

ORDINANCE NO. 18739

AN ORDINANCE APPROVING THE FINAL PLANNED UNIT DEVELOPMENT
(Prairie Landing Subdivision)

**BE IT ORDAINED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF JOLIET, ILLINOIS,
AS FOLLOWS:**

SECTION 1: The attached final planned unit development is hereby approved, subject to the conditions set forth on the plat or in Exhibit "A" if any.

SECTION 2: This Ordinance shall be considered severable, and the invalidity of any section, clause, paragraph, sentence, or provision of the Ordinance shall not affect the validity of any other portion of this Ordinance.

SECTION 3: This Ordinance shall be in effect upon its passage.

PASSED this 15th day of April, 2025



MAYOR PRO TEM



CITY CLERK

VOTING YES: Councilmen Cardenas, Clement, Guerrero, Hug, Councilwoman Ibarra,
Councilman Mudron, Councilwomen Quillman, and Reardon.

VOTING NO: None.

NOT VOTING: Mayor D'Arcy (Recused).

SUBDIVISION: Prairie Landing Subdivision

PIN: 06-03-36-100-033-0000

PLAN COMMISSION APPROVED: Yes

CONDITIONS IMPOSED: Yes

CED DOC. NO.: PUD-13-24

EXHIBIT A

ARCHITECTURAL STANDARDS:

The architectural elevations and floor plans are approved by the City and attached hereto. Developer shall construct the buildings on the subject property in conformance with the approved architectural elevations and floor plans.

DEVELOPER:
DR HORTON
1750 E GOLF ROAD, SUITE 925
SCHAUMBURG, IL 60173

THE FEDERAL EMERGENCY MANAGEMENT AGENCY FIRM COMMUNITY PANEL NUMBER 171870004C WITH AN EFFECTIVE DATE 02/15/2010 INDICATES THAT THE ABOVE DESCRIBED PROPERTY LIES WITHIN AREAS DESIGNATED AS ZONE X. ZONE X IS DEFINED AS AREA OF MINIMAL FLOOD HAZARD WITH THE FLOOD INSURANCE RATE HARE.

[illegible]

0-0-0

ADJ	ADJUST
AGG	AGGREGATE
ARCH	ARCHITECT
B.A.B.	BATHROOMS AGGREGATE
B.B.	BACK
B/C	BACK OF CURB
B/T	BOTTOM OF PIPE
B/W	BACK OF WALK
B/W-ROCK	BUFFALO ROCK
BH	BENTONITE
B.M.	B.Y. OTHERS
B.M.	COMMERCIAL ENTRANCE
CB	CATCH BASIN
CB	CATCH BASIN
C	CANAL
C	CONTAINERS METAL, PW
CONTR	CONTROL
CO	CLEANOUT
CDC	CONCRETE
C	CURB
C	DITCH
DIA.	DIAMETER
OP	DUCTILE IRON PIPE
OP	DUCTILE IRON WATER
CS	DOWNSPOUT
OT	DRINK TUB
E	ELECTRIC
E-E	EDGE TO EDGE
ELEV.	ELEVATION
E	EDGE OF PAVEMENT
ENTR	ENTRANCE
F.D.	FIRE EXTINGUISHER
F	FACE TO FACE
F	FINISHED FLOOR
F-F	FLANGE AND SECTION

#A	FURY LINE
#B	GRACE SHAN
#C	GROUND
#D	GRACE LT FOUNDATION
#E	GRACE WIRE
#F	HEADLAND
#G	HANDOVER
#H	HIGH WATER LEVEL
#I	HOIST
#J	INLET
#K	INLET PIPE
#L	LOFT
#M	MARBAN
#N	MARLIN
#O	MEET EXISTING
#P	MEET
#Q	NORMAL WATER LEVEL
#R	PERMANENT ENTRANCE
#S	POINT OF CURVATURE
#T	POINT OF COMPOUND CURV
#U	PROPOSED GRADE LINE
#V	POINT OF INTERSECTION
#W	PROPERTY LINE
#X	POWER POLE
#Y	PROPOSED
#Z	POINT OF TANGENCY
#AA	POW/THIN, CALIBRE PIPE
#AB	POINT OF VERTICAL CURVE
#AC	POINT OF VERTICAL INTER
#AD	POINT OF VERTICAL TANG
#AE	PAVEMENT
#AF	PUBLIC UTILITY & MANHO
#AG	
#AH	
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#AO	
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#GV	
#GW	
#GX	

4	RADIUS
8	RIGHT-OF-WAY
ROP	REINFORCED CONCRETE
REN	REINFORCING
RF	REVISION
RI	RAILROAD
RO	ROCK
SAN	SANITARY
SF	SQUARE FOOT
SHLD.	SHOULDER
SL	SLOPE
SN	SIGN LIGHT
ST	STREET LIGHT
ST	STREET LIGHT MANHOLE
STR	STORM
STA.	STATION
STD	STANDARD
SW	SEWAGE
T	TYPICAL
TSR	TO BE REMOVED
	UNLESS
T-A	TYPE A
T/C	TOP OF CURB
T/F	TOP OF FOUNDATION
T/P	TOP OF PIPE
T/W	TOP OF WALL
T/WALL	TOP OF WALL
TOP	TOPGRAPHY
TRANS	TRANSFORMER
TR	TRUCK
VOP	VERTICAL CLAY PIPE
V.V.	VERTICAL VAULT
W	WATER
W	WATER MAIN

[illegible]

OVERHEAD WIRES
SANITARY MANHOLE
STORM MANHOLE
CATCH BASIN
STORM INLET
CLEANOUT
MAY BAGES
SIP SLAP
VALVE IN VAULT
VALVE IN BOX
FIRE HYDRANT
BUFFALO BOX
FLARED END SECTION
STREET LIGHT
SUSSET / LOW POINT
PILE ELEVATION
SHORT ELEVATION
DITCH OR SHAL
DIRECTION OF FLOW
OVERFLOW RELIEF SHAL
1 FOOT CONTOURS
CURB AND GUTTER
OVERSIZED
CURB AND GUTTER
REVERSE CURB

SITE DATA

LAND USE

SINGLE FAMILY (60'x125')

OPEN SPACE / DETENTION

TOTAL

PROPERTY ADDRESS

2200 ESSINGTON
JOLIET, IL 61798

PIN#

06-03-38-100-0

ATA

UNITS	AREA
120	33.3 AC
10N	10.7 AC
120	44.9 AC

ADDRESS

ON ROAD
50435

S

033-0000

Manhard

[illegible]

66' ROW

5' Varies 1.5' 17.5' 17.5' 1.5' Varies 5'

1" 1.5% Varies 1.5% 1.5% 1.5% 1.5% 1.5% 1.5% 1.5% 1.5%

7 9 10 12 4 3 1 8 6

Sub-Grade Soil Modifications per Geotechnical Report & as directed by the City of Joliet

* Minimum 0.5% grade at curb flowline

COLLECTOR STREETS - Not to scale.

60' ROW

5' Varies 1.5' 14' 28' 14' 1.5' Varies 5'

1.5% Varies 1.5% 1.5% 1.5% 1.5%

8' (Min) 6' (Min)

1 2 3 4 5 6 7 8 9 10

Sub-Grade Soil Modifications per Geotechnical Report & as directed by the City of Joliet

LOCAL RESIDENTIAL STREETS - Not to scale.

* Minimum 0.5% grade at curb line

The diagram illustrates a cross-section of a utility trench. At the top, three labels indicate the proposed lines: "PROPOSED ELECTRIC ADJUTANT ROW IN 15' FRONT YARD PUBLIC UTILITY EASEMENT", "PROPOSED GAS ADJUTANT ROW IN 15' FRONT YARD PUBLIC UTILITY EASEMENT", and "PROPOSED 15' FRONT EASEMENT". The trench contains several lines with specific dimensions: "R/W" (Right of Way) on the left and right sides; "Proposed Lighting" with a width of "5'"; "Proposed Storm Sewer" (labeled "ST") with a width of "8.5'"; "Variable" (likely for gas lines) with a width of "1.5'"; "Proposed Sanitary Sewer" (labeled "SS") with a width of "1.5'"; "Proposed Water Main" (labeled "W") with a width of "8.5'"; and "Sloewalk" (likely for gas lines) with a width of "5'". A note at the bottom left states: "ELECTRIC NOTE: LOCATE ELECTRIC DUCT A MINIMUM 6' FROM PUBLIC WATER MAIN". A note at the bottom center states: "ST Storm sewer location for all streets to be determined by Director of Public Works". A note at the bottom right states: "LOCAL STREETS Not to scale." and "ALL PRIVATE UTILITIES TO BE LOCATED OUTSIDE RIGHT-OF-WAY WITHIN 15' FRONT YARD PUBLIC EASEMENT (EXCEPT AS REQUIRED TO CROSS A PUBLIC STREET)".

BENCHMARKS:

REFERENCE BENCHMARK: (NCS PD#5478)
STAINES STEEL ROD IN SLEEVE LOCATED 7 FEET NORTH OF THE EDGE OF PAVEMENT OF COUNTY ROAD 34 (REDHAWK RD), 28 FT WEST OF THE EDGE OF PAVEMENT OF A FRONTAGE ROAD EAST OF INTERSTATE 35 AND 37 FT EAST OF A RIGHT-OF-WAY FENCE.
ELEVATION=824.31 DATUM=NAVD83=CEOD 128

SITE BENCHMARK BAPF:
ARROW POINT ON FIRE HYDRANT ON THE EAST SIDE OF LOCATED ALONG STREET AT THE DEAD END. LOCATED APPROXIMATELY 12 FEET SOUTH AND 316 FEET WEST OF A SOUTHWEST CORNER OF SURVEYED PROPERTY.
ELEVATION=565.92 DATUM=NAVD83=CEOD 128

ACREMENT FOR MAINTENANCE

SITE BENCHMARK: BMS2;
ARROW POINT ON FIRE HYDRANT ON THE EAST SIDE OF
ESSINGTON ROAD; LOCATED APPROXIMATELY 223 FEET
SOUTH OF THE CENTERLINE OF OLD CASTLE ROAD AND 36
FEET EAST OF THE CENTERLINE OF ESSINGTON ROAD.
ELEVATION=6622.46 DATE=14-AUG-85=GD08 128

SITE BENCHMARK: BMS3;
ARROW POINT ON FIRE HYDRANT ON THE EAST SIDE OF
ESSINGTON ROAD; LOCATED APPROXIMATELY 125 FEET
NORTH OF THE CENTERLINE OF OLD CASTLE ROAD AND 36
FEET EAST OF THE CENTERLINE OF ESSINGTON ROAD.
ELEVATION=5991.80 DATE=14-AUG-85=GD08 129

The diagram illustrates a cross-section of a utility trench. At the top, it is labeled 'PUBLIC UTILITY' on the left and 'IN 15' FRONT YARD UTILITY EASEMENT' on the right. The trench contains several lines: a 'Proposed Storm Sewer' (ST) at the bottom, a 'Water' line, a 'Gas' line, and an 'Electric' line. Dimensions are provided for various sections: 8'0" for the proposed storm sewer, 1'5" for the water line, 1'3" for the gas line, and 8'0" for the electric line. A 'Variable' section is also indicated. A note states: 'Storm sewer location for all streets to be determined by Director of Public Works'. The diagram is titled 'TYPICAL UTILITY SECTION' and 'Not to scale. COLLECTOR S'.

EXISTING CONDITIONS/OUT TOPOGRAPHY INFO:

1. EXISTING TOPOGRAPHY SHOWS REPRESENTATIVE CONDITIONS AS PREPARED BY PLANNED GROUND SURVEY, INC. 2014. THE CONTRACTOR SHALL VERIFY EXISTING ELEVATIONS AND CONDITIONS FROM CONSTRUCTION AND REPLY ARCHITECT AND CITY OF ANY DISCREPANCIES PRIOR TO STARTING CONSTRUCTION.

LOT 300 PARK DISTRICT INFO:

1. LOT 300 PARK DISTRICT INTENDED TO BE DEDICATED TO PLANNED PARK DISTRICT.

[illegible]

PRAIRIE LANDING SUBDIVISION		FINAL
2200 ESSINGTON ROAD		
TOTAL AREA .689 TOTAL ACRES .016 SQUARES PER ACRE 40.87 DATE 11/20/74 DRAWN BY J.E. & B.F.		
SHEET		
1	OF	8

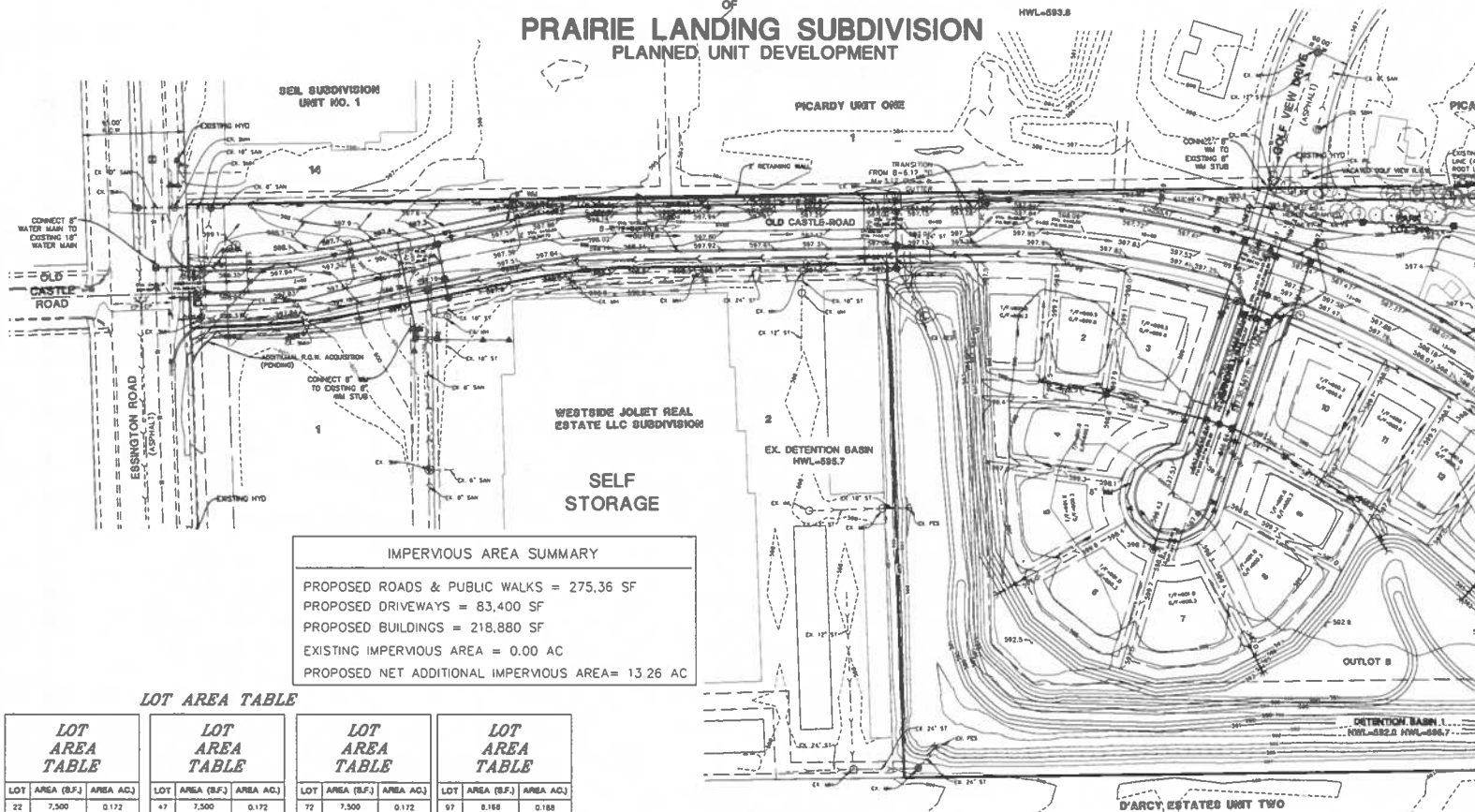
Manhard
CONSULTING

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Tel: 630.261.4000 Fax: 630.261.4001
E-Mail: info@manhard.com Web: www.manhard.com
Manhard Engineers & Constructors • Civil/Structural Engineers • Water & Wastewater Engineers
• Environmental Engineers • Transportation Engineers • Construction Management • Professional Engineers

PRAIRIE LANDING SUBDIVISION PLANNED UNIT DEVELOPMENT
2200 ESSINGTON ROAD, JOLIET, ILLINOIS 60435
FINAL PUD PLAT

PROJECT NO.	5-2
PROJECT NAME	DRM
STATION NO.	DRM
DATE	11/21/20
SCALE	1" = 20'
SHEET	
1	OF 8
DRM-JOIL-4	

HWL=593.6



FOR CONTINUATION - SEE SHEET 3

PROPOSED ROADS & PUBLIC WALKS = 275.36 SF
PROPOSED DRIVEWAYS = 83,400 SF
PROPOSED BUILDINGS = 218,880 SF
EXISTING IMPERVIOUS AREA = 0.00 AC
PROPOSED NET ADDITIONAL IMPERVIOUS AREA= 13.26 AC

LOT AREA TABLE

LOT	AREA (S.F.)	AREA AC.
OUTLOT B	154,363	3.539
OUTLOT C	289,063	6.646
OUTLOT E	11,461	0.263
OUTLOT A	3,006	0.069
1	8,012	0.184
2	7,938	0.182
3	11,181	0.258
4	10,365	0.236
5	8,906	0.225
6	10,207	0.234
7	10,207	0.234
8	9,847	0.224
9	7,789	0.178
10	11,632	0.267
11	8,415	0.193
12	8,156	0.185
13	7,924	0.180
14	7,561	0.173
15	7,314	0.167
16	10,250	0.232
17	7,712	0.177
18	8,685	0.199
19	10,701	0.246
20	9,049	0.208
21	7,084	0.161

**LOT
AREA
TABLE**

LOT	AREA (B.F.)	AREA (A.C.)
22	7,500	0.172
23	7,500	0.172
24	7,500	0.172
25	7,500	0.172
26	7,500	0.172
27	7,500	0.172
28	7,500	0.172
29	7,500	0.172
30	7,500	0.172
31	7,500	0.172
32	8,254	0.189
33	8,811	0.202
34	13,874	0.313
35	14,268	0.328
36	8,313	0.191
37	7,741	0.178
38	7,682	0.176
39	10,588	0.243
40	10,250	0.235
41	12,219	0.281
42	11,264	0.256
43	7,500	0.172
44	7,500	0.172
45	7,500	0.172
46	7,500	0.172

LOT AREA TABLE

LOT	AREA (B.F.)	AREA (A.C.)
47	7,500	0.172
48	7,500	0.172
49	7,500	0.172
50	7,500	0.172
51	7,500	0.172
52	6,518	0.198
53	10,008	0.230
54	11,034	0.253
55	7,796	0.179
56	8,038	0.184
57	7,500	0.172
58	7,500	0.172
59	7,500	0.172
60	7,500	0.172
61	8,125	0.187
62	6,125	0.187
63	7,300	0.172
64	7,300	0.172
65	7,300	0.172
66	7,500	0.172
67	7,756	0.178
68	7,507	0.172
69	7,500	0.172
70	7,500	0.172
71	7,500	0.172

AREA TABLE

LOT	AREA (SF.)	AREA AGJ
72	7,500	0.172
73	10,250	0.235
74	7,500	0.172
75	7,500	0.172
76	7,500	0.172
77	7,500	0.172
78	7,500	0.172
79	7,500	0.172
80	7,500	0.172
81	11,883	0.273
82	8,179	0.186
83	11,899	0.273
84	7,500	0.172
85	7,500	0.172
86	7,500	0.172
87	7,500	0.172
88	7,500	0.172
89	7,500	0.172
90	7,500	0.172
91	10,250	0.235
92	10,274	0.247
93	7,948	0.182
94	8,003	0.184
95	8,056	0.185
96	6,113	0.166

LOT AREA TABLE

LOT	AREA (S.F.)	AREA AGJ
97	8,188	0.188
98	6,223	0.189
99	6,278	0.190
100	6,333	0.191
101	6,365	0.187
102	11,572	0.266
103	18,310	0.420
104	9,211	0.211
105	7,681	0.176
108	7,500	0.172
107	7,506	0.172
108	7,751	0.178
109	11,534	0.265
110	11,170	0.256
111	7,741	0.178
112	7,830	0.180
113	7,812	0.179
114	7,500	0.172
115	7,500	0.172
116	7,500	0.172
117	7,500	0.172
118	7,500	0.172
119	7,500	0.172
120	7,500	0.172
300	22,676	0.635

OWNER	ADDRESS 1	ADDRESS 2	ZIP	LOT	SUB
2002 EBSMITH LLC	2002 EBSMITH RD STE 1	JOLIET IL	60438	14	SEE SUB UNIT 1
2003 WALTER JAY EBSMITH RYL	1000 W 10TH AVE STE 200	CHICAGO IL	60684	4	SEE SUB UNIT 1
ATWATER BAYVIEW ATCHILL	162 W GRAND AVE STE 200	CHICAGO IL	60684	2	WESTSIDE JOLIET SUB
BRIDGES & TAYLOR	2002 VINY RIDGE DR	JOLIET IL	60438	40	PICARDY UNIT 1
BURGESS DAVID J	MARGE DAVID BURGESS	JOLIET IL	60438	19	PICARDY UNIT 1
CLEMENTE JEFFREY K	2004 VINY RIDGE DR	JOLIET IL	60438	18	PICARDY UNIT 1
CLORON ROBERT D	2004 VINY RIDGE DR	JOLIET IL	60438	19	PICARDY UNIT 1
DEMBARSUB DEBBY	2008 VINY RIDGE DR	JOLIET IL	60438	1	PICARDY UNIT 1
EBSMITH ROAD PARTNERS INC	2000 EBSMITH RD	JOLIET IL	60438	8	DANCY ESTATES UNIT
ELSON JAHN	2000 EBSMITH RD	JOLIET IL	60438	1	PICARDY UNIT 1
GARDNER JUDITH H	2300 GLENNWOOD RD	JOLIET IL	60438	1	PICARDY UNIT 1
GRACE ZACHARY A	2017 VALLEY FORGE DR	JOLIET IL	60438	26	WARWICK FIVE UNIT
HEATH HAROLD J	2017 VALLEY FORGE DR	JOLIET IL	60438	27	WARWICK FIVE UNIT
HESSION AUCY A	2886 S PLATEAU DR	BALTIMORE CITY MD	21201	18	UNRESERVED FLATS
JOHNSON JAMES S MARY C	2013 VALLEY FORGE DR	JOLIET IL	60438	28	WARWICK FIVE UNIT
KACON B B	2013 VALLEY FORGE DR	JOLIET IL	60438	28	WARWICK FIVE UNIT
KOCH LEEBIE M	2000 VINY RIDGE DR	JOLIET IL	60438	41	PICARDY UNIT 1
LAJNOV JAVIER	2003 VALLEY FORGE DR	JOLIET IL	60438	27	WARWICK FIVE UNIT
LEWIS MARGARET M	2016 VINY RIDGE DR	JOLIET IL	60438	32	PICARDY UNIT 2
LEWIS WALTER J TRUST	2016 VINY RIDGE DR	JOLIET IL	60438	32	PICARDY UNIT 2
LIU T CHEN	2004 VINY RIDGE DR STE 100	JOLIET IL	60438	34	DANCY ESTATES UNIT
MAIDSON RICHARD LOUANN	2012 VINY RIDGE DR	JOLIET IL	60438	34	PICARDY UNIT 1
MAHON BRADLEY MARC C	2004 VINY RIDGE DR	JOLIET IL	60438	34	PICARDY UNIT 3
MCNEAL KERRY R DELVILLY	2004 VINY RIDGE DR	JOLIET IL	60438	34	PICARDY UNIT 3
MONTALVO JOSE	2008 VINY RIDGE DR	JOLIET IL	60438	18	PICARDY UNIT 1
PECORA MARY P KRISTH L	2008 VINY RIDGE DR	JOLIET IL	60438	15	PICARDY UNIT 1
PLAMBEED LINDA C	2017 VALLEY FORGE DR	JOLIET IL	60438	26	WARWICK FIVE UNIT
RAJAS JOHANN MERLITA O	2014 VINY RIDGE DR	JOLIET IL	60438	33	PICARDY UNIT 1
RODAS EDGAR SARAH	2012 VINY RIDGE DR	JOLIET IL	60438	34	PICARDY UNIT 1
ROTH STEVE JR	2004 VINY RIDGE DR	JOLIET IL	60438	14	PICARDY UNIT 1
SUKAL JAMES D BARBARA A	2008 VALLEY FORGE DR	JOLIET IL	60438	27	WARWICK FIVE UNIT
SUBODHSEKHAR JAMES DEBRA L	2008 VALLEY FORGE DR	JOLIET IL	60438	27	WARWICK FIVE UNIT
SUVALA JOSE	2008 VALLEY FORGE DR	JOLIET IL	60438	27	WARWICK FIVE UNIT

PUBLIC UTILITIES AND DRAINAGE EASEMENT PROVISIONS

THE RIGHT IS ALSO GRANTED TO TRIM OR REMOVE ANY TREE, SHRUB OR OTHER PLANTS ON THE PROPERTY OF THE CITY OF JOLIET, ILLINOIS, THAT MAY BE AN OBSTACLE TO THE PERMANENT BUILDINGS SHALL BE PLACED ON SUE EASEMENTS, BUT SAME MAY BE USED FOR THE PURPOSES OF THE CITY OF JOLIET, ILLINOIS, IN CONNECTION WITH THE CITY OF JOLIET, ILLINOIS, WITH THE APPROVED USES OR RIGHTS, WHEN AN EASEMENT IS USED BOTH FOR SEWERS AND OTHER UTILITIES, THE OTHER UTILITY INSTALLATION SHALL BE SUBJECT TO THE ORDINANCES OF THE CITY OF JOLIET, ILLINOIS.

EASEMENTS ARE HEREBY RESERVED FOR AND GRANTED TO THE CITY OF JOULET AND OTHER GOVERNMENTAL AUTHORITIES HAVING JURISDICTION OF THE LAND SUBVODGED HEREBY, OVER THE ENTIRE EASEMENT AREA FOR INGRESS, EGRESS AND THE PERFORMANCE OF MUNICIPAL AND OTHER GOVERNMENTAL SERVICES, INCLUDING WATER, STORM AND SANITARY SEWER SERVICE AND MAINTENANCE.

SEE FINAL ENGINEERING PLANS "PROPOSED IMPROVEMENTS FOR PRAIRIE LANDING PUD" (57 SHEETS) FOR MORE LEGIBLE PROPOSED SPOT GRADES

FINAL PLAT OF PRAIRIE LANDING SUBDIVISION PLANNED UNIT DEVELOPMENT

THIS PLAT IS NOT FOR RECORD

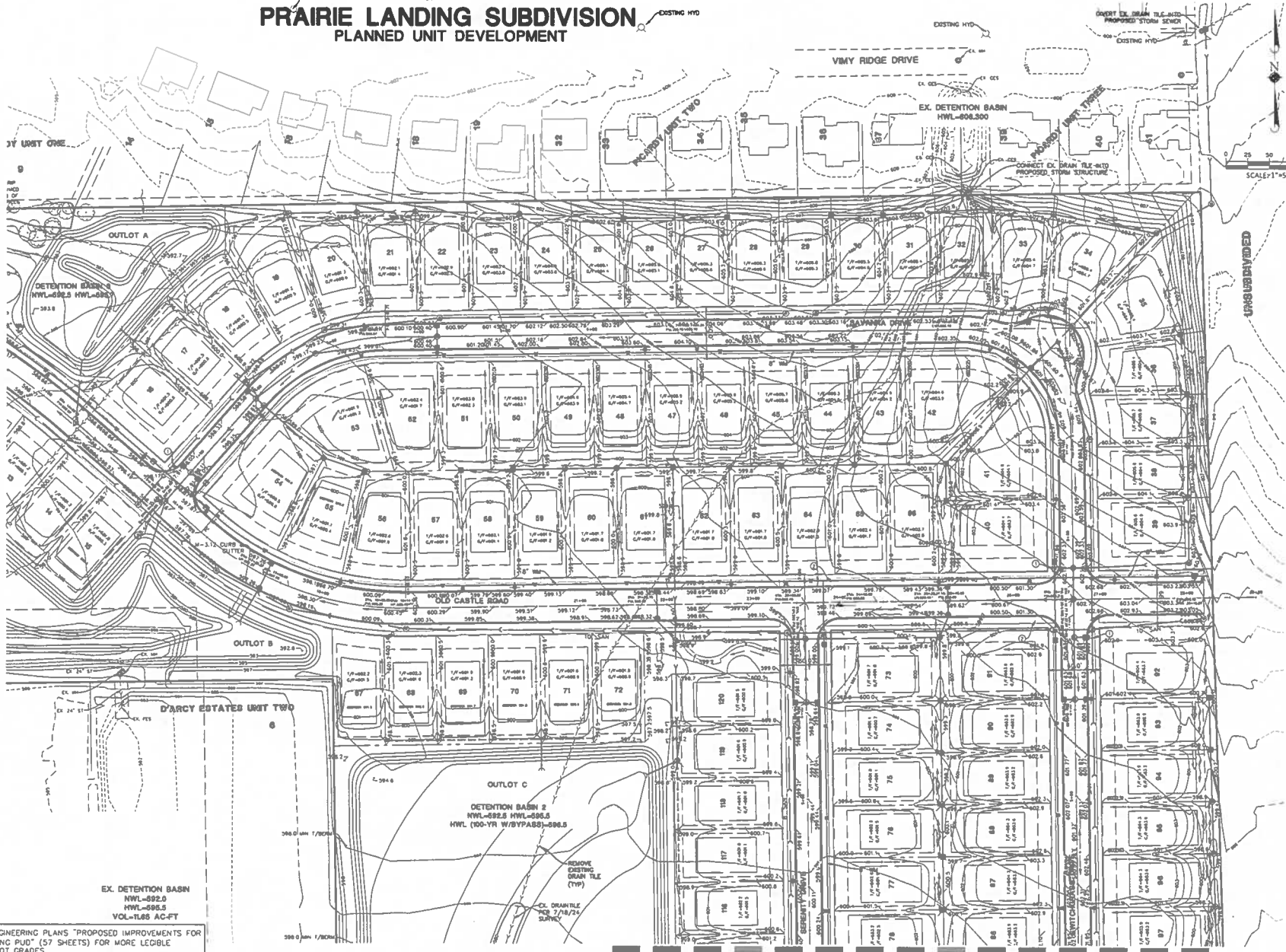
NO.	REVISION	DATE
1	ISSUED FOR RECORD	11/09/20
2	FOR RECORD	11/09/20
3	FOR RECORD	11/09/20
4	FOR RECORD	11/09/20
5	FOR RECORD	11/09/20
6	FOR RECORD	11/09/20
7	FOR RECORD	11/09/20
8	FOR RECORD	11/09/20
9	FOR RECORD	11/09/20
10	FOR RECORD	11/09/20

Manhard CONSULTING
100 West Harrison Avenue, Suite 200, Joliet, Illinois 60435
Tel: 815/733-1100
Fax: 815/733-1101
www.manhardconsulting.com

PRAIRIE LANDING SUBDIVISION PLANNED UNIT DEVELOPMENT
2200 ESSINGTON ROAD, JOLIET, ILLINOIS 60435
FINAL PUD PLAT

FINAL DATE: 11/09/20
FINAL AREA: 286.00
DATE: 11/09/20
SHEET 3 OF 8
DPM-JOLIET-04

FOR CONTINUATION - SEE SHEET 2



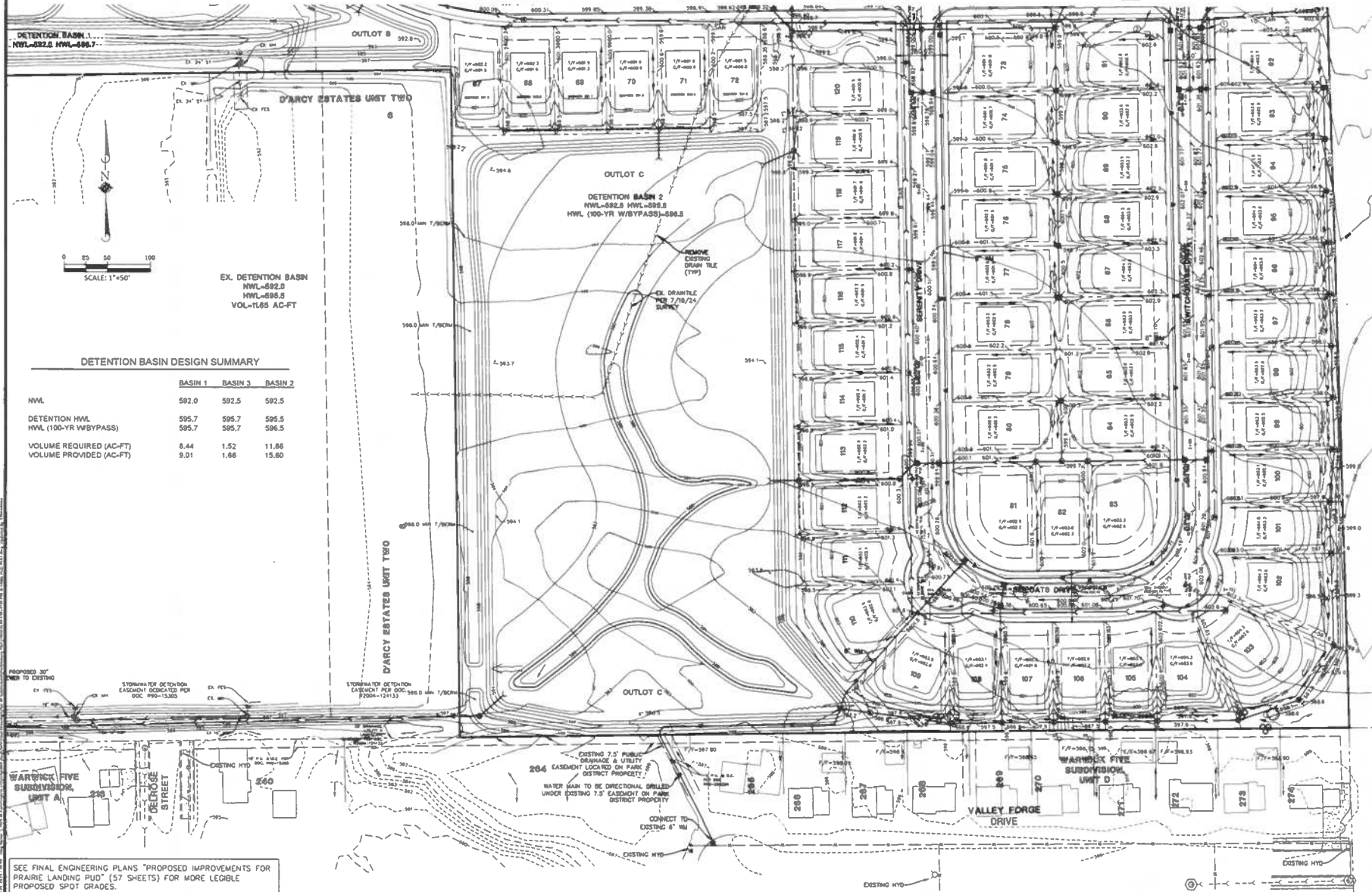
SEE FINAL ENGINEERING PLANS "PROPOSED IMPROVEMENTS FOR PRAIRIE LANDING PUD" (57 SHEETS) FOR MORE LEGIBLE PROPOSED SPOT GRADES.

FOR CONTINUATION - SEE SHEET 4

FINAL PLAT OF PRAIRIE LANDING SUBDIVISION PLANNED UNIT DEVELOPMENT

THIS PLAT IS NOT FOR RECORD

FOR CONTINUATION - SEE SHEET 3



DETENTION BASIN DESIGN SUMMARY

	BASIN 1	BASIN 3	BASIN 2
NWL	592.0	592.5	592.5
DETENTION HWL	595.7	595.7	595.5
HWL (100-YR W/BYPASS)	595.7	595.7	595.5
VOLUME REQUIRED (AC-FT)	8.44	1.52	11.86
VOLUME PROVIDED (AC-FT)	9.01	1.86	15.60

PRAIRIE LANDING SUBDIVISION PLANNED UNIT DEVELOPMENT
2200 ESSINGTON ROAD, JOLIET, ILLINOIS 60435

FINAL PUD PLAT

DATE: 11/01/24
SCALE: 1" = 50'
SHEET
4 OF 8
DRW-JOL04

Manhard
CONSULTING
1000 N. W. 10th St., Suite 100, Joliet, IL 60435
Tel: 815.733.1100
Fax: 815.733.1101
www.manhardconsulting.com
Civil Engineers • Surveyors • Urban Planning Engineers • Water & Wastewater Engineers
Construction Engineers • Environmental Engineers • Landmarks Engineers • Foresters

FINAL PLAT
OF
PRAIRIE LANDING SUBDIVISION PLANNED UNIT DEVELOPMENT

N
0 50 100 200
SCALE: 1"=100'

CITY NOTE:
PARKWAYS, NEW DITCHES, AND DETENTION AREAS SHALL RECEIVE MINIMUM 4" TOPSOIL AND SHALL BE SEEDED OR SOODED IN ACCORDANCE WITH THE ILL. COUNTY SOIL EROSION AND SEDIMENTATION CONTROL ORDINANCE.

THESE EROSION CONTROL PLANS ARE A PORTION OF THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY (EPA) TOTAL REQUIREMENTS FOR A COMPLETE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) AS REQUIRED BY THE GENERAL NPDES PERMIT NO. ILR10. CLIENT AND/OR CONTRACTOR WILL BE RESPONSIBLE FOR COMPLIANCE WITH ALL REQUIREMENTS OF THE GENERAL NPDES PERMIT AND COMPLETION OF THE COMPLETE SWPPP.

"THESE EROSION CONTROL PLANS ARE A PORTION OF THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY (EPA) TOTAL REQUIREMENTS FOR A COMPLETE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) AS REQUIRED BY THE GENERAL NPDES PERMIT NO. ILR10. CLIENT AND/OR CONTRACTOR WILL BE RESPONSIBLE FOR COMPLIANCE WITH ALL REQUIREMENTS OF THE GENERAL NPDES PERMIT AND COMPILATION OF THE COMPLETE SWPPP."

[illegible]

- [illegible]

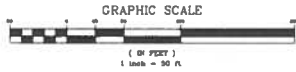
[illegible]

NOTE: THIS CHART IS A GUIDE TO ASSIST THE CONTRACTOR IN UNDERSTANDING OPTIONS FOR SOIL STABILIZATION. THE LANDSCAPE PLAN SHALL TAKE PRECEDENCE OVER THIS CHART. ANY CONFLICT SHALL BE DISCUSSED WITH THE LANDSCAPE ARCHITECT PRIOR TO THE START OF CONSTRUCTION.

1. INSTALL SILT FENCE AT LOCATIONS AS INDICATED ON THE PLANS
2. PROVIDE STABILIZED CONSTRUCTION ENTRANCE.
3. CONSTRUCT TEMPORARY DITCHES, SWALES, SEDIMENT TRAPS AND/OR BASINS.
4. STRIP EXISTING TOPSOIL FROM PROPOSED LIMITS OF DISTURBANCE AND STOCKPILE WHERE SHOWN ON PLANS
5. PROVIDE SILT FENCE AROUND THE BASE OF THE STOCKPILES
6. CONSTRUCT STORMWATER MANAGEMENT (DETENTION) FACILITIES TO SUB-DRAINAGE AND INSTALL OUTLET PIPES.
7. CONSTRUCT TOPSOIL PLACEMENT AND REPLENISH SEEDING AND SOODOING OF STORMWATER MANAGEMENT FACILITIES
8. OUT- AND FILL SITE TO PLAN SUB-DRAINAGE
9. CONSTRUCT UNDERGROUND IMPROVEMENTS TO EXISTING SANITARY SEWER WATERMAIN AND STORM SEWER**
ETC
10. CONSTRUCT STABILIZATION IMPROVEMENTS PER PLAN
11. CONSTRUCT CONSTRUCTION OF SITE WITH PERMANENT STABILIZATION
12. REMOVE TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES
- ** INSTALL INLET PROTECTION AROUND DRAINAGE STRUCTURES AS CONSTRUCTED

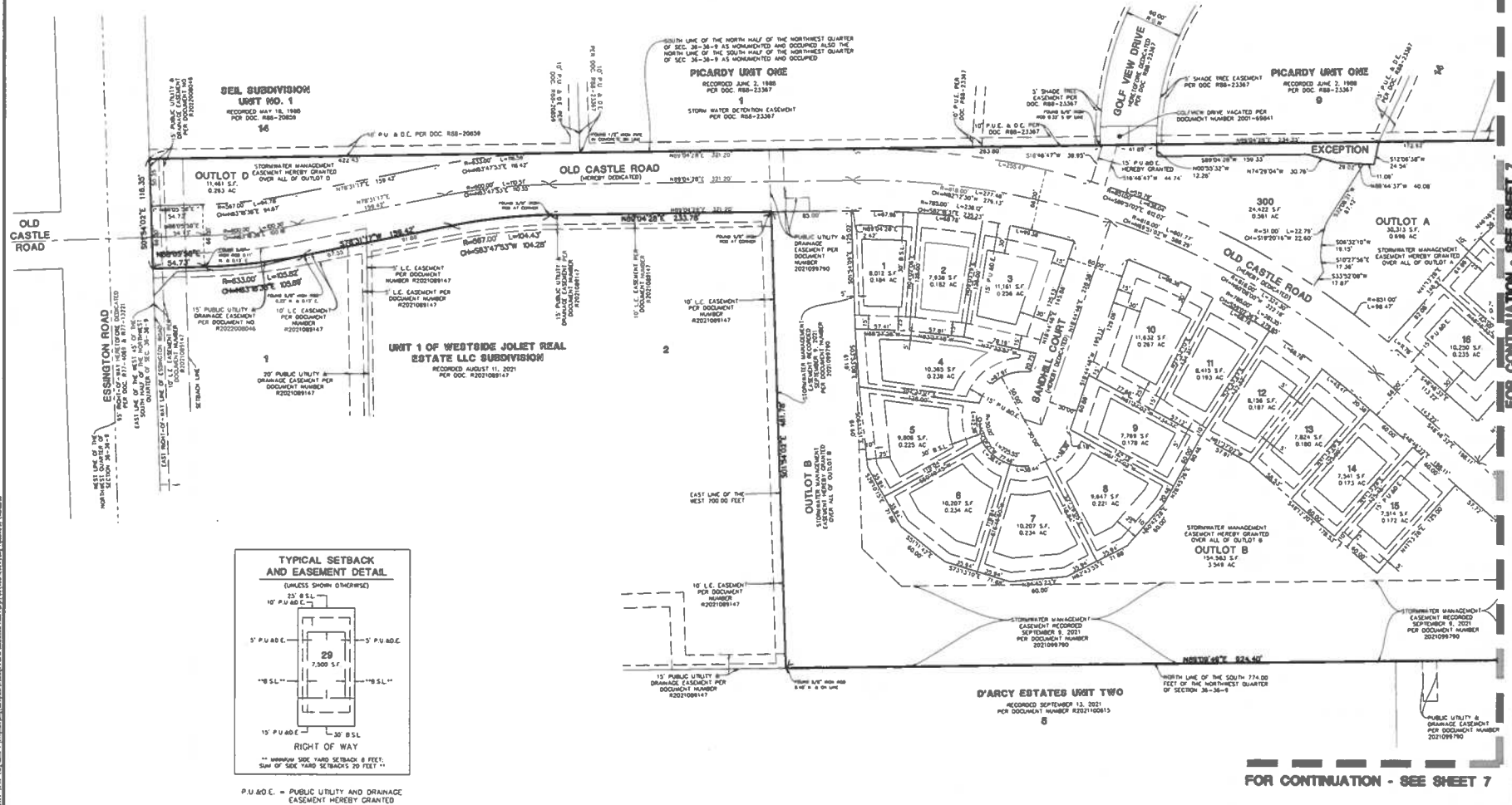
LEGEND

- S—S— TEMPORARY SILT FENCE (NORMANIZED EROSION BARRIER)
- E—E— TEMPORARY SILT DIKE
- EROSION CONTROL BLANKET (NORTH AMERICAN GREEN OS 75) (SEEDING PER LANDSCAPE PLAN)
- TEMPORARY GRAVEL CONSTRUCTION ENTRANCE
- TEMPORARY STORM STRUCTURE PROTECTION
- TEMPORARY CULVERT INLET PROTECTION
- TEMPORARY PORFOMATED RISER
- PAVEMENT DRAINAGE FLOW
- STABLE DRAINAGE FLOW
- LIMITS OF DISTURBANCE/CONSTRUCTION



FINAL PLAT OF PRAIRIE LANDING SUBDIVISION PLANNED UNIT DEVELOPMENT

BEING A SUBDIVISION OF THAT PART OF THE WEST HALF OF THE NORTHWEST QUARTER OF SECTION 16,
TOWNSHIP 36 NORTH, RANGE 9, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN WILL COUNTY, ILLINOIS.

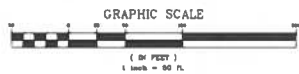


NO.	DATE	DESCRIPTION
1	10/1/2021	PRELIMINARY PLAT
2	10/1/2021	FINAL PLAT

Manhard CONSULTING
2200 ESSINGTON ROAD, JOLIET, ILLINOIS 60435
FINAL PUD PLAT

PRAIRIE LANDING SUBDIVISION PLANNED UNIT DEVELOPMENT
2200 ESSINGTON ROAD, JOLIET, ILLINOIS 60435
FINAL PUD PLAT

PROJECT NO. 5-2
 PROJECT ADDRESS 5-2
 PROJECT BY LB
 DATE 10/18/24
 SCALE 1" = 20'
 SHEET
7 OF 8
 OR-110104



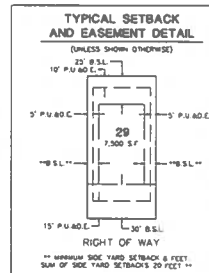
FINAL PLAT OF PRAIRIE LANDING SUBDIVISION PLANNED UNIT DEVELOPMENT

BEING A SUBDIVISION OF THAT PART OF THE WEST HALF OF THE NORTHWEST QUARTER OF SECTION 36,
TOWNSHIP 36 NORTH, RANGE 9, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN WILL COUNTY, ILLINOIS.

FOR CONTINUATION - SEE SHEET 7

D'ARCY ESTATES UNIT TWO
RECORDED SEPTEMBER 13, 2021
FOR DOCUMENT NUMBER R2021-052043
SHOWING SETBACK EASEMENT OVER ALL OF LOT 8

OUTLOT C
289.083 S.F.
0.659 AC
STORMWATER MANAGEMENT
EASEMENT HEREBY GRANTED
OVER ALL OF OUTLOT C



CITY PLAN COMMISSION CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF WILL)
APPROVED BY THE _____ PLAN COMMISSION, THIS _____ DAY OF
A.D. 20____

CHAMBERMAN

SECRETARY

CITY COUNCIL CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF WILL)
AS AUTHORIZED BY THE FINAL PLAT APPROVED BY ORDINANCE NO. _____ OF THE CITY
COUNCIL OF THE CITY OF JOLIET.
THIS _____ DAY OF _____, 20____

MAYOR

CITY CLERK

SURVEYORS CERTIFICATE

STATE OF ILLINOIS)
COUNTY OF DUPAGE)
THIS IS TO DECLARE THAT THE PROPERTY DESCRIBED HEREIN WAS SURVEYED AND SUBDIVIDED BY
MANHARD CONSULTING, LTD. UNDER THE SUPERVISION OF AN ILLINOIS PROFESSIONAL LAND
SURVEYOR AND THAT THE PLAT HEREON DRAWN IS A CORRECT REPRESENTATION OF SAID SURVEY
AND SUBDIVISION.

THE SOUTH HALF OF THE NORTHWEST QUARTER OF SECTION 36, TOWNSHIP 36 NORTH, RANGE 9
EAST OF THE THIRD PRINCIPAL MERIDIAN, EXCEPTING THEREFROM THE WEST 60.00 FEET THEREOF
ALSO EXCEPTING THEREFROM THE PROPERTY LYING WITHIN D'ARCY ESTATES UNIT TWO BEING A
SUBDIVISION OF PART OF THE AFORESAID SOUTH HALF, ACCORDING TO THE PLAT THEREOF
RECORDED SEPTEMBER 13, 2021, AS DOCUMENT NUMBER R2021-052043, AND ALSO EXCEPTING
THEREFROM THE PROPERTY LYING WITHIN D'ARCY ESTATES UNIT ONE BEING A SUBDIVISION OF
THE NORTHWEST QUARTER OF SECTION 36, TOWNSHIP 36 NORTH, RANGE 9, EAST OF THE THIRD
PRINCIPAL MERIDIAN, BEING A SUBDIVISION OF PART OF THE AFORESAID SOUTH HALF, ACCORDING TO
THE PLAT THEREOF RECORDED AUGUST 11, 2020, AS DOCUMENT NUMBER R2020-051941, AND ALSO
EXCEPTING THEREFROM THAT PART DESCRIBED AS FOLLOWS:
BEGINNING (EXCEPTION) AT THE SOUTHWEST CORNER OF LOT 8 IN PARCELS UNIT ONE, BEING A
SUBDIVISION OF PART OF THE AFORESAID NORTHWEST QUARTER, ACCORDING TO THE PLAT THEREOF
RECORDED JUNE 2, 1988, AS DOCUMENT NUMBER R88-03389 AND TWO CORNERS OF
CORRECTION RECORDED AS DOCUMENT NUMBERS R88-33859 AND R90-51784; THENCE NORTH 89
DEGREES 05 MINUTES 05 SECONDS EAST ALONG THE NORTH LINE OF THE SOUTH HALF OF THE
AFORESAID NORTHWEST QUARTER AND ALONG THE SOUTH LINE OF SAID LOT 8, A DISTANCE OF
214.38 FEET TO THE SOUTHWEST CORNER OF SAID LOT 8; THENCE SOUTH 12 DEGREES 06 MINUTES
34 SECONDS WEST 24.34 FEET; THENCE NORTH 88 DEGREES 58 MINUTES 27 SECONDS WEST 40.86
FEET; THENCE NORTH 14 DEGREES 23 MINUTES 45 SECONDS WEST 30.78 FEET TO A POINT ON THE
SOUTH LINE OF THE NORTH 12.28 FEET OF THE SOUTH HALF OF THE AFORESAID NORTHWEST
QUARTER; THENCE SOUTH 88 DEGREES 05 MINUTES 05 SECONDS WEST ALONG SAID SOUTH LINE
109.35 FEET, TO A POINT THAT IS LOCATED 12.28 FEET SOUTH OF THE POINT OF BEGINNING
(EXCEPTION), AS MEASURED PERPENDICULARLY TO THE SOUTH LINE OF AFORESAID LOT 8; THENCE
NORTH 00 DEGREES 34 MINUTES 38 SECONDS WEST 12.28 FEET TO THE POINT OF BEGINNING
(EXCEPTION), IN WILL COUNTY, ILLINOIS.

GIVEN UNDER MY HAND AND SEAL THIS _____ DAY OF _____ A.D. 20____

FOR REVIEW ONLY

ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 0217
LICENSE EXPIRES NOVEMBER 30, 2026
GEOFFREY PROFFER, REGISTRAR
NO 184003330-EXPRES APRIL 30, 2025



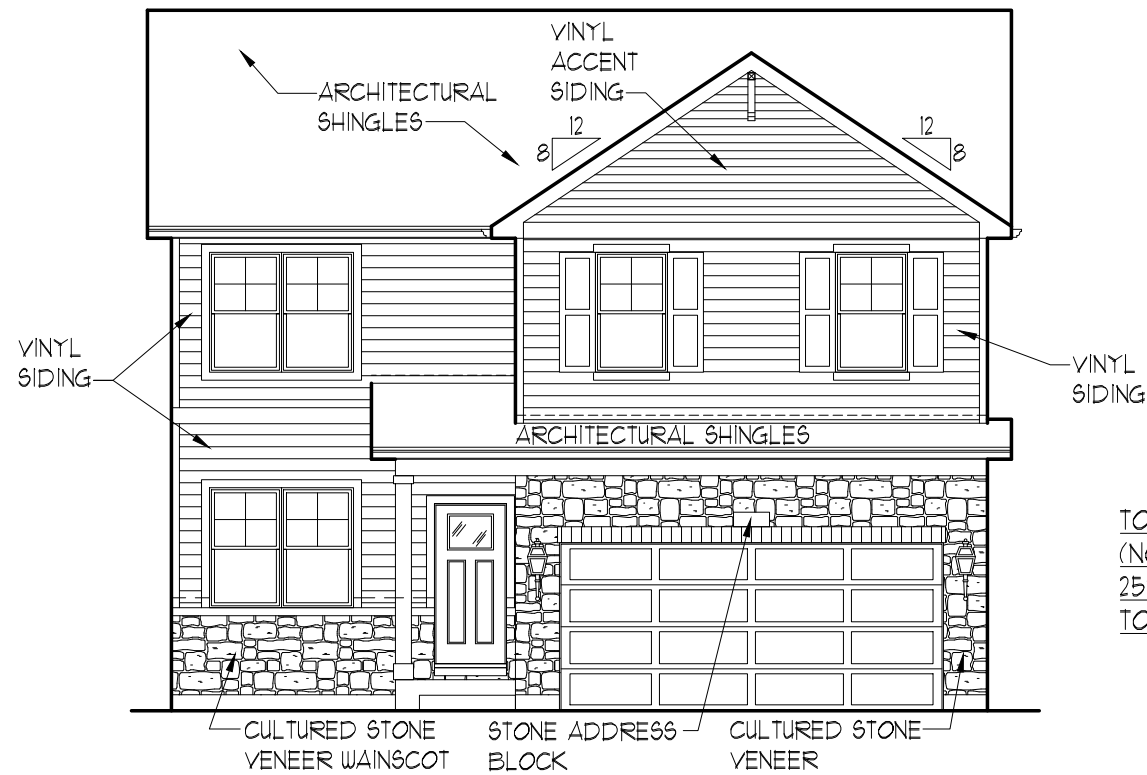
Manhard CONSULTING

2200 ESSINGTON ROAD, JOLIET, ILLINOIS 60435

PRAIRIE LANDING SUBDIVISION PLANNED UNIT DEVELOPMENT

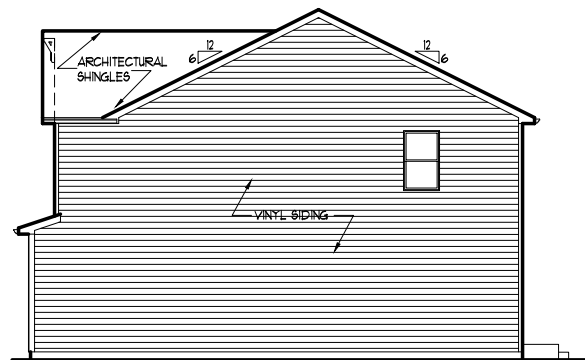
FINAL PUD PLAT

8 OF 8

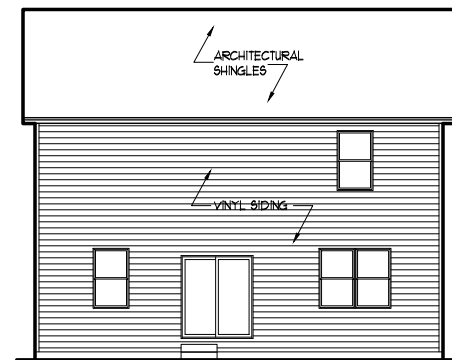


TOTAL FRONT ELEVATION SIDEABLE AREA
(NOT INCLUDING WINDOWS, DOORS, & ROOF AREA) = 459.16 SQ. FT.
25% OF SIDEABLE AREA = 114.79 SQ. FT.
TOTAL MASONRY AREA = 133.00 SQ. FT. (29.0%)

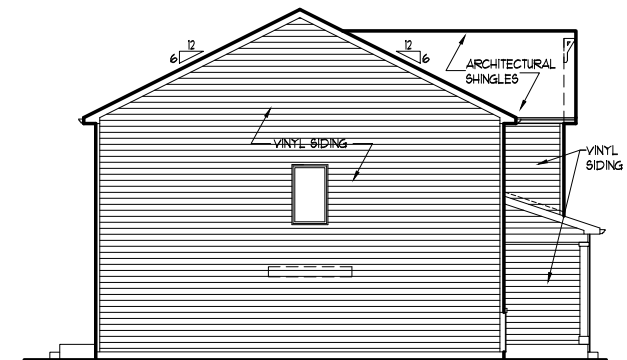
ELEVATION "A5"



TYPICAL RIGHT ELEVATION

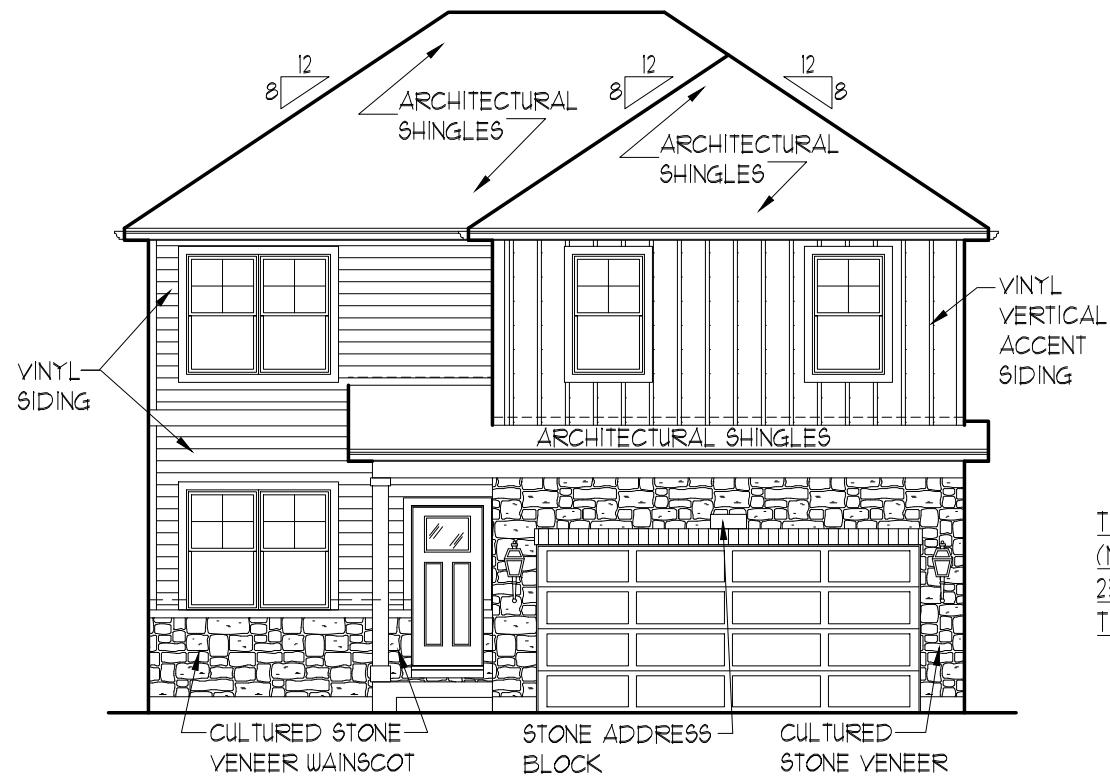


TYPICAL REAR ELEVATION



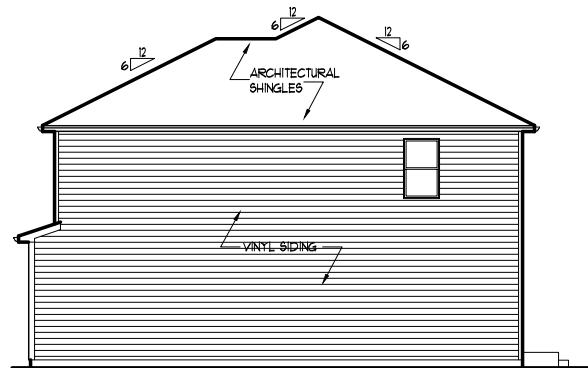
TYPICAL LEFT ELEVATION

x424
PRAIRIE LANDING
JOLIET, IL.
X-SERIES

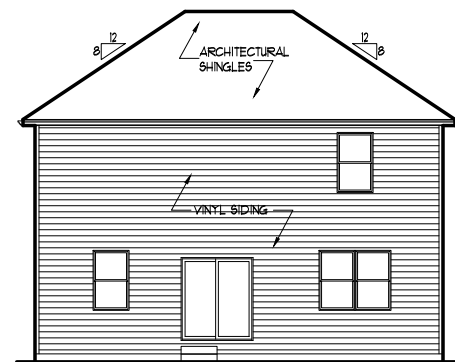


TOTAL FRONT ELEVATION SIDEABLE AREA
(NOT INCLUDING WINDOWS, DOORS, & ROOF AREA) = 386.40 SQ. FT.
25% OF SIDEABLE AREA = 96.60 SQ. FT.
TOTAL MASONRY AREA = 133.00 SQ. FT. (34.4%)

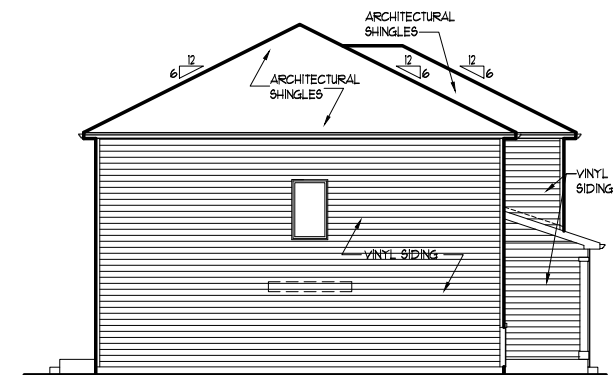
ELEVATION "C5"



TYPICAL RIGHT ELEVATION

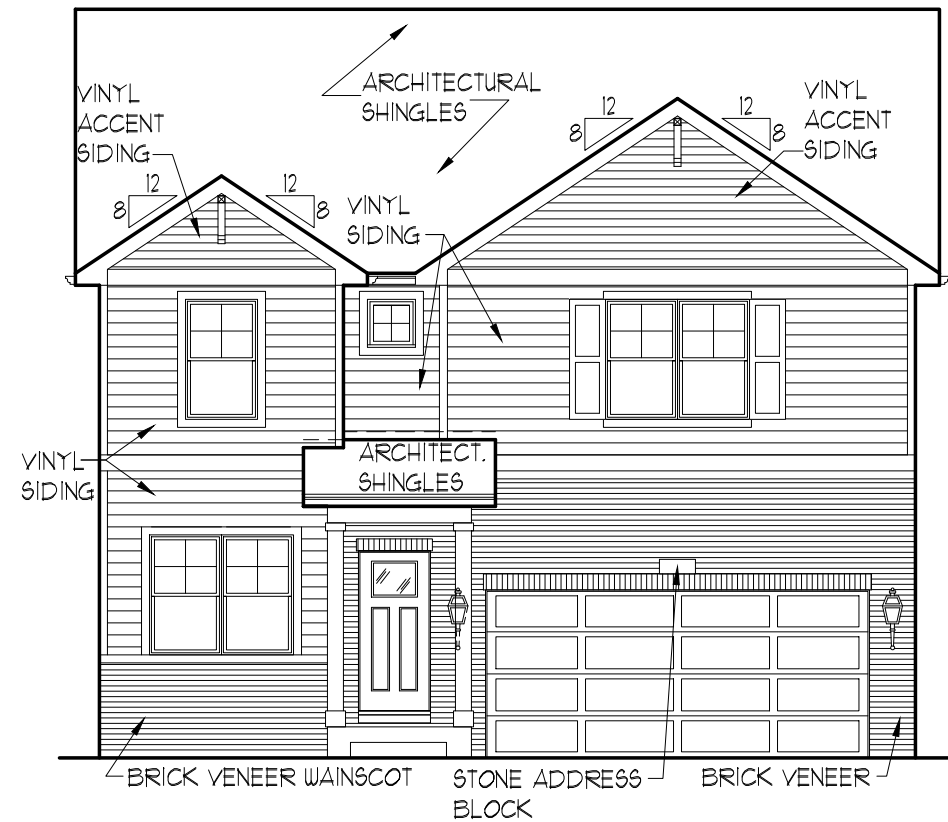


TYPICAL REAR ELEVATION



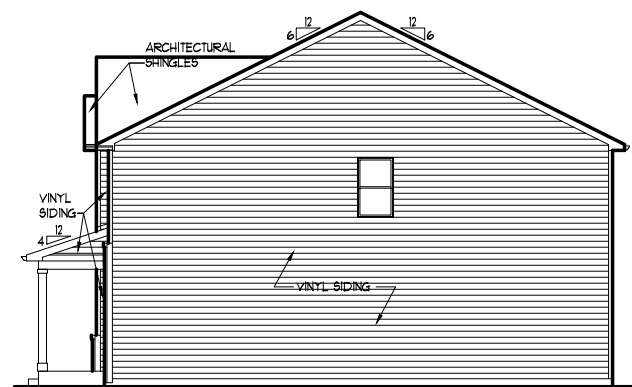
TYPICAL LEFT ELEVATION

x424
PRAIRIE LANDING
JOLIET, IL.
X-SERIES

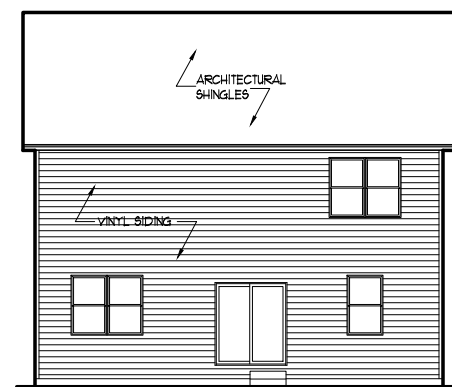


TOTAL FRONT ELEVATION SIDEABLE AREA
(NOT INCLUDING WINDOWS, DOORS, & ROOF AREA) = 521.05 SQ. FT.
25% OF SIDEABLE AREA = 130.26 SQ. FT.
TOTAL MASONRY AREA = 191.00 SQ. FT. (37.8%)

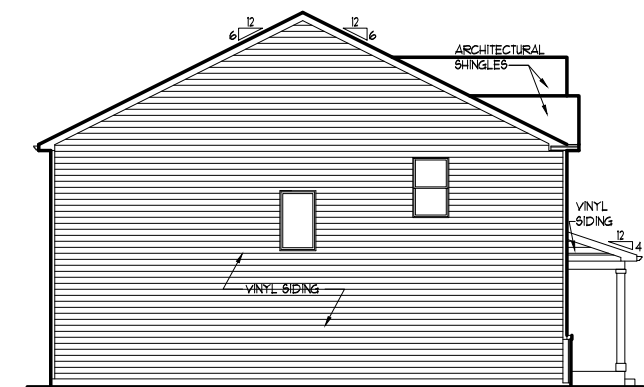
ELEVATION "A4"



TYPICAL RIGHT ELEVATION

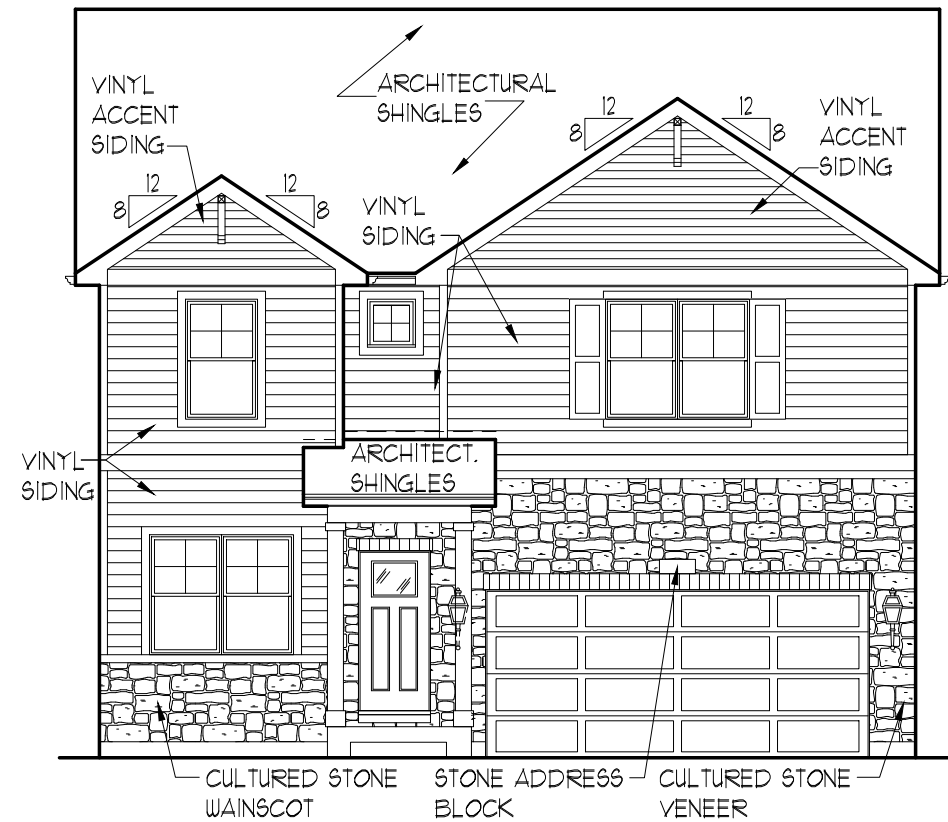


TYPICAL REAR ELEVATION



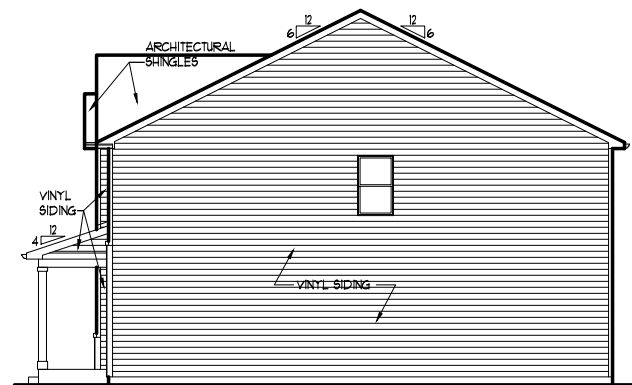
TYPICAL LEFT ELEVATION

x427
PRAIRIE LANDING
JOLIET, IL.
X-SERIES

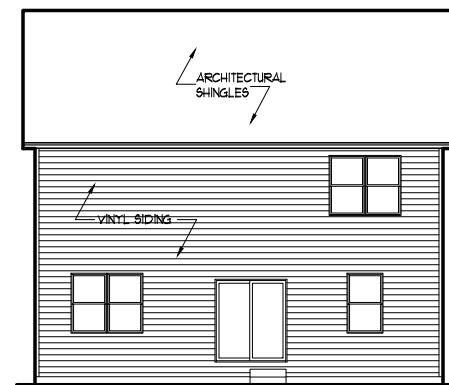


TOTAL FRONT ELEVATION SIDEABLE AREA
 (NOT INCLUDING WINDOWS, DOORS, & ROOF AREA) = 521.05 SQ. FT.
 25% OF SIDEABLE AREA = 130.26 SQ. FT.
 TOTAL MASONRY AREA = 193.00 SQ. FT. (37.0%)

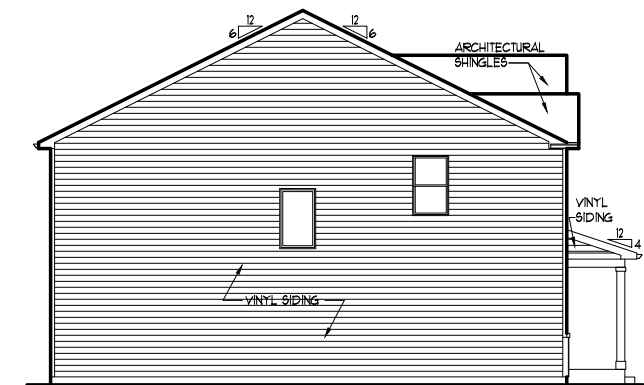
ELEVATION "A5"



TYPICAL RIGHT ELEVATION

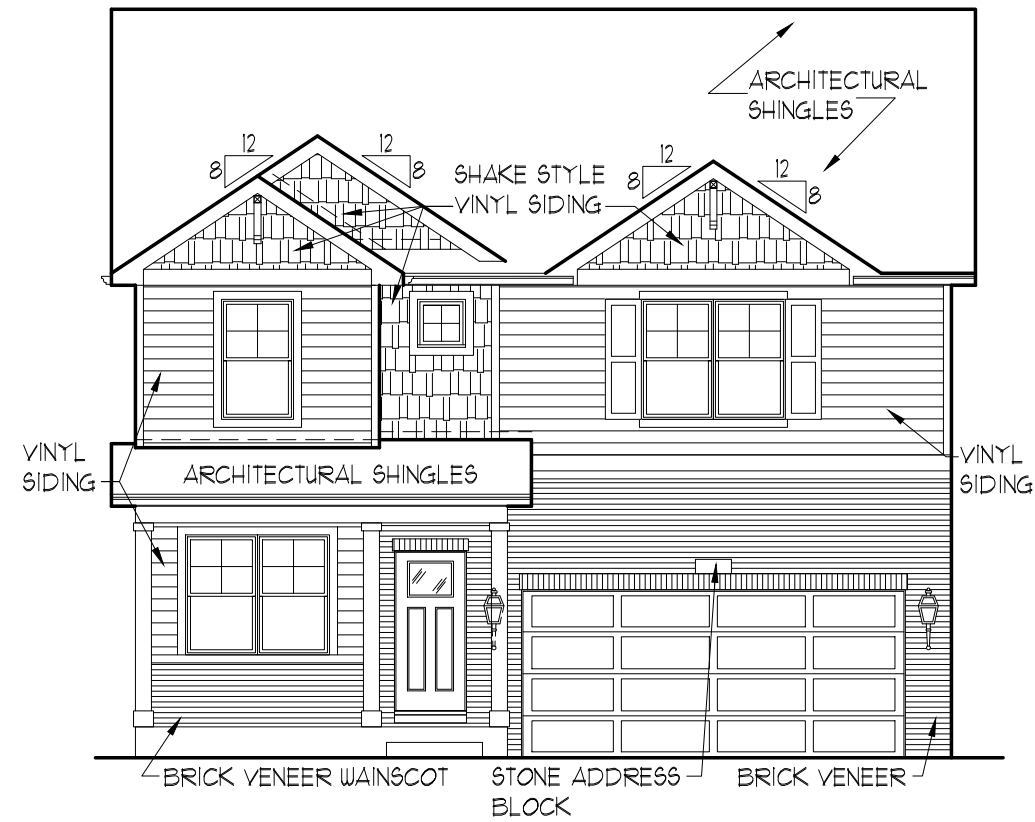


TYPICAL REAR ELEVATION



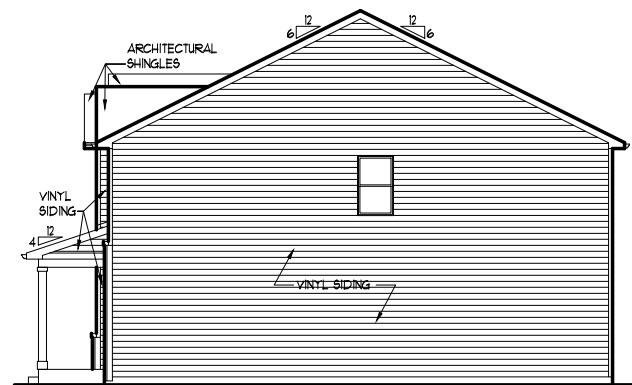
TYPICAL LEFT ELEVATION

x427
PRAIRIE LANDING
JOLIET, IL.
X-SERIES

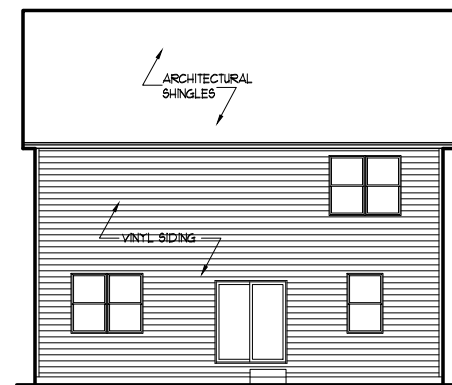


TOTAL FRONT ELEVATION SIDEABLE AREA
(NOT INCLUDING WINDOWS, DOORS, & ROOF AREA) = 459.84 SQ. FT.
25% OF SIDEABLE AREA = 114.96 SQ. FT.
TOTAL MASONRY AREA = 187.90 SQ. FT. (40.9%)

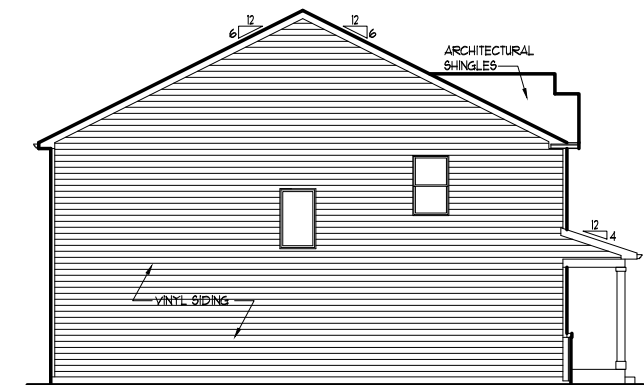
ELEVATION "B4"



TYPICAL RIGHT ELEVATION

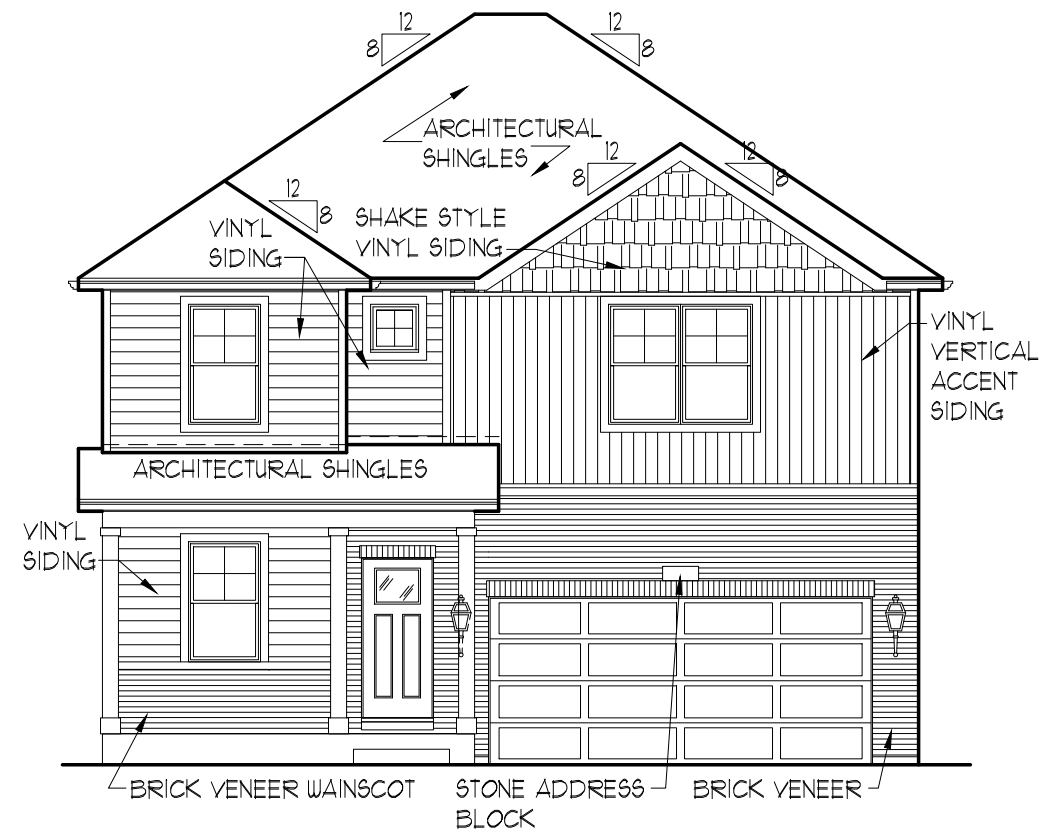


TYPICAL REAR ELEVATION



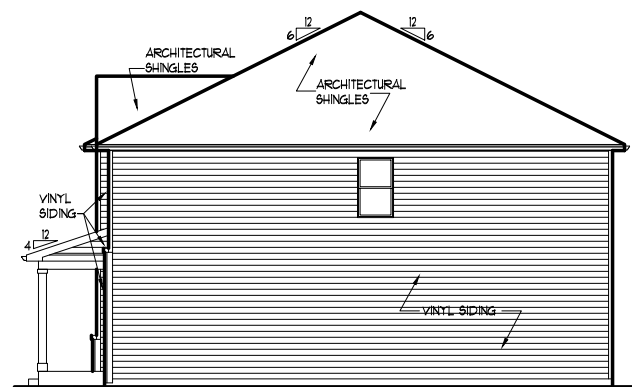
TYPICAL LEFT ELEVATION

x427
PRAIRIE LANDING
JOLIET, IL.
X-SERIES

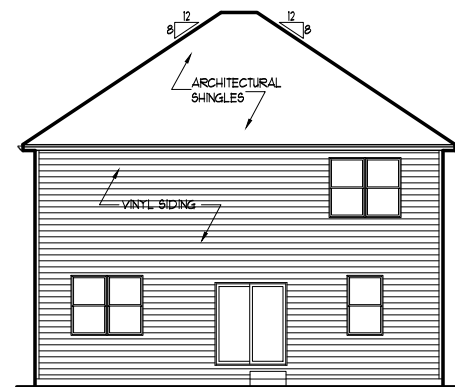


TOTAL FRONT ELEVATION SIDEABLE AREA
(NOT INCLUDING WINDOWS, DOORS, & ROOF AREA) = 457.85 SQ. FT.
25% OF SIDEABLE AREA = 114.46 SQ. FT.
TOTAL MASONRY AREA = 187.90 SQ. FT. (41.0%)

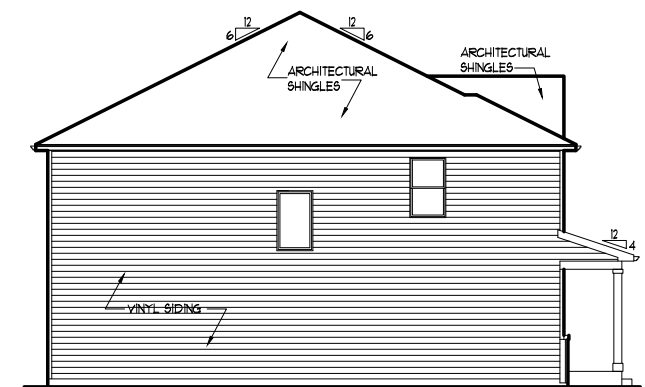
ELEVATION "D4"



TYPICAL RIGHT ELEVATION



TYPICAL REAR ELEVATION



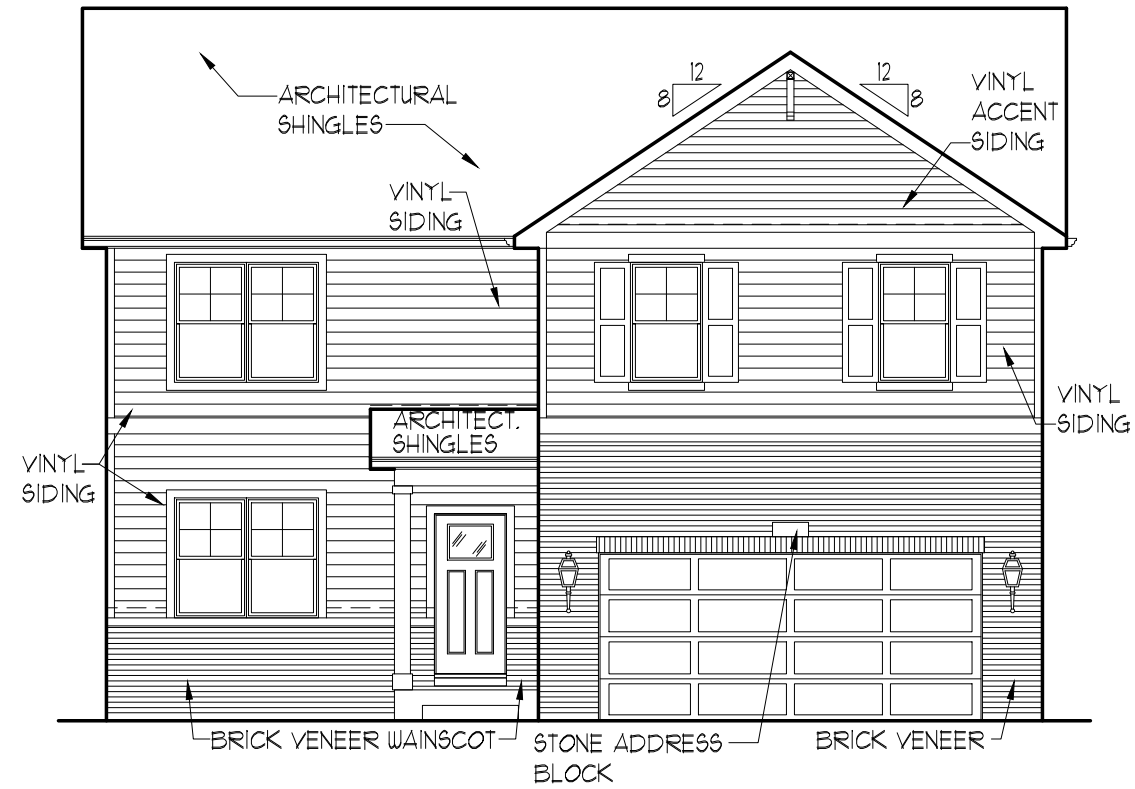
TYPICAL LEFT ELEVATION

x427

PRAIRIE LANDING

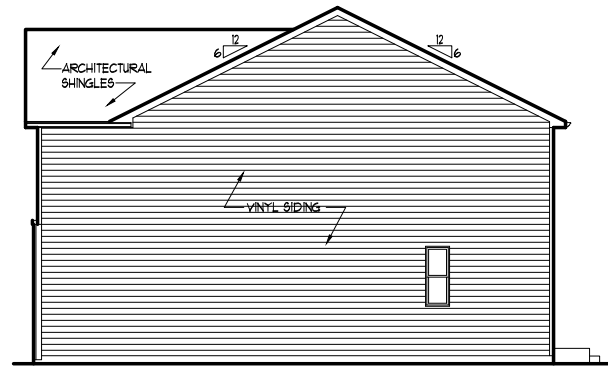
JOLIET, IL.

X-SERIES

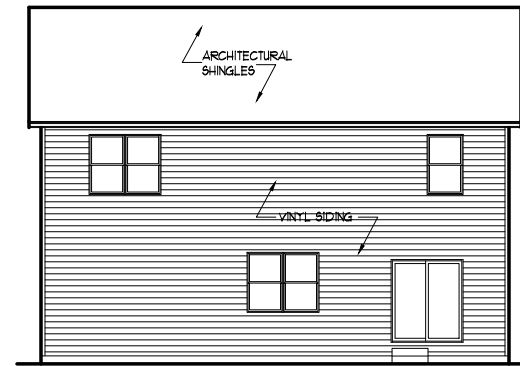


TOTAL FRONT ELEVATION SIDEABLE AREA
(NOT INCLUDING WINDOWS, DOORS, & ROOF AREA) = 593.59 SQ. FT.
25% OF SIDEABLE AREA = 148.40 SQ. FT.
TOTAL MASONRY AREA = 195.46 SQ. FT. (32.9%)

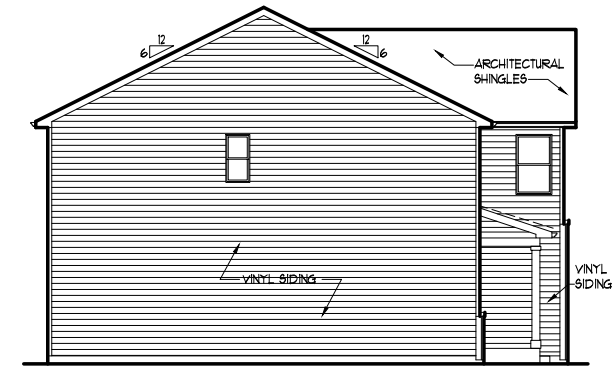
ELEVATION "A4"



TYPICAL RIGHT ELEVATION



TYPICAL REAR ELEVATION



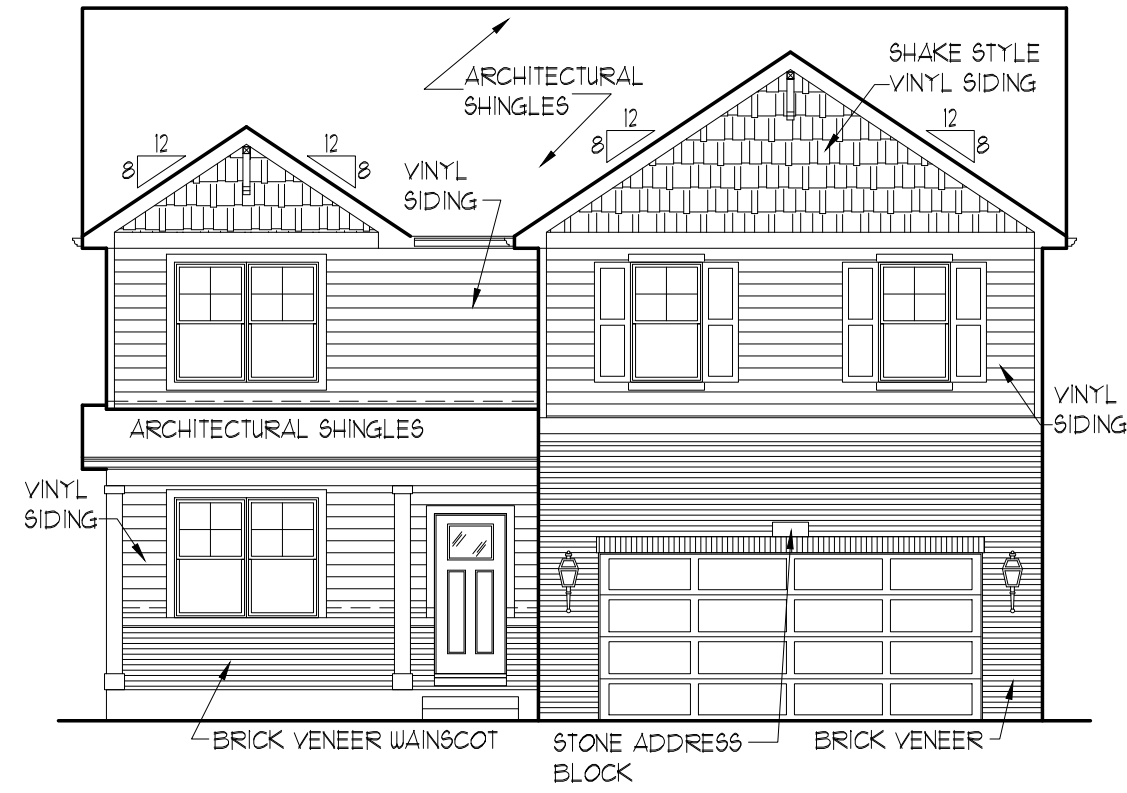
TYPICAL LEFT ELEVATION

x429

PRAIRIE LANDING

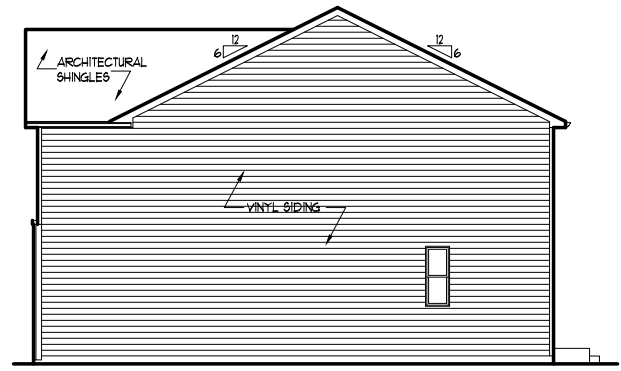
JOLIET, IL.

X-SERIES

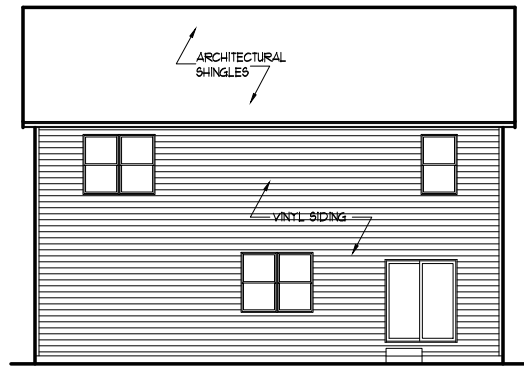


TOTAL FRONT ELEVATION SIDEABLE AREA
 (NOT INCLUDING WINDOWS, DOORS, & ROOF AREA) = 583.53 SQ. FT.
 25% OF SIDEABLE AREA = 145.88 SQ. FT.
 TOTAL MASONRY AREA = 183.96 SQ. FT. (31.5%)

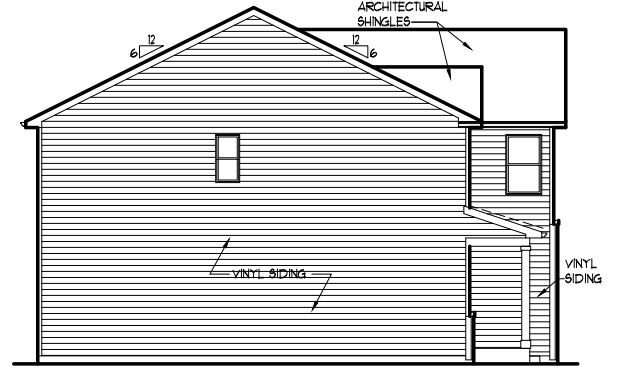
ELEVATION "B4"



TYPICAL RIGHT ELEVATION

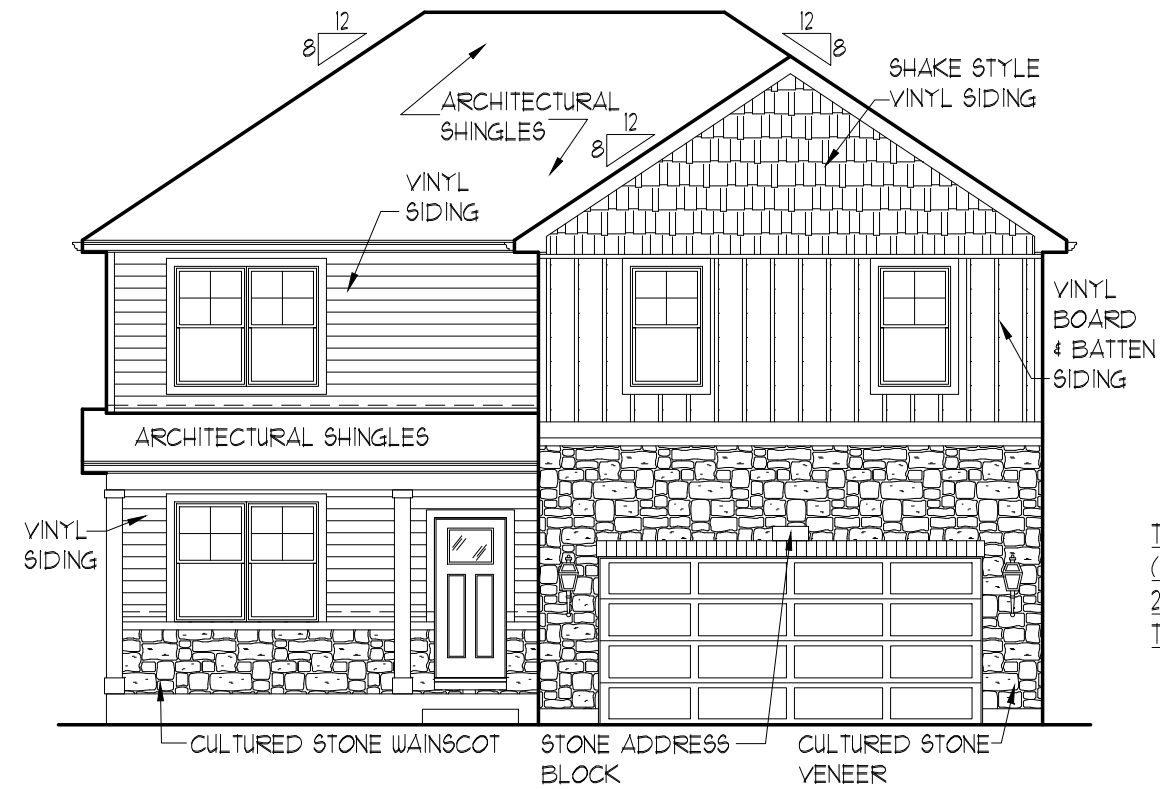


TYPICAL REAR ELEVATION



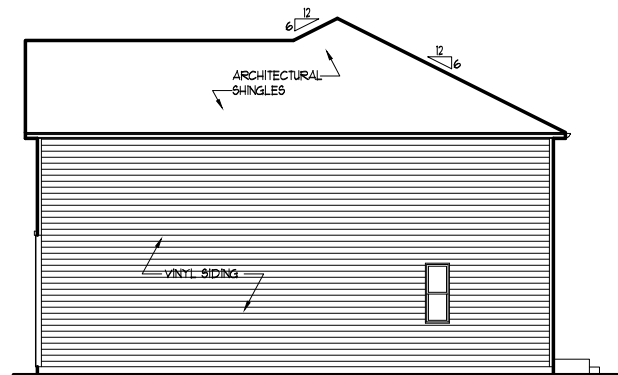
TYPICAL LEFT ELEVATION

x429
PRAIRIE LANDING
JOLIET, IL.
X-SERIES

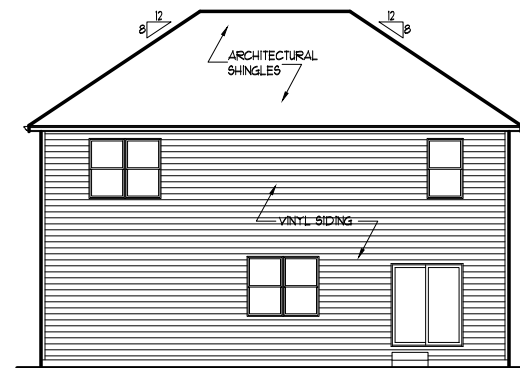


TOTAL FRONT ELEVATION SIDEABLE AREA
(NOT INCLUDING WINDOWS, DOORS, & ROOF AREA) = 556.09 SQ. FT.
25% OF SIDEABLE AREA = 139.02 SQ. FT.
TOTAL MASONRY AREA = 182.29 SQ. FT. (32.8%)

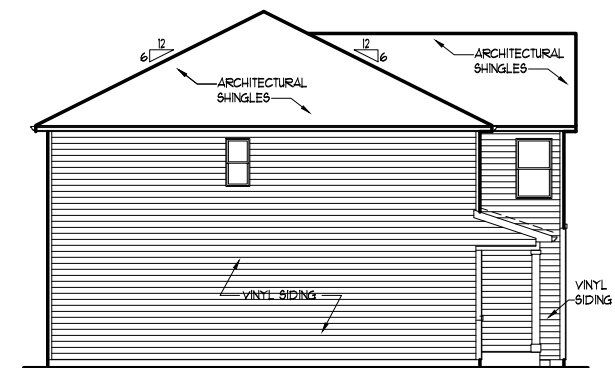
ELEVATION "D5"



TYPICAL RIGHT ELEVATION



TYPICAL REAR ELEVATION



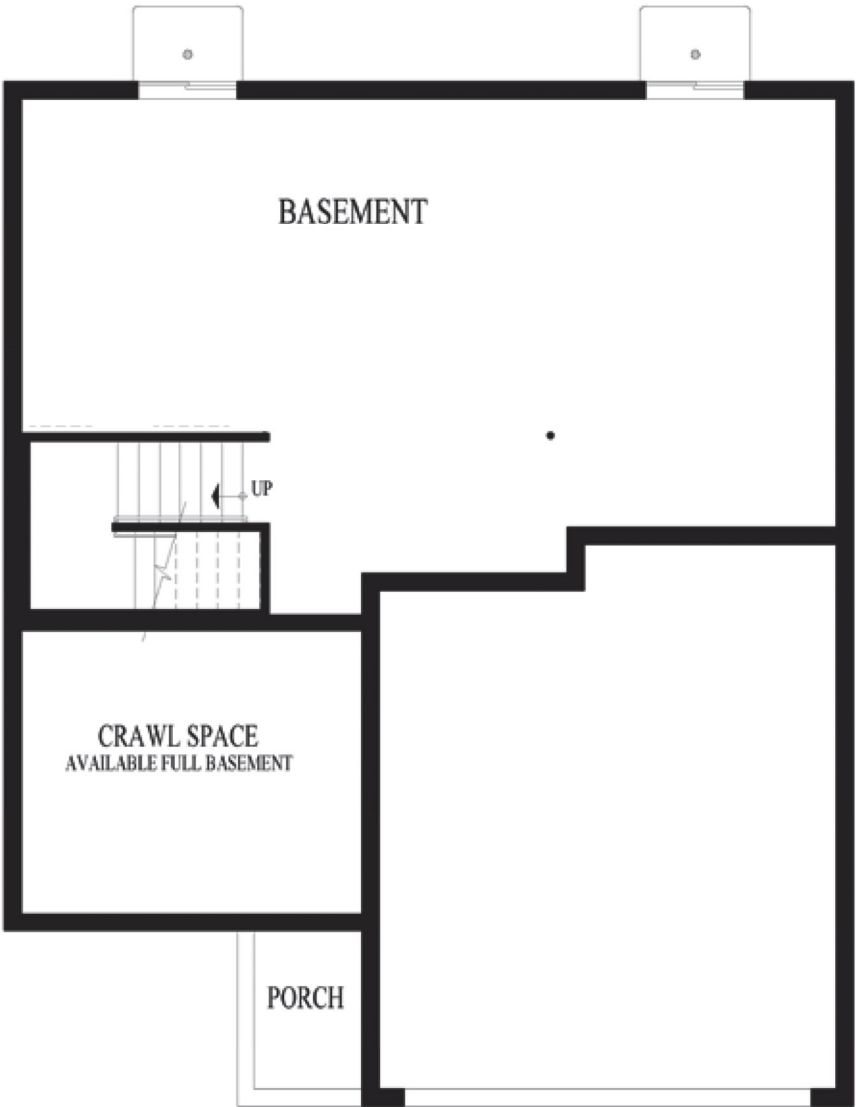
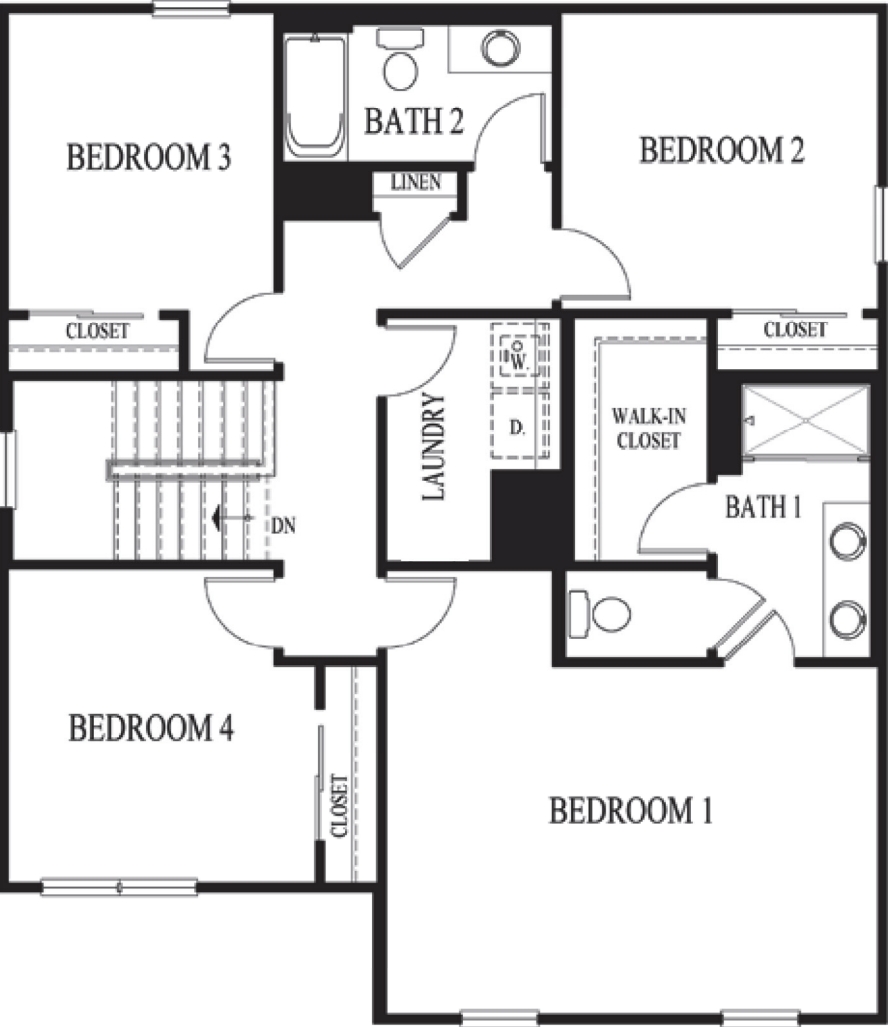
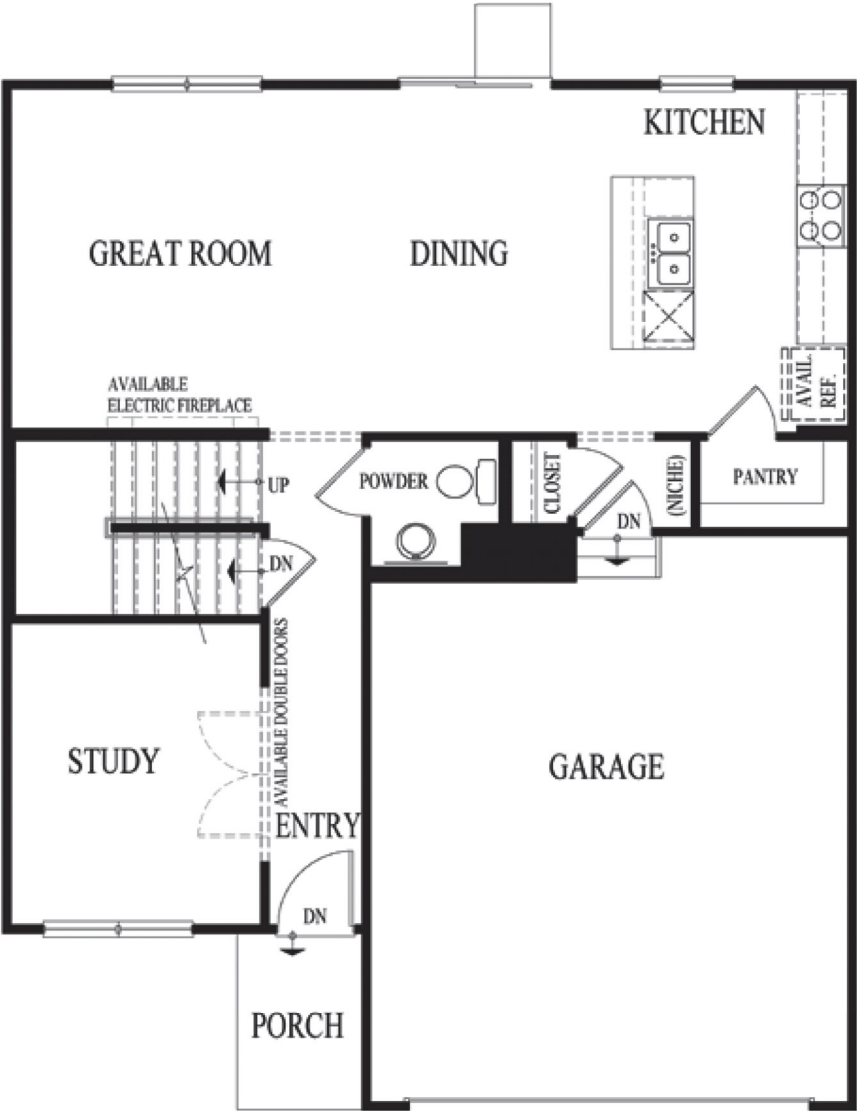
TYPICAL LEFT ELEVATION

x429

PRAIRIE LANDING

JOLIET, IL.

X-SERIES



Main Level

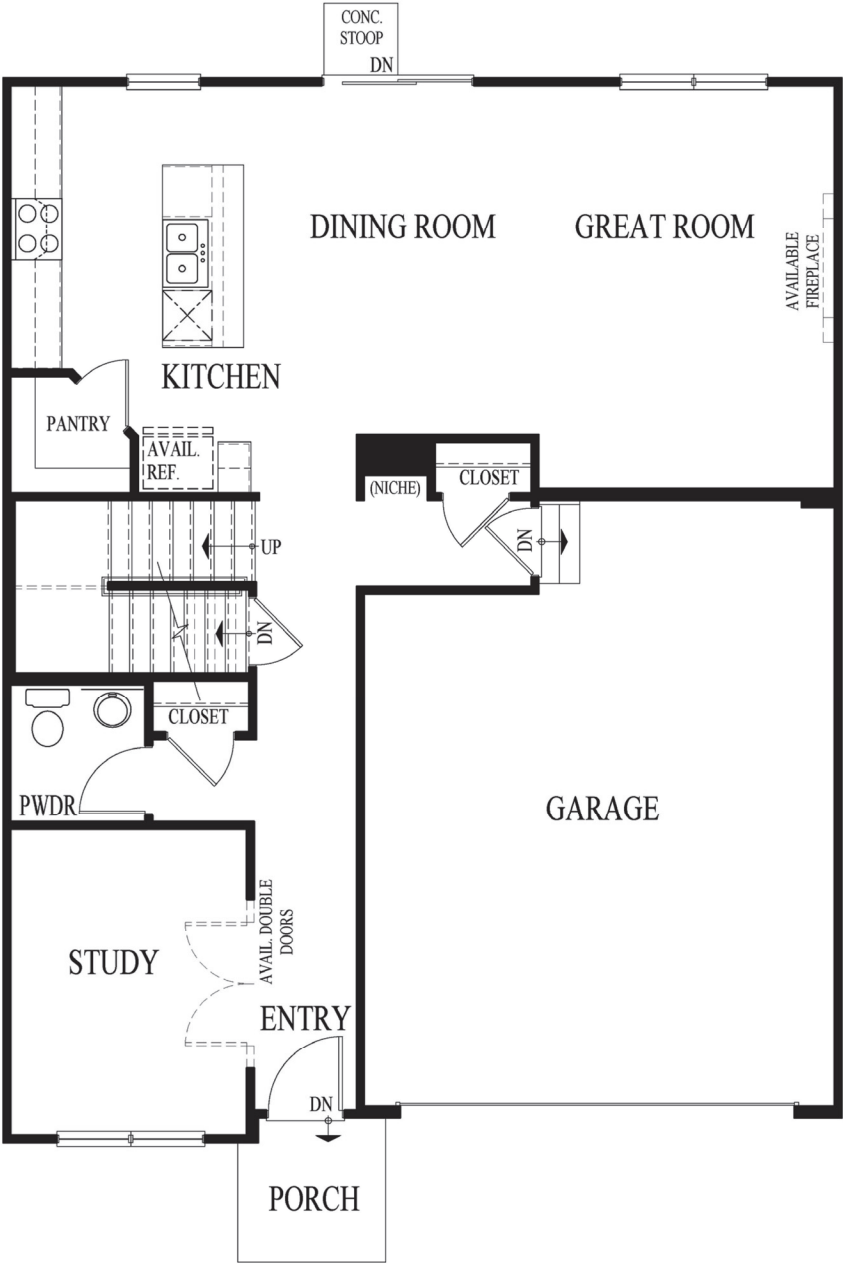
Upper Level

Partial Basement*

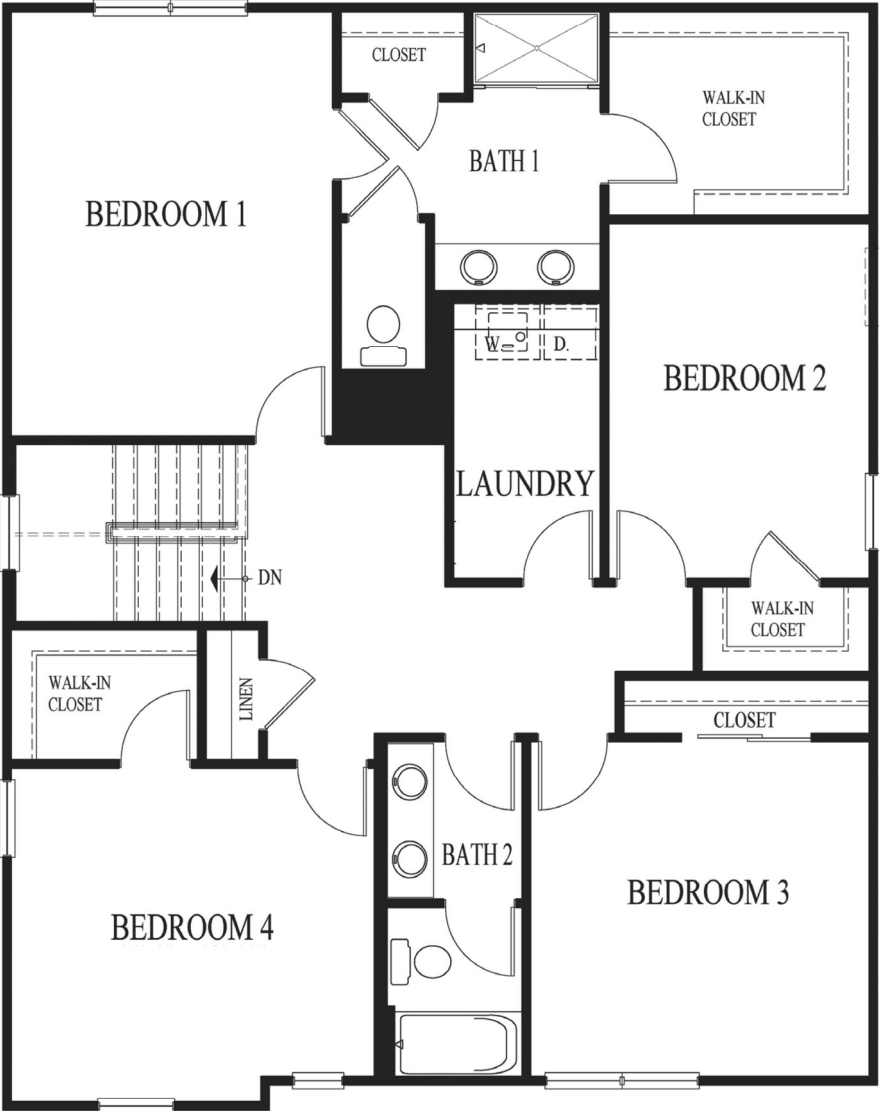
*Mechanical and window locations may vary. See a sales representative for details.



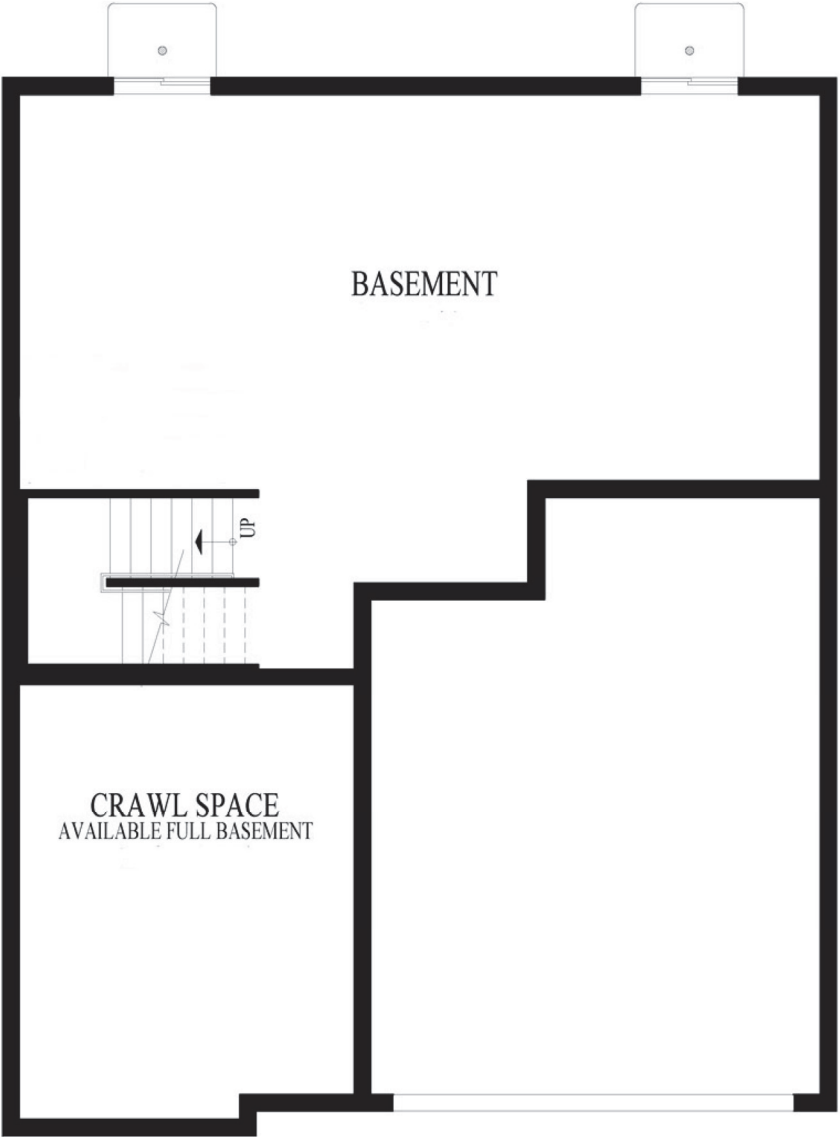
D.R. Horton is an equal housing opportunity builder. With basement foundations, water heaters and HVAC systems will be relocated to the first or second floors, as specified. All pricing, included features, terms, availability and amenities, are subject to change at any time without notice or obligation. Elevations and exterior materials may vary. Square footages, measurements and dimensions are approximate and will vary based on foundation type and options selected. Pictures, artist renderings, photographs, colors, features, and sizes are for illustration purposes only and will vary from the homes as built. Options and upgrades are available at an additional cost and are subject to availability and construction cut-off dates. REV 240716



Main Level



Upper Level



Partial Basement*

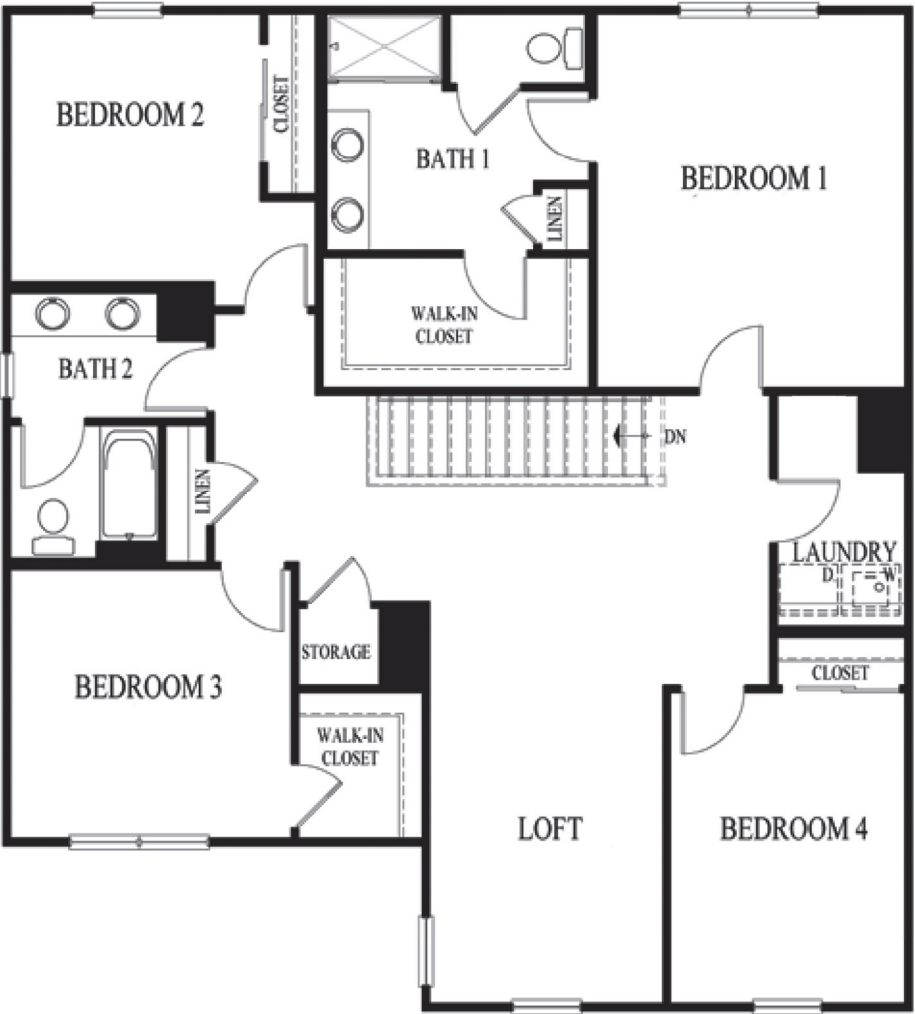
*Mechanical and window locations may vary. See a sales representative for details.



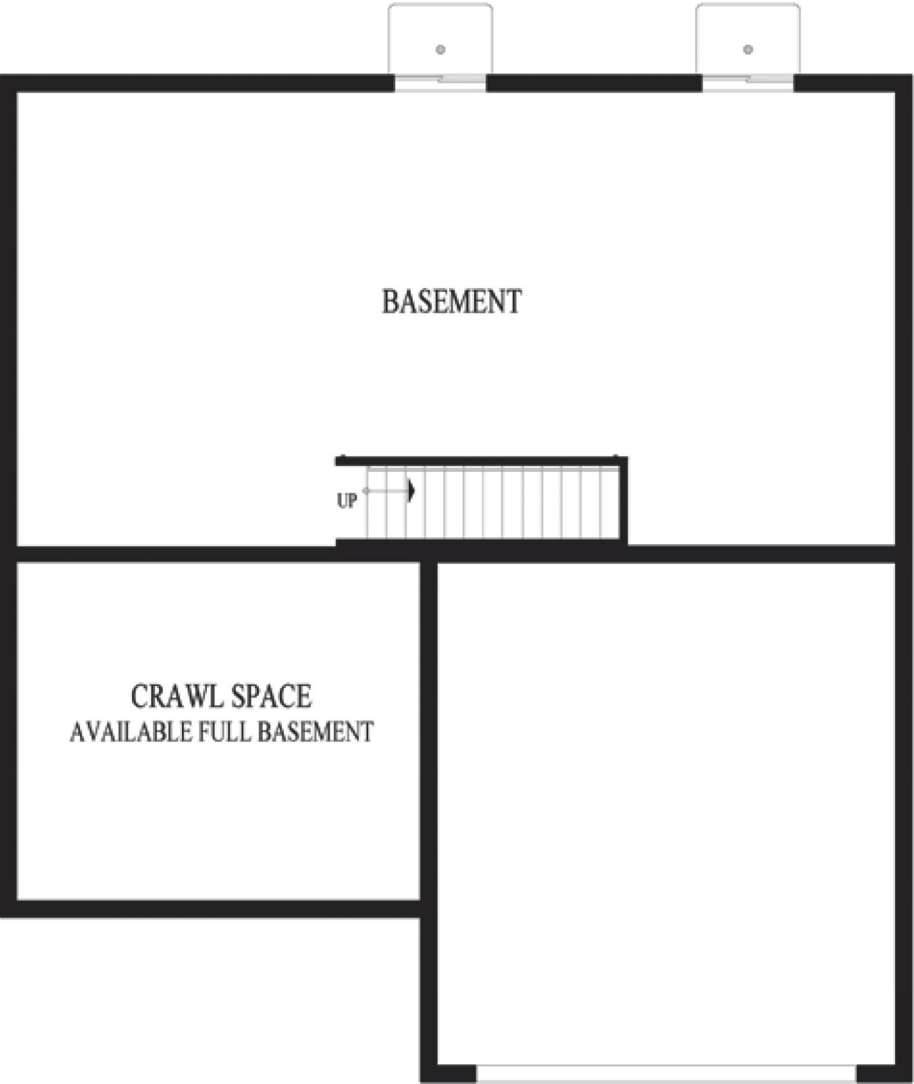
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Main Level



Upper Level



Partial Basement*

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