICATION

This form is submitted as part of an application for the following (check all that apply):

- Rezoning, Special Use Permit, Variation, or Other Zoning Relief (Complete Sections II and III)
- Preliminary Plat, Final Plat, or Record Plat of Subdivision (Complete Sections II and III)
- Building Permit (Complete Sections II and III)
- Business License (Complete All Sections)

II. INFORMATION ABOUT THE PROPERTY

The address and PIN(s) of the real property associated with this application are:

201 N William Street, Joliet, IL 60435


PIN(s): 30-07-08-412-037-0000

III. PROPERTY OWNERSHIP

Select the type of owner of the real property associated with this application and fill in the appropriate contact information below:

- Individual:** State the names, addresses, and phone #'s of the individual owner(s)
- Corporation:** State the names, addresses, and phone #'s of all persons holding 3% or more of the stock of the corporation and the percentage of shares held by such stockholders
- Limited Liability Company:** State the names, addresses, and phone #'s of all members of the company along with the percentage of ownership held by each member
- Land Trust:** State the names, addresses, and phone #'s of the trustee(s) and all beneficiaries
- Partnership:** State the names, addresses, and phone #'s of all partners
- Other type of organization:** State the names, addresses, and phone #'s of all persons having a legal or equitable ownership interest in the organization or the right to direct the affairs of the organization

Maria G. Garcia



E-MAIL:  FAX: 

IV. BUSINESS OWNERSHIP

If the owner of the business is different than the owner of the real property associated with the application, then the following information must be provided:

Select the type of business owner associated with this application and fill in the contact information below:

- Individual:** State the names, addresses, and phone #'s of the individual owner(s)
- Corporation:** State the names, addresses, and phone #'s of all persons holding 3% or more of the stock of the corporation and the percentage of shares held by such stockholders
- Limited Liability Company:** State the names, addresses, and phone #'s of all members of the company along with the percentage of ownership held by each member
- Partnership:** State the names, addresses, and phone #'s of all partners
- Other type of organization:** State the names, addresses, and phone #'s of all persons having a legal or equitable ownership interest in the organization

Same as Section III

E-MAIL: _____ FAX: _____

NOTE:
If a stockholder, member, beneficiary or partner disclosed in Section III or Section IV is not an individual, then the individuals holding the legal or equitable title to the real property or business associated with the application must also be disclosed. For example, if the real property associated with an application is owned by a land trust, and the beneficiary of the land trust is a limited liability company, then the members of the limited liability company must be disclosed. If one of the members of the limited liability company is a partnership, then the identity of the partners must be disclosed. If one of the partners is a corporation, then all persons owning 3% or more of the issued stock must be disclosed.

SIGNED: _____

DATE: 2-15-26

Name, Title, and Telephone Numbers of Person Completing and Submitting This Form:
Maria Garcia (Owner)

PRINT

ZONING BOARD OF APPEALS
CRITERIA FOR VARIATIONS

Section 47-19.8 of the Zoning Ordinance states:

A variation shall not be granted in any case unless the Board shall find and clearly state in its record of the case that:

	Does the evidence presented sustain this criteria?	Comments
(1) Reasons sustaining the contention that strict enforcement of the Ordinance would involve practical difficulties or impose exceptional hardship were found as follows: (a) _____ (b) _____ (c) _____ (list of reasons)		
(2) Adequate evidence was submitted to establish practical difficulties or particular hardship so that, in the judgment of the Board, a variation is permitted because the evidence sustained the existence of each of the three following conditions: (a) The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in the particular district or zone. (b) The plight of the owner is due to unique circumstances. (c) The variation, if granted, will not alter the essential character of the locality.		
(3) A public hearing was held on such variation of which at least 15 days and not more than 30 days notice was published in the _____ (name of newspaper) on _____ (date).		



City of Joliet

150 West Jefferson Street
Joliet, IL 60432

Memo

File #: TMP-9761

Agenda Date:4/16/2026
