

DATE: May 21, 2026
TO: Joliet Plan Commission
FROM: Ray Heitner - Planner
SUBJECT: PUD-5-26: Amendment to the Final Plat of Vista Ridge Phase 1 Planned Unit Development (Council District #3)

V-3-26: Approval of a Vacation of a Public Utility and Drainage Easement for Vista Ridge Phase 1 Planned Unit Development (Council District #3)

GENERAL INFORMATION:

APPLICANT: Vista Ridge Development, LLC
STATUS OF APPLICANT: Owner and Developer
REQUESTED ACTION: Approval of an amended Final Plat and Vacation of a Public Utility and Drainage Easement
PURPOSE: To allow continued development of a previously approved multi-family residential subdivision
EXISTING ZONING: R-4 (Low Density Multi-Family Residential)
LOCATION: 2700 Vista Lane
SIZE: Approximately 5.2 Acres
EXISTING LAND USE: Ongoing townhome development

SURROUNDING LAND USE & ZONING:

NORTH: Farmland; R-2 (Single-Family Residential)
SOUTH: Ongoing single-family residential development; R-2 (Single-Family Residential)
EAST: Farmland; R-2 (Single-Family Residential)
WEST: Stormwater Detention; R-2 (Single-Family Residential)

SITE HISTORY: The subject property was annexed into the City in 2004. On January 7, 2025, the City Council approved rezoning of the property to R-4 (Low Density Multi-Family

Residential) zoning. The surrounding acreage which is also included in the same Planned Unit Development (PUD), was rezoned to R-2 (Single-Family Residential) at this time. The City Council approved the Recording Plat for the entire PUD to allow construction of 321 single-family residential homes and 76 townhouse dwelling units on May 6, 2025.

SPECIAL INFORMATION: The subject petitions concern the 5.2-acre portion of the PUD dedicated to townhome development. The previously approved Final Plat for this area consisted of 17 townhouse block lots that were each 58 feet deep. The applicant is requesting an amendment to the Final PUD Plat to increase the size of these lots to 70 feet deep to allow the full extent of the rear individual unit patios to be located within each townhome lot and not in the common lot areas. There are no changes to the volume or design of these units.

When the Final PUD Plat for the greater subdivision was approved in 2025, a blanket Public Utility and Drainage Easement was created to cover the extent of each common lot area (Lots 343, 344, and 345) outside of the townhouse block lots. Since portions of this easement area are being encroached upon with the requested extension of the townhouse block lots, a vacation of these easement areas is necessary to avoid future conflicts with the proposed back patios. Staff have reviewed this request and have no concerns about the proposed vacation. Staff have not received any correspondence from any private utility companies regarding the requested vacation.

ANALYSIS: Approval of the requested amended Final Plat and Public Utility and Drainage Easement vacation will allow the continued construction of townhouse units within Phase 1 of Vista Ridge PUD with all future rear yard patios on the townhouse block lots. Staff have examined these requests and believe there will be no meaningful impact on stormwater detention or residential open space. The requested vacation would not have any effect on public or private utilities in the area.

RECOMMENDED ACTION: Staff recommend the Plan Commission recommend approval of an amendment to the Final Plat of Vista Ridge Planned Unit Development and a Vacation of a Public Utility and Drainage Easement for Vista Ridge Phase 1 Planned Unit Development to the City Council.

CASE NO. _____

DATE FILED: _____

**CITY PLAN COMMISSION
JOLIET, ILLINOIS**

PETITION FOR APPROVAL OF (Check One):

☐	Preliminary Plat
☒	Final Plat
☒	Recording Plat

NAME OF SUBDIVISION: Vista Ridge

NAME OF PETITIONER: Vista Ridge Development LLC

CELL #: [REDACTED] E-MAIL: [REDACTED]

HOME ADDRESS: 11S220 Jackson Street Suite # 101

CITY, STATE, ZIP: Burr Ridge, Illinois 60527

HOME PHONE: [REDACTED]

BUSINESS ADDRESS: 11S220 Jackson Street Suite # 101

CITY, STATE, ZIP: Burr Ridge, Illinois 60527

BUSINESS PHONE: [REDACTED]

INTEREST OF PETITIONER: Owner

NAME OF LOCAL AGENT: John Barry

ADDRESS: 11S220 Jackson Street, Suite # 101 Burr Ridge, IL 60527 PHONE: [REDACTED]

OWNER: Vista Ridge Development LLC

HOME ADDRESS: 11S220 Jackson Street Suite # 101 PHONE: [REDACTED]

CITY, STATE, ZIP: Burr Ridge, Illinois 60527

BUSINESS ADDRESS: 11S220 Jackson Street Suite # 101 PHONE: [REDACTED]

CITY, STATE, ZIP: Burr Ridge, Illinois 60527

CELL #: [REDACTED] E-MAIL: [REDACTED]

ENGINEER: V3 Companies

ADDRESS: 7325 Janes Avenue Woodridge, IL 60517 PHONE: [REDACTED]

LAND SURVEYOR: V3 Companies

ADDRESS: 7325 Janes Avenue Woodridge, IL 60517 PHONE: [REDACTED]

ATTORNEY: Thomas Osterberger - KGG, LLC

ADDRESS: 111 N. Ottawa Street, Joliet Illinois 60423 PHONE: [REDACTED]

LEGAL DESCRIPTION OF PROPERTY: Vista Ridge Phase 1 Resubdivision1, a Planned Unit Development
PART OF SECTION 26, TOWNSHIP 36 NORTH, RANGE 8, EAST OF THE THIRD PRINCIPAL MERIDIAN,
IN THE TOWNSHIP OF NA-AU-SAY, KENDALL COUNTY, ILLINOIS.

COMMON ADDRESS: 2700 Vista Lane, Plainfield, IL 60586

PERMANENT INDEX NUMBER (Tax No.): [REDACTED]

SIZE: 6.5560 ACRES

NO. OF LOTS: 17 Townhome Lots & 3 Oulots Lots

PRESENT USE: Townhome Lots EXISTING ZONING: R4

USES OF SURROUNDING PROPERTIES: North: Single Family Residential

South: Single Family Residential

East: Single Family Residential

West: Single Family Residential

Name of Park District: Plainfield Park District

Date Contacted Park District: July 24, 2024

Is any open space/park site being offered as part of a preliminary plat? Yes

If yes, what amount? +/- 5.2 Acres

(Acknowledgment by Park District Official) Bob Collins, Director of Planning

Has the Zoning Board of Appeals granted any variance, exception, or special permit concerning this property?

Yes ☐ No ☐ If yes, list the Case number and name: _____

Is any variance from the Subdivision Regulations being requested? Yes ☐ No ☒

If yes, describe: _____

Attach ten (10) copies of the plat to this petition.

List all contiguous holdings in the same ownership (as defined in the Subdivision Regulations) by
permanent index numbers: N/A

Attached hereto is an affidavit of ownership indicating the dates the respective holdings of land were acquired, together with the book and page of each conveyance to the present owner as recorded in the Will County Recorder of Deeds office. This affidavit shall indicate the legal owner of the property, the contract owner of the property, and the date the contract of sale was executed.

In the event the property is held in trust: A list of all individual beneficial owners of the trust must be attached.

In the event of corporate ownership: A list of all directors, officers, and stockholders of each corporation owning more than five percent (5%) of any shares of stock must be attached.

STATE OF ILLINOIS) ss
COUNTY OF WILL)

I, John Barry, hereby depose and say that all of the above
statements and the statements contained in the [REDACTED] are true. I agree to be present
in person or by representation when this is heard.

Date: 2/5/2026
Pet [REDACTED]

Subscribed and sworn to before me this 5th day of FEBRUARY, 20 26

N [REDACTED] 11.18.2028
My Commission Expires:

[REDACTED]

CITY OF JOLIET OWNERSHIP DISCLOSURE FORM

The City of Joliet requires that applicants for zoning relief, subdivision approval, building permits and business licenses disclose the identity of all persons having an ownership interest in the business and the real property associated with the application. A copy of this form must be completed and submitted with other application materials. Failure to properly complete and submit this form may result in the denial of the application.

I. INFORMATION ABOUT THE APPLICATION

This form is submitted as part of an application for the following (check all that apply):

- ☐ Rezoning, Special Use Permit, Variation, or Other Zoning Relief (Complete Sections II and III)
- ☒ Preliminary Plat, Final Plat, or Record Plat of Subdivision (Complete Sections II and III)
- ☒ Building Permit (Complete Sections II and III)
- ☐ Business License (Complete All Sections)

II. INFORMATION ABOUT THE PROPERTY

The address and PIN(s) of the real property associated with this application are:

2700 Vista Lane, Plainfield, IL 60586

PIN(s): _____

III. PROPERTY OWNERSHIP

Select the type of owner of the real property associated with this application and fill in the appropriate contact information below:

- ☐ **Individual:** State the names, addresses, and phone #'s of the individual owner(s)
- ☐ **Corporation:** State the names, addresses, and phone #'s of all persons holding 3% or more of the stock of the corporation and the percentage of shares held by such stockholders
- ☒ **Limited Liability Company:** State the names, addresses, and phone #'s of all members of the company along with the percentage of ownership held by each member
- ☐ **Land Trust:** State the names, addresses, and phone #'s of the trustee(s) and all beneficiaries
- ☐ **Partnership:** State the names, addresses, and phone #'s of all partners
- ☐ **Other type of organization:** State the names, addresses, and phone #'s of all persons having a legal or equitable ownership interest in the organization or the right to direct the affairs of the organization

Paul McNaughton

Brian Flanagan

E-MAIL: _____ FAX: _____

IV. BUSINESS OWNERSHIP

If the owner of the business is different than the owner of the real property associated with the application, then the following information must be provided:

Select the type of business owner associated with this application and fill in the contact information below:

- ☐ **Individual:** State the names, addresses, and phone #'s of the individual owner(s)
- ☐ **Corporation:** State the names, addresses, and phone #'s of all persons holding 3% or more of the stock of the corporation and the percentage of shares held by such stockholders
- ☒ **Limited Liability Company:** State the names, addresses, and phone #'s of all members of the company along with the percentage of ownership held by each member
- ☐ **Partnership:** State the names, addresses, and phone #'s of all partners
- ☐ **Other type of organization:** State the names, addresses, and phone #'s of all persons having a legal or equitable ownership interest in the organization

Paul McNaughton

Brian Flanagan

E-MAIL: johnb@mcnaughtondevelopment.com FAX: _____

NOTE:

If a stockholder, member, beneficiary or partner disclosed in Section III or Section IV is not an individual, then the individuals holding the legal or equitable title to the real property or business associated with the application must also be disclosed. For example, if the real property associated with an application is owned by a land trust, and the beneficiary of the land trust is a limited liability company, then the members of the limited liability company must be disclosed. If one of the members of the limited liability company is a partnership, then the identity of the partners must be disclosed. If one of the partners is a corporation, then all persons owning 3% or more of the issued stock must be disclosed.

SIGNED: _____

DATE: _____

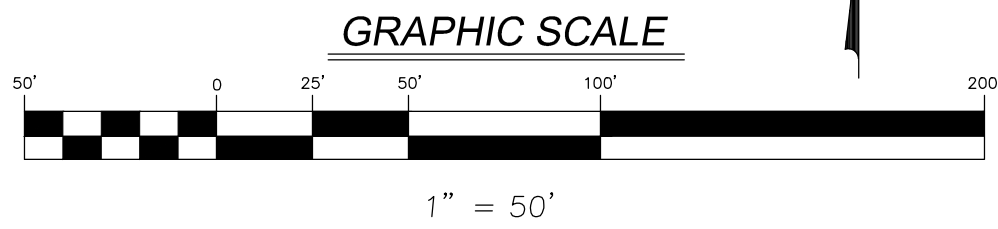
2/5/2026

Name, Title, and Telephone Numbers of Person Completing and Submitting This Form:

THIS PLAT IS NOT
FOR RECORD

FINAL PLAT
OF
VISTA RIDGE PHASE 1
A PLANNED UNIT DEVELOPMENT

PART OF SECTION 26, TOWNSHIP 36 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL
MERIDIAN, IN THE TOWNSHIP OF NA-AU-SAY, KENDALL COUNTY, ILLINOIS.

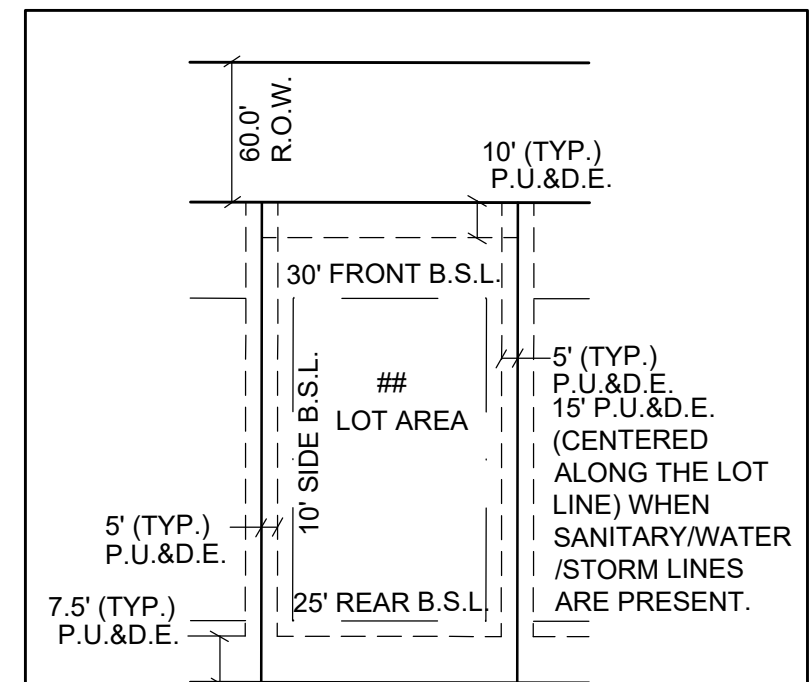


LEGEND		DESCRIPTION
EXISTING	PROPOSED	
		SANITARY SEWER
		SANITARY FORCE MAIN
		STORM SEWER
		COMBINED SEWER
		WATER MAIN
		OVERHEAD ELECTRIC LINE
		OVERHEAD ELECTRIC POLE
		UTILITY STRUCTURE WITH CLOSED LID
		CURB INLET
		DRAINAGE STRUCTURE WITH OPEN LID
		FIRE HYDRANT
		VALVE IN VALVE BOX
		GATE VALVE IN VALVE VAULT
		FLARED END SECTION (F.E.S.)
		CONTOUR
		STORMWATER OVERFLOW ROUTE
		RIGHT-OF-WAY LINE
		PROPERTY LINE (EXTERIOR)
		LOT LINE (INTERIOR)
		EASEMENT LINE
		CENTERLINE
		B-6.12 CURB & GUTTER

LEGEND		SECTION CORNER
		SUBDIVISION BOUNDARY LINE
		UNDERLYING LOT LINE
		EXISTING LOT LINE
		PROPOSED LOT LINE
		EXISTING EASEMENT LINE
		PROPOSED EASEMENT LINE
		BUILDING SETBACK LINE
		SECTION LINE

N	NORTH
S	SOUTH
E	EAST
W	WEST
CB	CHORD BEARING
A	ARC LENGTH
R	RADIUS
PU&DE	PUBLIC UTILITY & DRAINAGE EASEMENT
D.E.	DRAINAGE EASEMENT
(0.00')	RECORD DATUM
0.00'	CALCULATED DATUM
■	SET CONCRETE MONUMENT
B.S.L.	BUILDING SETBACK LINE
○	FOUND IRON PIPE W/SIZE

TYPICAL LOT DETAIL
N.T.S.



EASEMENT & SETBACK TYPICAL UNLESS
OTHERWISE SHOWN



Engineers
Scientists
Surveyors

7325 Janes Avenue, Suite 100
Woodridge, IL 60517
630.724.9200 voice
630.724.0384 fax
v3co.com

PREPARED FOR:
McNaughton Development
115220 S. Jackson, St. 101
Burr Ridge, IL 60527-6818
630.325.3400

REVISIONS			REVISIONS		
NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION
1	11-13-24	REVISED PER CITY COMMENTS	7	12-19-25	REVISED PER CITY COMMENTS
2	11-19-24	REVISED PER CITY COMMENTS			
3	1-20-25	REVISED PER CITY COMMENTS			
4	3-19-25	REVISED PER CITY COMMENTS			
5	4-16-25	REVISED PER CITY COMMENTS			
6	11-13-25	REVISED TOWNHOME LOTS FOR PATIOS			

FINAL PLAT

VISTA RIDGE PHASE 1
A PLANNED UNIT DEVELOPMENT

DRAFTING COMPLETED:	10-07-24	DRAWN BY:	MG	PROJECT MANAGER:	CDB
FIELD WORK COMPLETED:	N/A	CHECKED BY:	RMW	SCALE:	1" = 50'

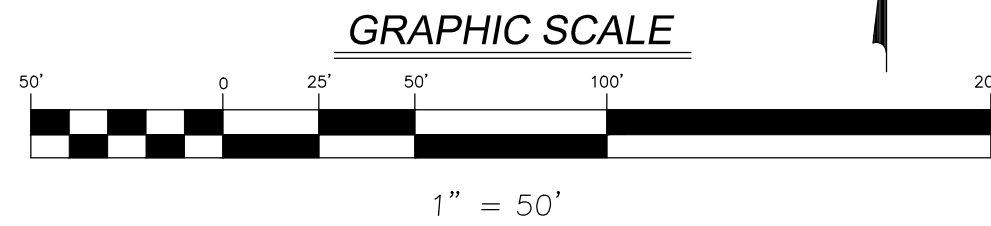
Project No: 241015
Group No: VP04.7
SHEET NO. 2 of 6

THIS PLAT IS NOT
FOR RECORD

FINAL PLAT
OF
VISTA RIDGE PHASE 1
A PLANNED UNIT DEVELOPMENT

PART OF SECTION 26, TOWNSHIP 36 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL
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STATE PLANE MERIDIAN

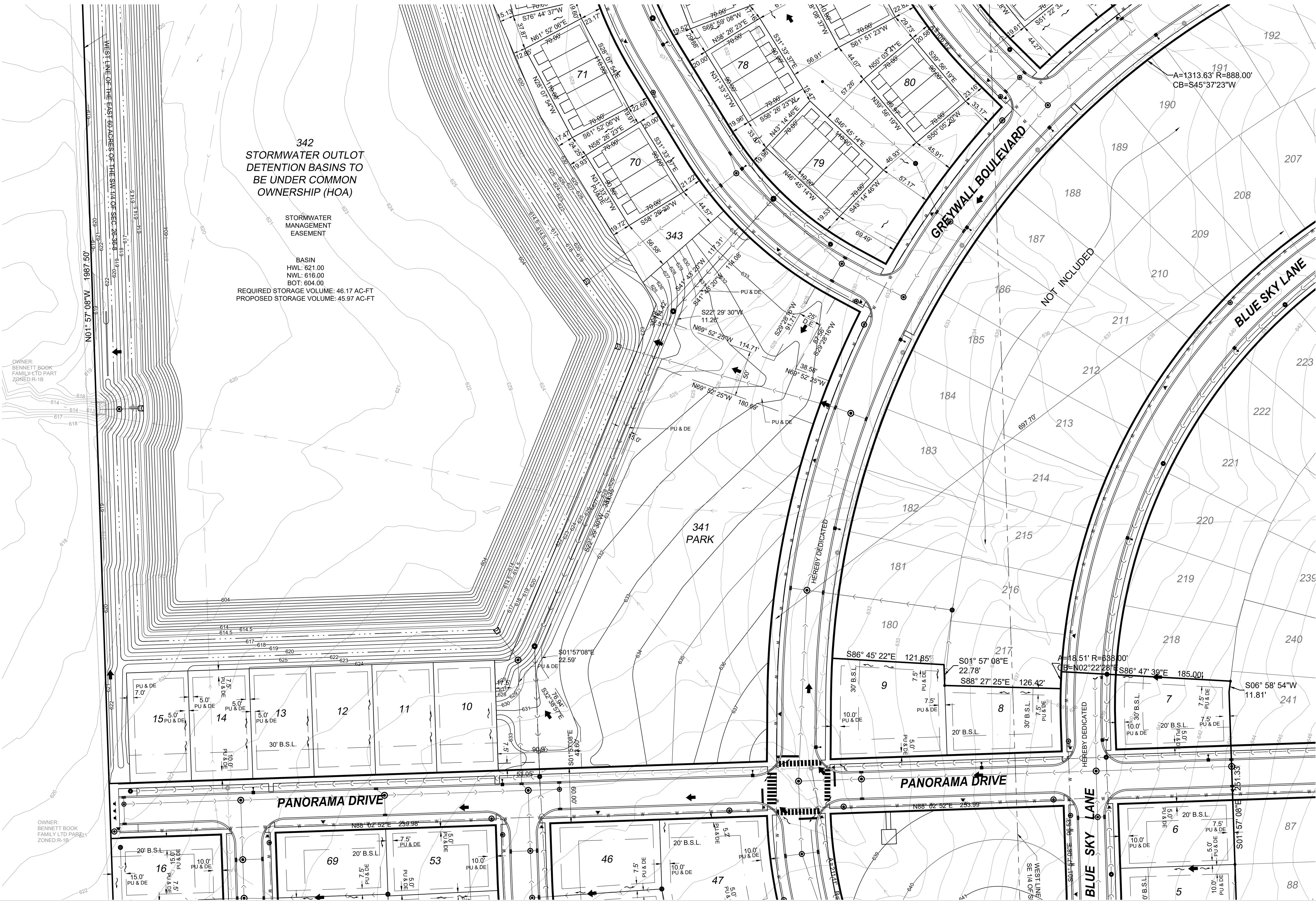
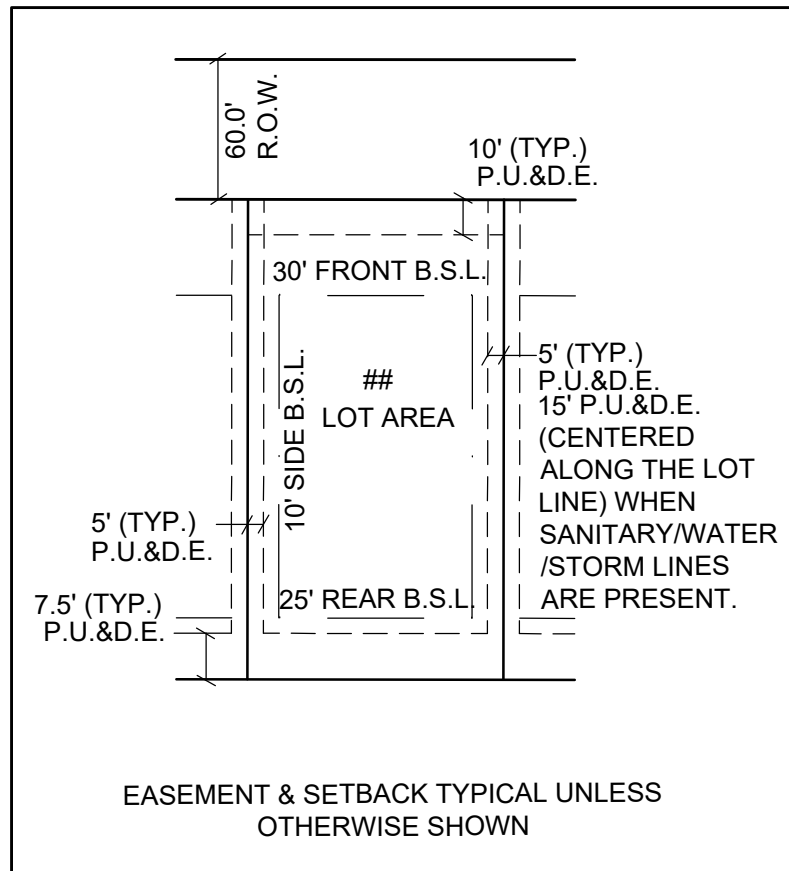


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EXISTING	PROPOSED	DESCRIPTION
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		STORM SEWER
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		EASEMENT LINE
		CENTERLINE
		B-6.12 CURB & GUTTER

LEGEND

	SECTION CORNER
	SUBDIVISION BOUNDARY LINE
	UNDERLYING LOT LINE
	EXISTING LOT LINE
	PROPOSED LOT LINE
	EXISTING EASEMENT LINE
	PROPOSED EASEMENT LINE
	BUILDING SETBACK LINE
	SECTION LINE
N	NORTH
S	SOUTH
E	EAST
W	WEST
CB	CHORD BEARING
A	ARC LENGTH
R	RADIUS
PU&DE	PUBLIC UTILITY & DRAINAGE EASEMENT
D.E.	DRAINAGE EASEMENT
(0.00')	RECORD DATUM
0.00'	CALCULATED DATUM
■	SET CONCRETE MONUMENT
B.S.L.	BUILDING SETBACK LINE
○ FIP	FOUND IRON PIPE W/SIZE
TYPICAL LOT DETAIL	
N.T.S.	



Engineers
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FINAL PLAT

VISTA RIDGE PHASE 1
A PLANNED UNIT DEVELOPMENT

DRAFTING COMPLETED: 10-07-24
FIELD WORK COMPLETED: N/A
DRAWN BY: MG
CHECKED BY: RMW
PROJECT MANAGER: CDB
SCALE: 1" = 50'

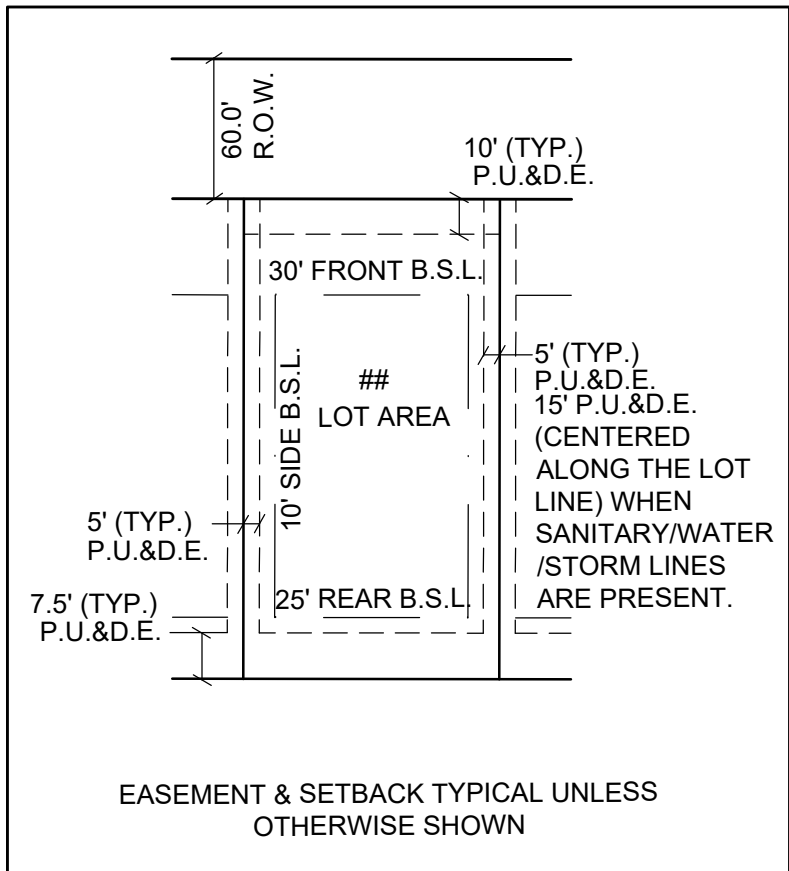
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Group No: VP04.7
SHEET NO. 3 of 6

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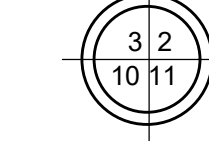
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MERIDIAN, IN THE TOWNSHIP OF NA-AU-SAY, KENDALL COUNTY, ILLINOIS.

TYPICAL LOT DETAIL
N.T.S.



LEGEND

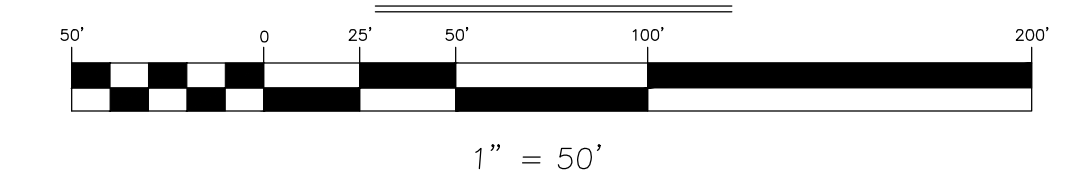


SECTION CORNER		
SUBDIVISION BOUNDARY LINE	N	NORTH
UNDERLYING LOT LINE	S	SOUTH
EXISTING LOT LINE	E	EAST
PROPOSED LOT LINE	W	WEST
EXISTING EASEMENT LINE	CB	CHORD BEARING
PROPOSED EASEMENT LINE	A	ARC LENGTH
BUILDING SETBACK LINE	R	RADIUS
SECTION LINE	PU&DE	PUBLIC UTILITY & DRAINAGE EASEMENT
	D.E.	DRAINAGE EASEMENT
	(0.00')	RECORD DATUM
	0.00'	CALCULATED DATUM
	■	SET CONCRETE MONUMENT
	B.S.L.	BUILDING SETBACK LINE
	○ FIP	FOUND IRON PIPE W/SIZE

LEGEND

EXISTING	PROPOSED	DESCRIPTION
—	—	SANITARY SEWER
—	—	SANITARY FORCE MAIN
—	—	STORM SEWER
—	—	COMBINED SEWER
—	—	WATER MAIN
—	—	OVERHEAD ELECTRIC LINE
—	—	OVERHEAD ELECTRIC POLE
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—	—	GATE VALVE IN VALVE VAULT
—	—	FLARED END SECTION (F.E.S.)
—	—	CONTOUR
—	—	STORMWATER OVERFLOW ROUTE
—	—	RIGHT-OF-WAY LINE
—	—	PROPERTY LINE (EXTERIOR)
—	—	LOT LINE (INTERIOR)
—	—	EASEMENT LINE
—	—	CENTERLINE
—	—	B-6.12 CURB & GUTTER

GRAPHIC SCALE



BASIN
HWL: 621.00
NWL: 616.00
BOT: 604.00
REQUIRED STORAGE VOLUME: 46.17 AC-FT
PROPOSED STORAGE VOLUME: 45.97 AC-FT

342
STORMWATER OUTLOT
DETENTION BASINS TO
BE UNDER COMMON
OWNERSHIP (HOA)

STORMWATER
MANAGEMENT
EASEMENT

BASIN
HWL: 621.00
NWL: 616.00
BOT: 604.00
REQUIRED STORAGE VOLUME: 46.17 AC-FT
PROPOSED STORAGE VOLUME: 45.97 AC-FT

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FINAL PLAT

VISTA RIDGE PHASE 1
A PLANNED UNIT DEVELOPMENT

DRAFTING COMPLETED:	10-07-24	DRAWN BY:	MG	PROJECT MANAGER:	CDB
FIELD WORK COMPLETED:	N/A	CHECKED BY:	RMW	SCALE:	1" = 50'

Project No: 241015
Group No: VP04.7

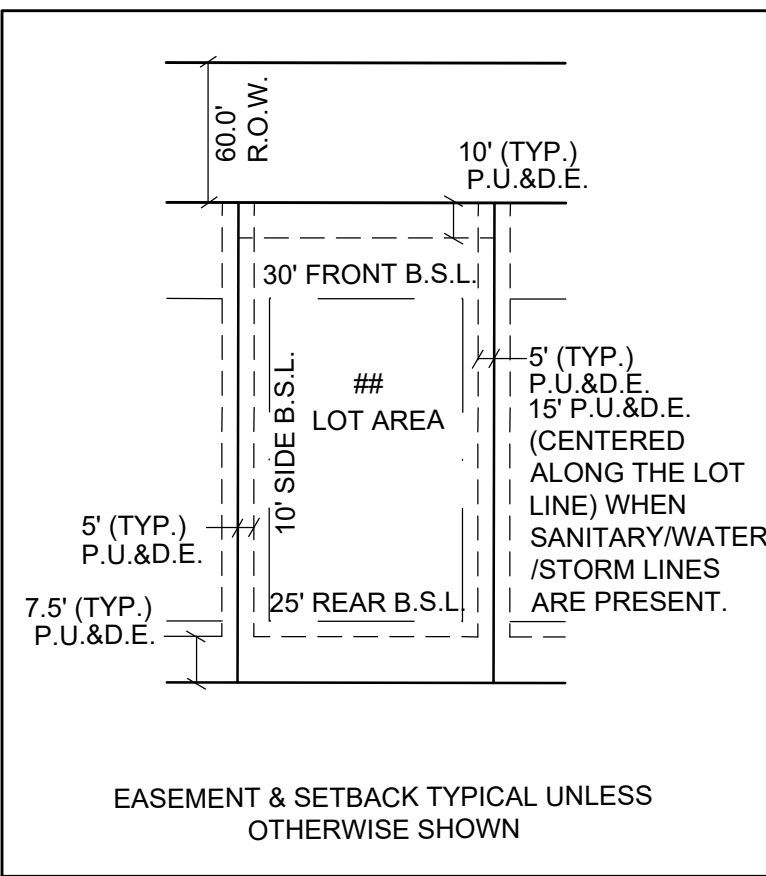
SHEET NO.
4 of 6

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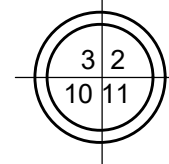
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TYPICAL LOT DETAIL
N.T.S.



LEGEND



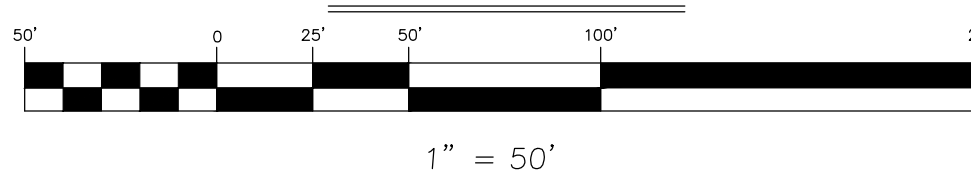
SECTION CORNER

- SUBDIVISION BOUNDARY LINE
- UNDERLYING LOT LINE
- EXISTING LOT LINE
- PROPOSED LOT LINE
- EXISTING EASEMENT LINE
- PROPOSED EASEMENT LINE
- BUILDING SETBACK LINE
- SECTION LINE
- N NORTH
- S SOUTH
- E EAST
- W WEST
- CB CHORD BEARING
- A ARC LENGTH
- R RADIUS
- PU&DE PUBLIC UTILITY & DRAINAGE EASEMENT
- D.E. DRAINAGE EASEMENT
- (0.00') RECORD DATUM
- 0.00' CALCULATED DATUM
- SET CONCRETE MONUMENT
- B.S.L. BUILDING SETBACK LINE
- FIP FOUND IRON PIPE W/SIZE

LEGEND

- | EXISTING | PROPOSED | DESCRIPTION |
|----------|----------|-----------------------------------|
| | | SANITARY SEWER |
| | | SANITARY FORCE MAIN |
| | | STORM SEWER |
| | | COMBINED SEWER |
| | | WATER MAIN |
| | | OVERHEAD ELECTRIC LINE |
| | | OVERHEAD ELECTRIC POLE |
| | | UTILITY STRUCTURE WITH CLOSED LID |
| | | CURB INLET |
| | | DRAINAGE STRUCTURE WITH OPEN LID |
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| | | GATE VALVE IN VALVE VAULT |
| | | FLARED END SECTION (F.E.S.) |
| | | CONTOUR |
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| | | PROPERTY LINE (EXTERIOR) |
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| | | CENTERLINE |
| | | B-6.12 CURB & GUTTER |

GRAPHIC SCALE



STATE PLANE MERIDIAN

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Scientists
Surveyors

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Burr Ridge, IL 60527-6818
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A PLANNED UNIT DEVELOPMENT

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SCALE: 1" = 50'

Project No: 241015
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SHEET NO.
5 of 6

THIS PLAT IS NOT
FOR RECORD

FINAL PLAT OF VISTA RIDGE PHASE 1 A PLANNED UNIT DEVELOPMENT

PART OF SECTION 26, TOWNSHIP 36 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN THE TOWNSHIP OF NA-AU-SAY, KENDALL COUNTY, ILLINOIS.

SURVEYORS AUTHORIZATION CERTIFICATE

I, CHRISTOPHER D. BARTOSZ, ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3189, DO HEREBY AUTHORIZE THE CITY OF JOLIET OR THEIR AGENT TO FILE WITH THE KENDALL COUNTY RECORDER'S OFFICE THE RECORD PLAT KNOWN AS VISTA RIDGE PHASE 1, BEING A SUBDIVISION OF PART OF SECTION 26, TOWNSHIP 36 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN THE TOWNSHIP OF NA-AU-SAY, KENDALL COUNTY, ILLINOIS.



CHRISTOPHER D. BARTOSZ
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3189
V3 COMPANIES, LTD.

SURVEYOR'S CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF DUPAGE)

THIS IS TO CERTIFY THAT I, CHRISTOPHER D. BARTOSZ, ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3189 HAVE SURVEYED AND SUBDIVIDED THE FOLLOWING DESCRIBED PROPERTY:

THAT PART OF THE EAST 60 ACRES OF THE SOUTHWEST 1/4 OF SECTION 26 TOGETHER WITH THAT PART OF THE WEST 60 ACRES OF THE SOUTHEAST 1/4 OF SAID SECTION 26, ALL IN TOWNSHIP 36 NORTH, RANGE 8, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN THE TOWNSHIP OF NA-AU-SAY, KENDALL COUNTY, ILLINOIS, DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF SAID SOUTHEAST 1/4 OF SAID SECTION 26; THENCE SOUTH 01 DEGREES 57 MINUTES 08 SECONDS EAST ALONG THE WEST LINE OF SAID SOUTHEAST 1/4, A DISTANCE OF 463.02 FEET TO THE POINT OF BEGINNING; THENCE NORTH 88 DEGREES 33 MINUTES 06 SECONDS EAST, 45.38 FEET; THENCE SOUTH 01 DEGREES 26 MINUTES 54 SECONDS EAST, 187.74 FEET; THENCE SOUTH 08 DEGREES 32 MINUTES 48 SECONDS EAST, 68.27 FEET; THENCE SOUTH 28 DEGREES 09 MINUTES 01 SECONDS EAST, 136.47 FEET TO A POINT ON A CURVE; THENCE EASTERLY ALONG THE ARC OF A CURVE, CONCAVE SOUTHEASTERLY, HAVING A RADIUS OF 958.00 FEET, A CHORD BEARING OF NORTH 70 DEGREES 19 MINUTES 52 SECONDS EAST 590.93 FEET TO A POINT OF TANGENCY; THENCE NORTH 88 DEGREES 00 MINUTES 07 SECONDS EAST 120.49 FEET; THENCE NORTH 87 DEGREES 21 MINUTES 56 SECONDS EAST 180.01 FEET TO THE EAST LINE OF THE WEST 60 ACRES OF SAID SOUTHEAST QUARTER; THENCE SOUTH 01 DEGREES 57 MINUTES 08 SECONDS EAST ALONG SAID EAST LINE 70.00 FEET; THENCE SOUTH 87 DEGREES 21 MINUTES 56 SECONDS WEST 179.57 FEET; SOUTH 88 DEGREES 00 MINUTES 07 SECONDS WEST 120.88 FEET TO A POINT OF CURVATURE; THENCE WESTERLY, SOUTHWESTERLY, AND SOUTHERLY ALONG THE ARC OF A CURVE CONCAVE SOUTHEASTERLY HAVING A RADIUS OF 888.00 FEET, A CHORD BEARING OF SOUTH 45 DEGREES 37 MINUTES 23 SECONDS WEST, 1313.63 FEET; THENCE SOUTH 86 DEGREES 45 MINUTES 22 SECONDS EAST, 121.85 FEET; THENCE SOUTH 01 DEGREES 57 MINUTES 08 SECONDS EAST, 22.78 FEET; THENCE SOUTH 88 DEGREES 27 MINUTES 25 SECONDS EAST, 126.42 FEET TO A POINT ON A CURVE; THENCE NORTHEASTERLY ALONG THE ARC OF A CURVE CONCAVE EASTERLY, HAVING A RADIUS OF 638.00 FEET, A CHORD BEARING OF NORTH 02 DEGREES 22 MINUTES 28 SECONDS EAST, 18.51 FEET TO A POINT OF NON-TANGENCY; THENCE SOUTH 86 DEGREES 47 MINUTES 39 SECONDS EAST, 185.00 FEET; THENCE SOUTH 06 DEGREES 58 MINUTES 54 SECONDS WEST, 11.81 FEET; THENCE SOUTH 01 DEGREES 57 MINUTES 08 SECONDS EAST, 251.33 FEET; THENCE SOUTH 11 DEGREES 18 MINUTES 51 SECONDS WEST, 111.38 FEET; THENCE SOUTH 28 DEGREES 21 MINUTES 41 SECONDS WEST, 300.20 FEET; THENCE SOUTH 86 DEGREES 27 MINUTES 17 SECONDS WEST, 49.72 FEET TO A POINT ON A CURVE; THENCE SOUTHERLY ALONG THE ARC OF A CURVE CONCAVE WESTERLY, HAVING A RADIUS OF 550.00 FEET, A CHORD BEARING OF SOUTH 12 DEGREES 29 MINUTES 13 SECONDS EAST, 212.30 FEET TO A POINT OF TANGENCY; THENCE SOUTH 01 DEGREES 25 MINUTES 44 SECONDS EAST, 104.98 FEET TO THE NORTH RIGHT OF WAY LINE OF CATON FARM ROAD (COUNTY HIGHWAY 23) PER DEDICATION DEED RECORD NO. 118, DATED JULY 3, 1958 - PAGE 373; THENCE SOUTH 88 DEGREES 37 MINUTES 48 SECONDS WEST ALONG SAID NORTH RIGHT OF WAY LINE, 49.90 FEET; THENCE CONTINUING ALONG SAID NORTH RIGHT OF WAY LINE, SOUTH 88 DEGREES 38 MINUTES 14 SECONDS WEST, 989.81 FEET TO THE WEST LINE OF SAID EAST 60 ACRES OF THE SOUTHWEST 1/4 OF SECTION 26; THENCE NORTH 01 DEGREES 57 MINUTES 08 SECONDS WEST ALONG SAID WEST LINE, 1987.50 FEET; THENCE SOUTH 57 DEGREES 14 MINUTES 51 SECONDS EAST, 94.29 FEET; THENCE NORTH 32 DEGREES 45 MINUTES 09 SECONDS EAST, 120.00 FEET TO A POINT ON A CURVE; THENCE EASTERLY ALONG THE ARC OF A CURVE CONCAVE TO THE NORTH, HAVING A RADIUS OF 60.00 FEET, HAVING A CHORD BEARING OF SOUTH 88 DEGREES 49 MINUTES 54 SECONDS EAST, 66.15 FEET TO A POINT OF NON-TANGENCY; THENCE SOUTH 30 DEGREES 24 MINUTES 58 SECONDS EAST, 77.16 FEET; THENCE NORTH 88 DEGREES 33 MINUTES 06 SECONDS EAST, 185.99 FEET; THENCE NORTH 01 DEGREES 26 MINUTES 54 SECONDS WEST, 180.00 FEET; THENCE NORTH 88 DEGREES 33 MINUTES 06 SECONDS EAST, 556.28 FEET TO THE PLACE OF BEGINNING.

I FURTHER CERTIFY THAT THIS LAND IS WITHIN THE CORPORATE LIMITS OF A MUNICIPALITY WHICH HAS AUTHORIZED A COMPREHENSIVE PLAN AND IS EXERCISING THE SPECIAL POWERS AUTHORIZED BY DIVISION 12 OF ARTICLE 11 OF THE ILLINOIS MUNICIPAL CODE, AS NOW OR HEREAFTER AMENDED.

I FURTHER CERTIFY THAT THE ANNEXED PLAT IS A CORRECT REPRESENTATION OF SAID SURVEY AND SUBDIVISION. ALL DISTANCES ARE SHOWN IN FEET AND DECIMALS THEREOF. PERMANENT MONUMENTS WILL BE SET AT ALL LOT CORNERS AND CHANGES OF DIRECTION, EXCEPT WHERE CONCRETE MONUMENTS ARE INDICATED.

I FURTHER CERTIFY THAT THE ABOVE DESCRIBED PROPERTY IS IN AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN (ZONE X) AS DEFINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP OF KENDALL COUNTY, ILLINOIS & INCORPORATED AREAS (COMMUNITY PANEL NO. 17093C0135H) EFFECTIVE DATE 1/8/2014.

DATED THIS ____ DAY OF _____, A.D., 20__.

CHRISTOPHER D. BARTOSZ
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 35-3189
MY LICENSE EXPIRES ON NOVEMBER 30, 2026.
V3 COMPANIES, LTD. PROFESSIONAL DESIGN FIRM NO. 184000902
THIS DESIGN FIRM NUMBER EXPIRES APRIL 30, 2025.
cdbartosz@v3co.com



VEHICULAR ACCESS EASEMENT PROVISIONS

AN EASEMENT IS HEREBY GRANTED TO THE OWNERS OF ANY PARTS OF LOTS 70 THRU 86, THEIR SUCCESSORS AND ASSIGNS, AN EXCLUSIVE, PERPETUAL EASEMENT OVER AND ACROSS THE PROPERTY NOTED ON THIS PLAT AS "VEHICULAR ACCESS EASEMENT" FOR THE PURPOSE OF PROVIDING VEHICULAR INGRESS TO, EGRESS FROM, AND ACCESS BETWEEN LOTS 70 THRU 86 AND ADJACENT PUBLIC ROADS. THE GRANTEE MAY CONSTRUCT OR IMPROVE SAID DRIVEWAYS FROM TIME TO TIME AT GRANTEE'S SOLE COST AND EXPENSE. THIS EASEMENT SHALL BE BINDING ON THE PARTIES, THEIR SUCCESSORS, AND ASSIGNS, AND SHALL RUN WITH THE LAND.

STORMWATER MANAGEMENT EASEMENT PROVISIONS

A PERPETUAL EASEMENT IS HEREBY GRANTED FOR THE BENEFIT OF THE CITY OF JOLIET, ITS AGENTS, SUCCESSORS AND ASSIGNS OVER, ON UPON AND ACROSS LOT 342 - STORMWATER OUTLOT AND ACCESS TO ALL FACILITIES NECESSARY FOR THE MANAGEMENT OF STORMWATER ON THE PLAT OF SUBDIVISION FOR THE PURPOSE OF INSPECTING SUCH AREAS, IN THE EVENT THAT THE ASSOCIATION DOES NOT ADEQUATELY MAINTAIN THE FACILITIES TO THE CITY STANDARDS, THE CITY OF JOLIET SHALL GIVE FOURTEEN (14) DAYS WRITTEN NOTICE OF SUCH FAILURE AND SAID NOTICE SHALL INDICATE WHEN THE CITY WILL EXERCISE ITS RIGHT TO REPAIR THE FAULTY PORTION OF THE FACILITIES. IF THE CITY IS REQUIRED TO MAKE REPAIRS, IT SHALL BE ENTITLED TO REIMBURSEMENTS BY THE RESIDENTIAL ASSOCIATION. WRITTEN NOTICE BY THE CITY OF THE INTENT TO REPAIR SHALL NOT BE REQUIRED IF IN THE OPINION OF THE CITY AN EMERGENCY REQUIRING IMMEDIATE ACTION IS REQUIRED. IN THE EXERCISE OF ITS RIGHTS HEREUNDER, THE CITY OF JOLIET SHALL NOT BE DEEMED GUILTY OF ANY MANNER OF TRESPASS.

NOTES

- The right of way widths, pavement widths, and pavement thicknesses indicated on this sheet are minimums required by the City of Joliet. Greater dimensions may be provided and the City of Joliet may require greater dimensions as determined by the City. The developer/contractor shall review the plat and the plans to confirm the various widths indicated on this sheet and shall report any discrepancy to the City prior to proceeding with construction.
- The location of proposed utilities as indicated hereon are based upon the experience of the City of Joliet and are so indicated to ensure the orderly development of the land. Strict adherence to the indicated location is required. Requests to change the location of the proposed utilities shall be submitted in writing to the City of Joliet. Utilities not meeting these requirements shall be removed and replaced as directed by the City of Joliet.
- Arterial street and divided arterial streets are to be coordinated with the City of Joliet.
- Local residential streets require only stop bars and crosswalk markings. Markings shall be thermoplastic in accordance with IDOT Standard Specifications. Refer to such drawings covering pavement markings, street signs and traffic control signs. A plan of proposed pavement markings shall be submitted to the City of Joliet for approval.
- Vertical curves shall be provided with algebraic differences of 1.2% or greater and meet the following: minimum length of 100 feet, minimum K value of 25.
- Minimum curb radius at the intersection of two local streets shall be twenty (20') feet and the minimum curb radius at an intersection not involving local streets shall be twenty-five (25') feet.
- The cross slope on all streets, including intersections, shall be two (2%) percent or less.
- Subbase and subgrade shall be tested in accordance with the Standard Specifications. Compaction testing shall be at the developer/contractor's expense and shall be performed by an independent laboratory. Test results shall be submitted to the City prior to placing any material on the subbase subgrade. Once in place density test shall be completed for each lift according to the Standard Specifications.
- Adequacy of subgrade shall be determined solely by the City based on a contractor performed proof roll with a fully loaded tri axle dump truck.
- The contractor shall submit a detailed paving plan to the City. The paving plan shall show the location and type of jointing to be used in the construction. The location and type of jointing shall meet the requirements of the IDOT Standard Specifications.
- Hot-Mix Asphalt & Portland Cement Concrete shall be tested in accordance with the Standard Specifications. Testing shall be at the developer/contractor's expense and shall be performed by an independent laboratory. Test results shall be submitted to the City for review. All existing practice and procedures shall meet IDOT QA/QC requirements.
- Mix designs shall be submitted to the City for approval prior to construction of pavement. Chemical modification of soils per IDOT Standard Specifications shall be performed at the direction of the City of Joliet and be completed to a minimum depth of 14 inches. The mix design shall be determined in accordance with IDOT design procedures for soil modification or stabilization. The proposed design and construction procedure shall be submitted to the City. Unsatisfactory soil modifications, as determined by the City, may require an increase in depth of the aggregate base or binder. Geogrid may be used in lieu of, or in conjunction with, the chemical modification of soils, as directed by the City.
- Minor arterials, arterials, and major arterials cross sections shall be determined by the IDOT pavement design manual and be approved by the Director of Public Works.
- All streets constructed, reconstructed, paved, or overlaid (including asphalt, chip seal, slurry seal, or similar process/material) by City forces, under City contract, or under permit shall be accompanied by a warranty bond for a period of three (3) years upon acceptance of the improvements.
- All streets constructed, reconstructed, paved, or overlaid (including asphalt, chip seal, slurry seal, or similar process/material) by City forces, under City contract, or under permit shall not thereafter be cut or opened for a period of ten years for construction/reconstruction and five years for overlays. If a street is to be opened during the moratorium period, the applicant will be subject to additional paving requirements as determined by the Director of Public Works.
- Curb flag shall be 9 inches minimum or match pavement thickness, whichever is greater.

PAVEMENT LEGEND

- Hot-Mix Asphalt, Surface Course, IL-9.5, Mix "D", N50, 1.5"
- Hot-Mix Asphalt, Binder Course, IL-19.0, N50, 2.5"
- Hot-Mix Asphalt, Binder Course, IL-19.0, N50, 4"
- Sub-Base Granular Material, Type B, CA-06, 10"
- Sub-Base Granular Material, Type B, CA-06, 6"
- Sub-Base Granular Material, Type B, CA-06, 4"
- Combination Concrete Curb & Gutter, Type B6.12 / M3.12
- Portland Cement Concrete Sidewalk, 5" Thick
- Bituminous Material Prime Coat
- Aggregate Prime Coat
- Strip Reflective Crack Control Treatment (as required)
- Longitudinal Joint Sealant (LJS)

HOT-MIX ASPHALT MIXTURE REQUIREMENTS	
MIXTURE TYPE	AIR Voids @ N60s
FLEXIBLE DEPTH PAVEMENT	
HOT-MIX ASPHALT SURFACE COURSE, MAX 10" N50 (IL-9.5mm)	4% @ 50 Gyr
HOT-MIX ASPHALT BINDER COURSE, IL-19.0, N50, 2"	4% @ 50 Gyr
DRIVEWAYS	
HOT-MIX ASPHALT SURFACE COURSE, MIX 10" N50 (IL-9.5mm)	4% @ 50 Gyr

THE WEIGHT USED TO CALCULATE ALL HMA SURFACE MIXTURE QUANTITIES IS 112 LBS/SQ. YDIN.

THE "AC" TYPE FOR POLYMERIZED HMA MIXES SHALL BE "SBS/BR PGT0-22" AND FOR NON-POLYMERIZED HMA THE "AC" TYPE SHALL BE "PG 64-22" UNLESS MODIFIED BY DISTRICT ONE.

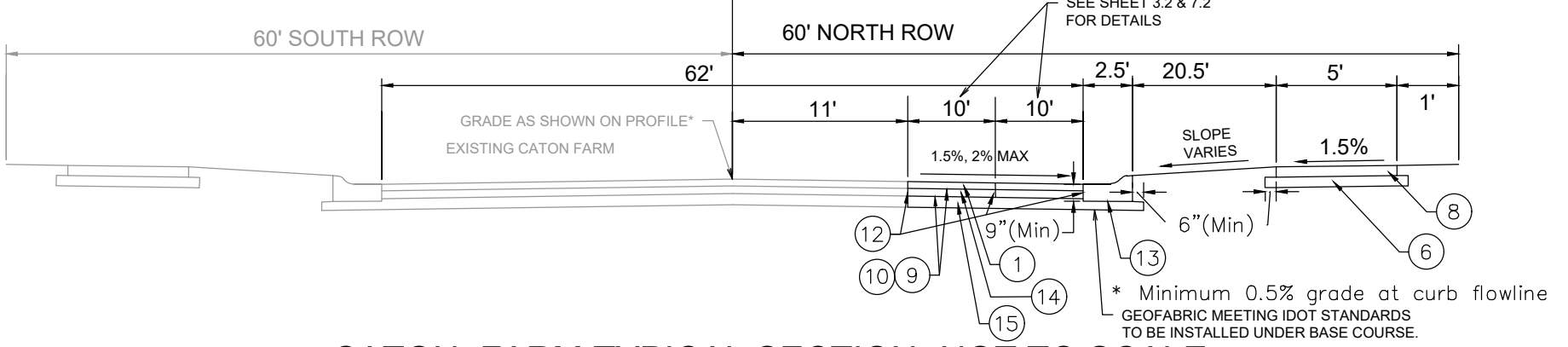
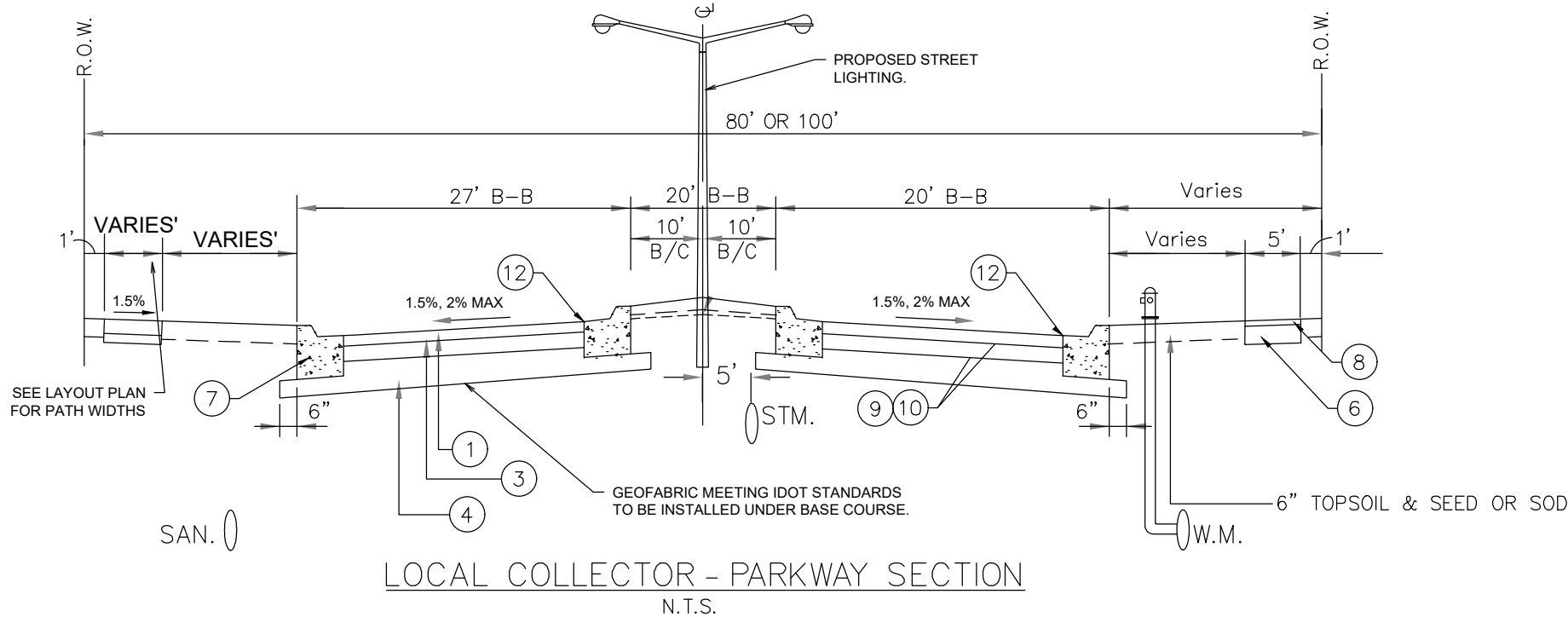
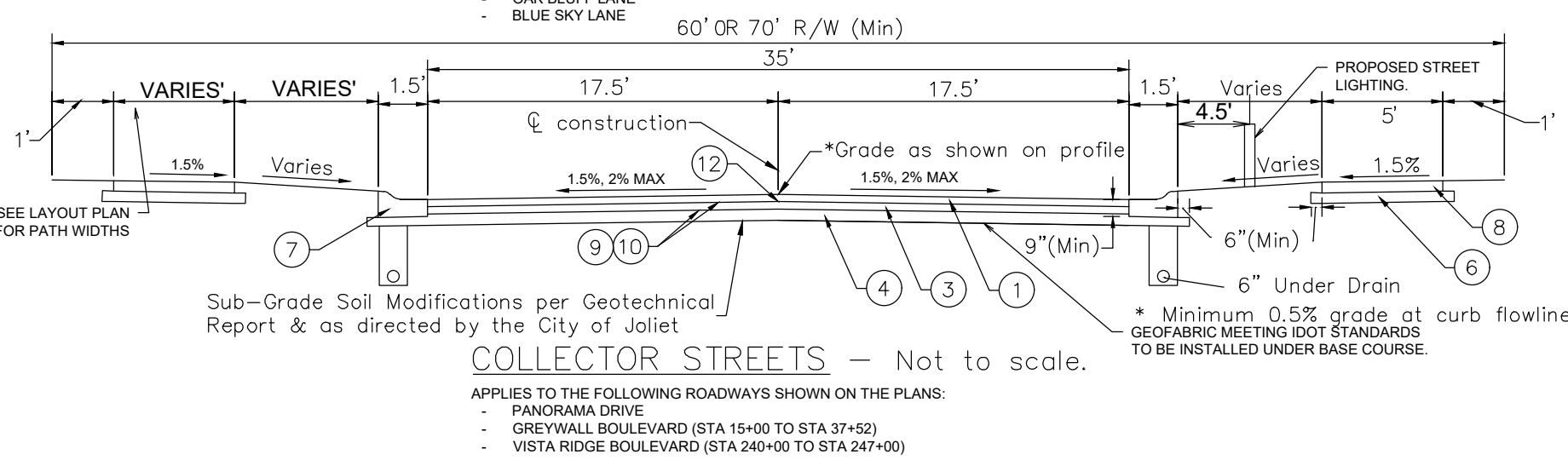
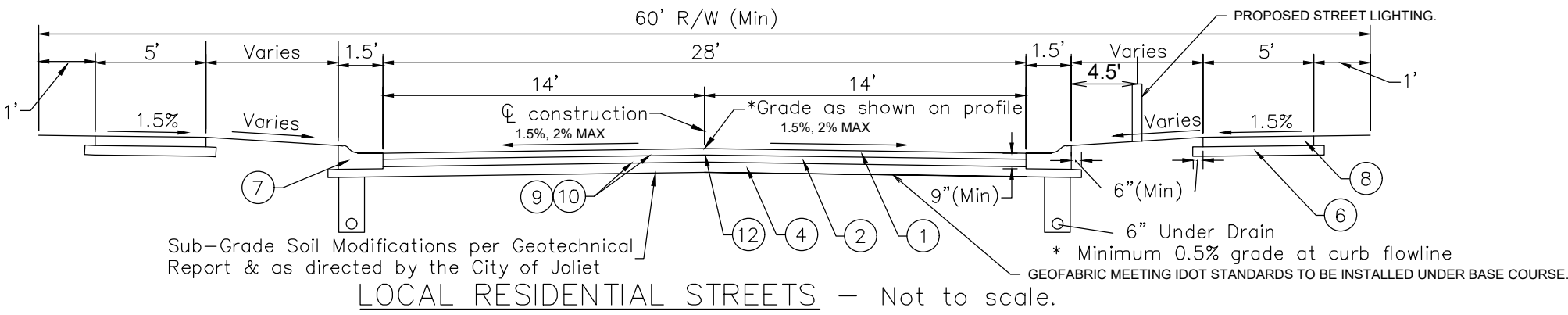
SPECIAL PROVISIONS FOR "PERCENT OF RAP" SEE IDOT DISTRICT ONE SPECIAL PROVISIONS.

SEE LAYOUT PLAN FOR LOCATION OF VARIOUS CURB TYPES

Parcel Table		Parcel Table		Parcel Table		Parcel Table		Parcel Table	
Parcel #	Area	Parcel #	Area	Parcel #	Area	Parcel #	Area	Parcel #	Area
1	12944 SF	21	7500 SF	41	7854 SF	61	10057 SF	81	6380 SF
2	10030 SF	22	7500 SF	42	7854 SF	62	15049 SF	82	5220 SF
3	9377 SF	23	7559 SF	43	8346 SF	63	9862 SF	83	6380 SF
4	9541 SF	24	7808 SF	44	8540 SF	64	11100 SF	84	5220 SF
5	9929 SF	25	9156 SF	45	8533 SF	65	9558 SF	85	6380 SF
6	8750 SF	26	11963 SF	46	9217 SF	66	8438 SF	86	5220 SF
7	9446 SF	27	10659 SF	47	12488 SF	67	8400 SF	339*	62962 SF
8	9023 SF	28	8985 SF	48	8365 SF	68	8400 SF	340*	58695 SF
9	12993 SF	29	9644 SF	49	8217 SF	69	8520 SF	341*	138296 SF
10	8040 SF	30	11795 SF	50	7809 SF	70	5220 SF	342*	491598 SF
11	8040 SF	31	10428 SF	51	7616 SF	71	6380 SF	343*	45648 SF
12	8040 SF	32	9393 SF	52	7616 SF	72	5220 SF	344*	97779 SF
13	8040 SF	33	9117 SF	53	8632 SF	73	6380 SF	345*	44132 SF
14	8040 SF	34	14599 SF	54	8068 SF	74	5220 SF	346*	8401 SF
15	8040 SF	35	10413 SF	55	8707 SF	75	6380 SF		
16	8400 SF	36	10567 SF	56	9804 SF	76	5220 SF		
17	7500 SF	37	10318 SF	57	10164 SF	77	6380 SF		
18	7500 SF	38	7964 SF	58	9733 SF	78	5220 SF		
19	7500 SF	39	11117 SF	59	7625 SF	79	6380 SF		
20	7500 SF	40	7854 SF	60	8750 SF	80	5220 SF		

AVERAGE SINGLE FAMILY LOT AREA = 9222.23 SF
AVERAGE MULTIFAMILY LOT AREA = 5765.88 SF
* EXCLUDES OUTLOTS 339-346

TOTAL SINGLE FAMILY LOTS = 86
TOTAL OUTLOTS = 8



CATON FARM TYPICAL SECTION- NOT TO SCALE



Engineers
Scientists
Surveyors

7325 Janes Avenue, Suite 100
Woodridge, IL 60517
630.724.9200 voice
630.724.0384 fax
v3co.com

PREPARED FOR:
McNaughton Development
11S220 S. Jackson, St. 101
Burr Ridge, IL 60527-6818
630.325.3400

			REVISIONS		
NO.	DATE	DESCRIPTION	NO.	DATE	DESCRIPTION
1	11-13-24	REVISED PER CITY COMMENTS	7	12-19-25	REVISED PER CITY COMMENTS
2	11-19-24	REVISED PER CITY COMMENTS			
3	1-20-25	REVISED PER CITY COMMENTS			
4	3-19-25	REVISED PER CITY COMMENTS			
5	4-16-25	REVISED PER CITY COMMENTS			
6	11-13-25	REVISED TOWNHOME LOTS FOR PATIOS			

FINAL PLAT

VISTA RIDGE PHASE 1
A PLANNED UNIT DEVELOPMENT

DRAFTING COMPLETED: 10-07-24

FIELD WORK COMPLETED: N/A

DRAWN BY: MG

CHECKED BY: RMW

PROJECT MANAGER: CDB

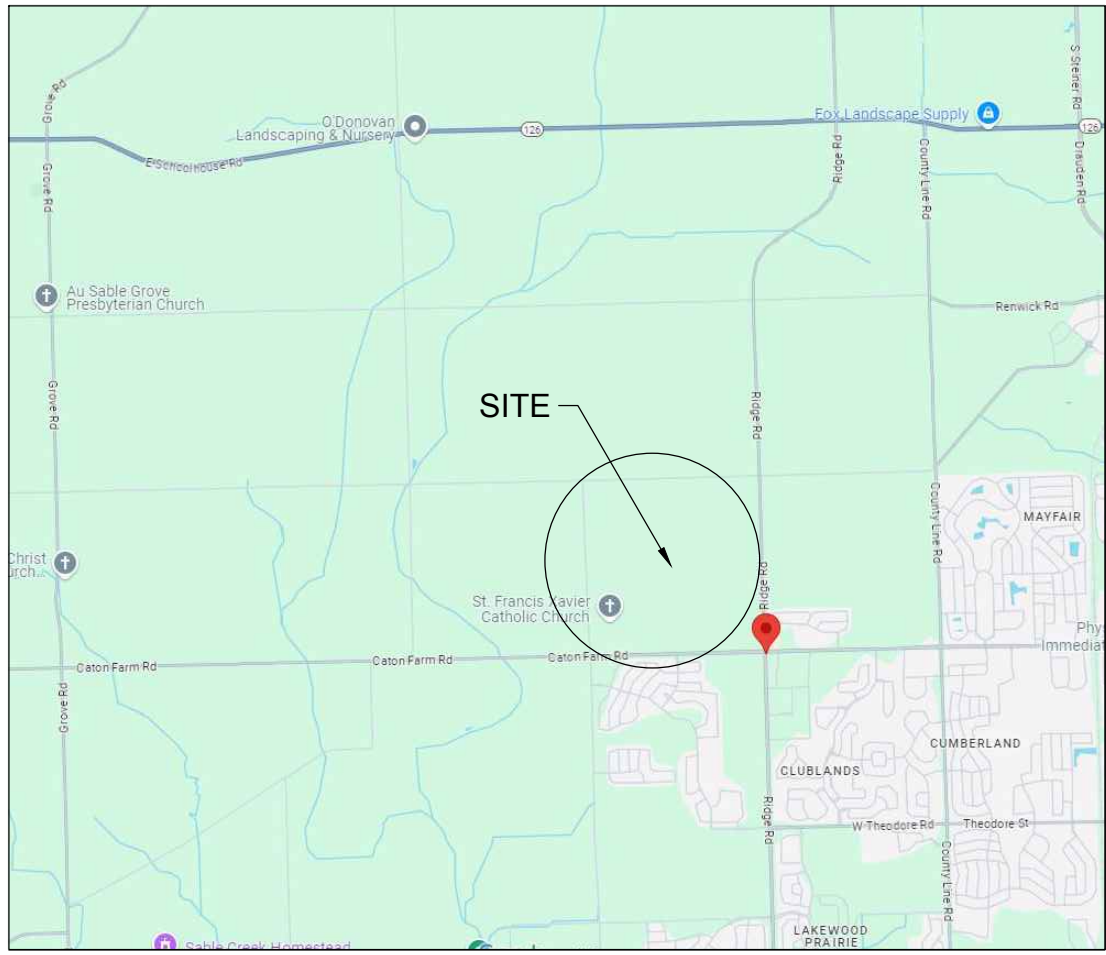
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Project No: 241015

Group No: VP04.7

SHEET NO.

6 of 6

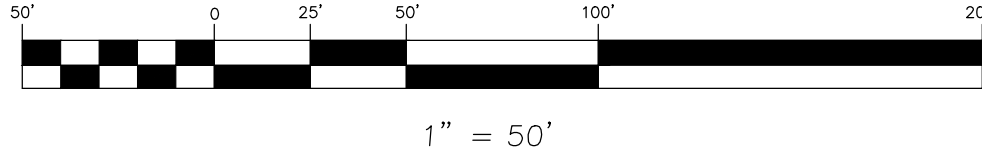


VICINITY MAP
NOT TO SCALE

BASIS OF BEARINGS

THE BASIS OF BEARINGS IS THE STATE PLANE COORDINATE SYSTEM (SPCS) NAD 83 (2011) ZONE 1201 (ILLINOIS EAST) WITH PROJECT ORIGIN AT LATITUDE: 41-33-52.32432 N LONGITUDE: 88-17-04.93388 W ELLIPSOIDAL HEIGHT: 549.261 SFT GROUND SCALE FACTOR: 1.0000510085 GEOID 18US ALL MEASUREMENTS ARE ON THE GROUND.

GRAPHIC SCALE



PLAT OF EASEMENT VACATION

OF

VISTA RIDGE PHASE 1, A PLANNED UNIT DEVELOPMENT

PART OF SECTION 26, TOWNSHIP 36 NORTH, RANGE 8 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN THE TOWNSHIP OF NA-AU-SAY, KENDALL COUNTY, ILLINOIS.

P.I.N.'S

06-26-347-003 06-26-348-001 06-26-349-001
06-26-347-004 06-26-348-002 06-26-349-002
06-26-347-005 06-26-348-003 06-26-349-003
06-26-347-006 06-26-348-004 06-26-349-004
06-26-347-007 06-26-348-005
06-26-347-008 06-26-348-006
06-26-348-007
06-26-348-008
06-26-348-009
06-26-348-010

PLAN COMMISSION CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF WILL) SS
APPROVED BY THE PLAN COMMISSION OF THE CITY OF JOLIET, WILL COUNTY, ILLINOIS
THIS ____ DAY OF _____, A.D., 20____
CHAIRMAN OF THE PLAN COMMISSION
SECRETARY

EASEMENT RELEASE- APPROVED AND ACCEPTED

ILLINOIS BELL
BY: _____ DATE: _____
TITLE: _____
COMMONWEALTH EDISON COMPANY
BY: _____ DATE: _____
TITLE: _____
COMCAST
BY: _____ DATE: _____
TITLE: _____
NICOR GAS
BY: _____ DATE: _____
TITLE: _____
BY: _____ DATE: _____
TITLE: _____

CITY COUNCIL CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF WILL) SS
APPROVED AND ACCEPTED BY THE MAYOR AND THE CITY COUNCIL OF THE CITY OF JOLIET, ILLINOIS, AT A MEETING HELD THE ____ DAY OF _____, A.D., 20____.
APPROVED BY ORDINANCE NO. _____

MAYOR
CITY CLERK
RECORDER'S CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF KENDALL) SS
THIS INSTRUMENT NO. _____ WAS FILED FOR RECORD IN THE RECORDER'S OFFICE OF KENDALL COUNTY, ILLINOIS, ON THIS ____ DAY OF _____, 20____, AT _____ O'CLOCK ____ M.

KENDALL COUNTY RECORDER

SURVEYOR'S CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF DUPAGE) SS

I, CHRISTOPHER D. BARTOSZ, ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3189 DO HEREBY CERTIFY THAT THE PLAT HEREON DRAWN WAS PREPARED AT AND UNDER MY DIRECTION.

DATED THIS 6TH DAY OF MARCH, A.D., 2026.

CHRISTOPHER D. BARTOSZ
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 35-3189
MY LICENSE EXPIRES ON NOVEMBER 30, 2026.
V3 COMPANIES, LTD. PROFESSIONAL DESIGN FIRM NO. 184000902
THIS DESIGN FIRM NUMBER EXPIRES APRIL 30, 2027.
cdbartosz@v3co.com



THIS PLAT HAS BEEN SUBMITTED FOR RECORDING BY AND RETURN TO:
NAME: _____
ADDRESS: _____

LEGEND

- SECTION CORNER
- SUBDIVISION BOUNDARY LINE
LOT LINE PER DOC. 202500007980
EXISTING LOT LINE
PROPOSED LOT LINE
EXISTING EASEMENT LINE
PROPOSED EASEMENT LINE
BUILDING SETBACK LINE
SECTION LINE
- PUBLIC UTILITY & DRAINAGE EASEMENT
FOUND IRON PIPE W/SIZE
- SANITARY SEWER
STORM SEWER
HEADWALL
CURB INLET
STORM INLET
STORM MANHOLE
FLARED END SECTION
SANITARY MANHOLE
HYDRANT
WATER VALVE
WATER VALVE VAULT

N NORTH
S SOUTH
E EAST
W WEST
CB CHORD BEARING
A ARC LENGTH
R RADIUS

NOTES

- ALL MEASUREMENTS AND DISTANCES ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF. ARC DISTANCES ARE ALONG ALL CURVES.
- THE GEOMETRY SHOWN HEREON WAS TAKEN FROM THE RECORD PLAT OF VISTA RIDGE PHASE 1 RESUBDIVISION.

PREPARED FOR:

Ryan Homes
850 East Diehl Road, Suite 120
Naperville, IL 60563
630.325.3400

REVISIONS		
NO.	DATE	DESCRIPTION
1	03-20-26	REVISED PER CITY COMMENTS

PLAT OF EASEMENT VACATION

VISTA RIDGE PHASE 1, A PLANNED UNIT DEVELOPMENT

DRAFTING COMPLETED: 03-06-26
FIELD WORK COMPLETED: N/A
DRAWN BY: CDB
CHECKED BY: CDB
PROJECT MANAGER: CDB
SCALE: 1" = 50'

Project No: 241015.RYAN
Group No: VP10.1
SHEET NO. 1 of 1

NOTICE OF PUBLIC MEETING
• **CITY OF JOLIET, IL.** •

DATE/TIME: Thursday, May 21, 2026 at 4:00 p.m.

LOCATION: City Hall Council Chambers
150 W. Jefferson St., Joliet

DESCRIPTION OF REQUEST: PUD-5-26:
AMENDMENT TO THE FINAL PLAT OF VISTA RIDGE
PHASE 1 PLANNED UNIT DEVELOPMENT.
V-3-26: APPROVAL OF A VACATION OF A PUBLIC
UTILITY AND DRAINAGE EASEMENT FOR VISTA
RIDGE PHASE 1 PLANNED UNIT DEVELOPMENT.

FOR MORE INFORMATION CALL: 815-724-4040 or
815-724-4050

COMMUNITY DEVELOPMENT DEPARTMENT
CITY OF JOLIET

AVISO DE AUDIENCIA PÚBLICA
• **CIUDAD DE JOLIET, IL.** •

FECHA/HORA: Jueves, 21 de mayo de 2026, a las 4:00 p.m.

UBICACIÓN: Cámaras del Consejo Municipal
150 W. Jefferson St., Joliet

DESCRIPCIÓN DE LA SOLICITUD: PUD-5-26; ENMIENDA
AL PLANO FINAL DEL DESARROLLO DE UNIDADES
PLANIFICADAS VISTA RIDGE FASE 1.
V-3-26: APROBACIÓN DE LA CANCELACIÓN DE UNA
SERVIDUMBRE DE SERVICIOS PÚBLICOS Y DRENAJE PARA
EL DESARROLLO DE UNIDADES PLANIFICADAS VISTA RIDGE
FASE 1.

PARA MÁS INFORMACIÓN, LLAME AL: 815-724-4040 or al
815-724-4050

DEPARTAMENTO DE DESARROLLO COMUNITARIO
CIUDAD DE JOLIET



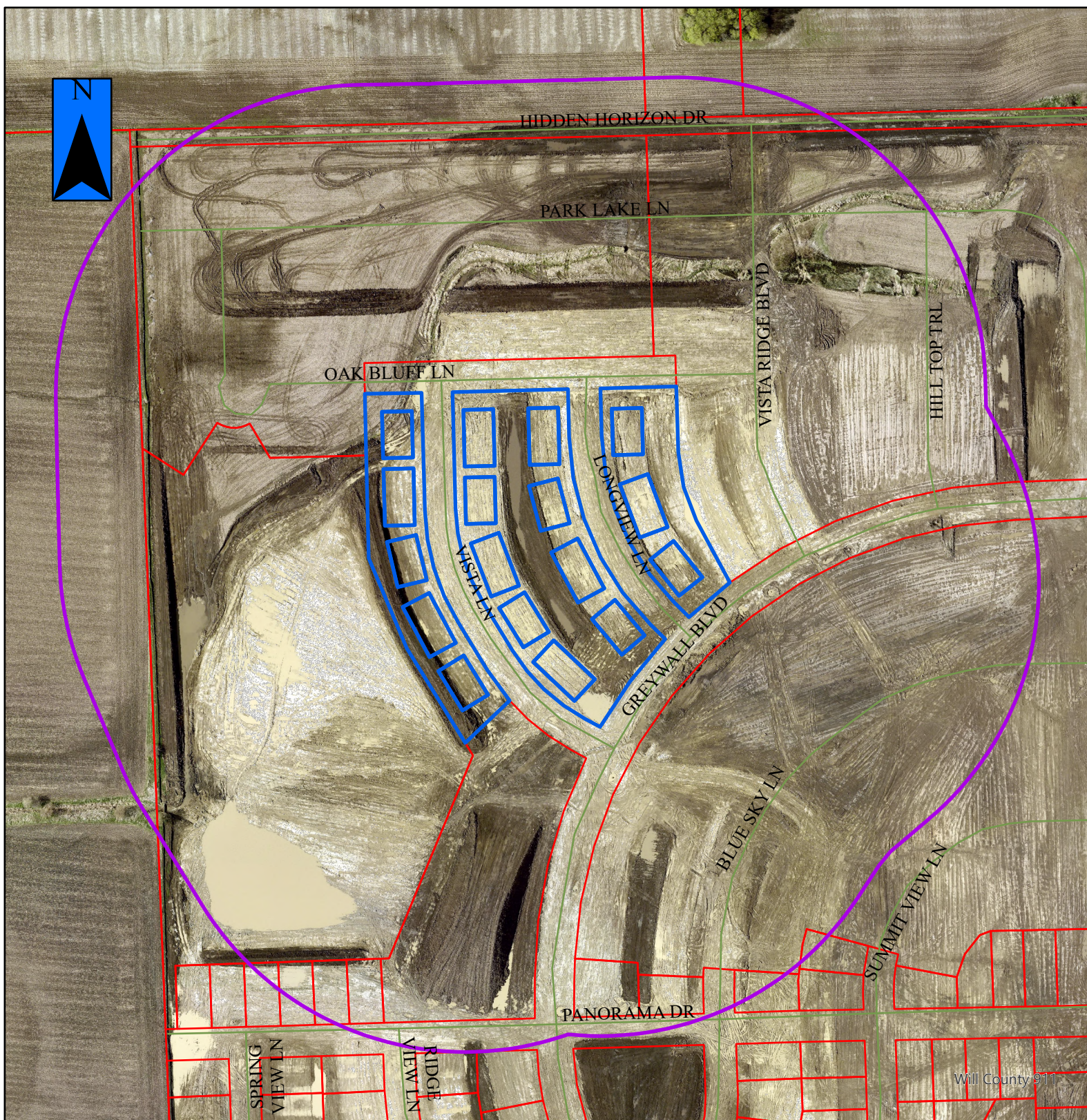
PUD-5-26 / V-3-26



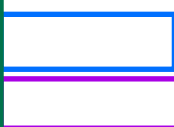
 = Property in Question
 = 600' Public Notification Boundary

Legend					
	B-1		I-TA		R-2
	B-2		I-TB		R-2A
	B-3		I-TC		R-3
	I-1		R-1		R-4
	I-2		R-1A		R-5
	I-T		R-1B		R-B

Will County 911, City of Joliet



PUD-5-26a / V-3-26a



= Property in Question / Propiedad en cuestión
 = 600' Public Notification Boundary /
 Límite de notificación pública de 600 ft (180 m)