

STAFF REPORT

DATE: October 19, 2023
TO: Zoning Board of Appeals
FROM: Planning Staff
RE: Petition Number: 2023-50-54
Applicant: Amerco Real Estate Company (AREC)
Status of Applicant: Contract Purchaser
Owner: PM Hospitality, LLC
Location: 4200 W. Jefferson Street
Request: A Special Use Permit for an indoor storage facility, located at 4200 W. Jefferson Street.

A Special Use Permit for truck hire & sales, located at 4200 W. Jefferson Street.

A Variation to allow two main buildings on one lot, located at 4200 W. Jefferson Street.

A Variation to increase the total permitted sign height from 25 ft. to 39.56 ft., located at 4200 W. Jefferson Street.

A Variation to increase the total amount of allowable wall signage from 784 sq. ft. to 801 sq. ft., located at 4200 W. Jefferson Street.

Purpose

The petitioner is requesting approval of the following items, with intent to develop a U-Haul Moving and Storage Facility at the subject properties, which are located at 4200 W. Jefferson Street:

- A Special Use Permit for an indoor storage facility.
- A Special Use Permit for truck hire and sales.
- A Variation to allow two main buildings on one lot.
- A Variation to increase the total permitted sign height from 25 ft. to 39.56 ft.
- A Variation to increase the total amount of allowable wall signage from 785 square feet to 801 square feet.

The Special Use permits require City Council approval. The Zoning Board of Appeals will make the final decision on the requested variations.

A narrative of the proposed project, written by the petitioner, has been included in the staff report packet. The U-Haul Moving and Storage Facility would consist of self-storage, truck and trailer sharing (rental), and related retail sales. Indoor storage facilities within a B-3 zone require a Special Use Permit, per Section 47-13.2A(I) of the City's Zoning Ordinance. In addition, truck hire and sales (rental) also require a Special Use Permit, per Section 47-13.2A(G) of the City's Zoning Ordinance. The proposed development would contain two main buildings which will both conduct the proposed principal use on the same lot, thereby requiring a variation from Section 47-3.2(B) of the City's Zoning Ordinance. Additional variations are pertaining to overall sign height and size for signage along the eastern building's west façade.

Site Specific Information

The subject properties total approximately 7.47 acres in size and contains two lots. The properties currently contain a hotel use with a bar and adjacent parking. Development of the proposed U-Haul facility would result in a complete teardown of the hotel building, with two new main buildings that would be located on the western lot. Two existing access points onto West Jefferson Street would remain in place, in addition to an existing cross-access lane to the Shell gas station to the west. The easternmost building would have a footprint of 39,038 square feet and contain a 3-story, 42-ft. tall, building that would include self-storage and retail within a showroom. The B-3 zone allows buildings up to three stories or 50 ft. in height. The second building would be 49-ft. tall, have a footprint of approximately 27,451 square feet, and be located on the west side of the property. This building would be used mostly for storage of moving containers or pods. Elevations of the proposed buildings have been included in the staff report packet. The easternmost building would contain a variety of brick, pre-cast concrete, and glass facades. The entirety of the first story is shown with a brick exterior, in addition to the second and third stories on all four corners. The western building would contain a similar design, with less glass. Both buildings will be required to meet the City's Non-Residential Design Standards for a commercial use.

Some signage is currently proposed within the top portion of the west side elevation on the east building. Wall signage has a maximum height of 25 ft., per the City's Zoning Ordinance. The requested signage, as shown in the attached elevations, would be approximately 39.56 ft. high, thereby requiring a variation for the proposed height of signage. In addition, total wall signage along the west side of the eastern building is estimated to be approximately 801 square feet. Wall signage in the underlying zone allows for 200% of maximum street frontage, which in this case, would allow for signage of up to 784 square feet. The subject signage area will be located over 200 ft. from the West Jefferson Street right-of-way. Staff views both requested variations as reasonable requests.

Much of the project site is in the 100-year floodplain. The petitioner has secured a Letter of Map Revision from the Federal Emergency Management Agency (FEMA) to remove a portion of the property where most redevelopment would occur from the Special Flood Hazard Area or floodplain to an X (shaded) zone. Development on the subject properties that is still located within the flood fringe will still be required to abide by the City's regulations pertaining to development in Special Flood Hazards Areas within the flood fringe.

The petitioner has also submitted a preliminary landscape and tree removal plan. The plan shows removal of a considerable number of trees, which will need to be replaced per the City's Tree Preservation regulations in Article VI, Section 26-128(h) of the City Code. Prior to issuance of a building permit, staff will need to review a more detailed Tree Preservation Plan that specifically states how each tree is proposed to be removed, relocated, replaced, preserved at its present location, introduced in the site from an off-site source, and whether the tree is to receive remediated actions due to construction impacts.

Surrounding Zoning, Land Use and Character

- * North: B-3; Woodlands
- * East: I-1; Woodlands
- * South: R-B; Woodlands
- * West: B-3; Woodlands/Gas Station

Applicable Regulations

- Section 47-13.2A(G and I) – Special Uses – General Business Districts
- Section 47-5.2(C) - Criteria for issuance of a Special Use Permit (see attached petition)
- Section 47-3.2(B) – Basic Types of Buildings and Uses (Main Building)
- Section 47-17.21(3)(r) – Regulations to Govern in All Zoning Districts (Exhibit A on Sign Size, Height)
- Section 47-19.8 - Criteria for granting a Variation (refer to attachment)

Special Information

The subject petitions were originally scheduled to be discussed at the August 17, 2023, Zoning Board of Appeals meeting. These petitions were tabled to October 19, 2023, to allow for a revised set of studies from the Federal Aviation Administration (FAA) regarding the proposed height of the two buildings and their proximity to the flight path of the Joliet Regional Airport. Findings from the FAA have been included in the staff report packet. All reports have determined that the proposed structures will not exceed obstruction standards and would not be a hazard to air navigation, provided that a notice of

construction is filed with the FAA within five days after building construction reaches its greatest height.

Discussion

Approval of the requested petitions would allow the development of a U-Haul Moving and Storage Facility on the subject properties. The proposed development is viewed by staff as a positive commercial reuse of a site that will benefit from access to West Jefferson Street and I-55 adjacency. Staff does not believe the proposed use will generate enough traffic to necessitate a separate traffic study and will therefore not provide a noticeable increase in traffic congestion in the immediate area. While the site plan as currently proposed would eliminate several trees along the west and south sides of the site, a dense woodland buffer would remain around the south, east, and west sides of the site. These woodland buffers will help screen the interior parking areas from these perspectives in addition to most of the 3-story building.

Conditions

If the Zoning Board desires to approve the Special Use Permits, staff recommends the following conditions be included:

1. That both main buildings follow the City's Non-Residential Design Standards for Commercial buildings.
2. That all internal parking areas and driveways are paved with concrete, bituminous concrete, or other approved surface material in accordance with Section 47-17.17(J) and other applicable ordinances.
3. City staff approval of a lighting plan, prior to issuance of a general building permit.
4. City staff approval of a final landscape plan, prior to issuance of a general building permit.
5. City staff approval of a Tree Preservation Plan, as described in Article VI, Section 26-128(b) of the City's Code of Ordinances.
6. Should the property be declared a public nuisance, it shall be subject to a rehearing and a possible revocation of the Special Use Permits.
7. That the Special Uses granted shall herein terminate and lapse unless a building permit or certificate of occupancy is obtained not later than 180 days of the effective date of this ordinance and the erection or alteration of a building is started, or the use is commenced within such period. The Board may grant an extension of this period, valid for no more than one hundred and eighty (180) additional days,

upon written application and good cause shown without notice or hearing. Whether or not there is an intention to abandon the Special Uses, if any special use is discontinued for a continuous period of one year, or if an intent to abandon the Special Use is evident in a shorter period of time, the Special Use for such use shall become void, and such use shall not thereafter be reestablished unless a new Special Use Permit is obtained.

ZONING BOARD OF APPEALS
CRITERIA FOR SPECIAL USES

Section 47-5.2 (C) of the Zoning Ordinance states:

A special use permit shall not be granted unless the applicant establishes by clear and convincing evidence:

	Does the evidence presented sustain this criteria?	Comments
(1) That the establishment, maintenance or operation of the special use will not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare; and		
(2) That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood; and		
(3) That the establishment of the special use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district; and		
(4) That adequate utilities, access roads, drainage, and/or other necessary facilities have been or will be provided; and		
(5) That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets; and		
(6) That the special use shall in all other respects conform to the applicable land use regulations of the district in which it is located and shall not be in violation of any other applicable law, ordinance or regulation; and		
(7) At least one (1) year has elapsed since any denial of any prior application for a special use permit that would have authorized substantially the same as all or part of the sites, unless conditions in the area have substantially changed.		

ZONING BOARD OF APPEALS
CRITERIA FOR VARIATIONS

Section 47-19.8 of the Zoning Ordinance states:

A variation shall not be granted in any case unless the Board shall find and clearly state in its record of the case that:

	Does the evidence presented sustain this criteria?	Comments
(1) Reasons sustaining the contention that strict enforcement of the Ordinance would involve practical difficulties or impose exceptional hardship were found as follows: (a) _____ (b) _____ (c) _____ (list of reasons)		
(2) Adequate evidence was submitted to establish practical difficulties or particular hardship so that, in the judgment of the Board, a variation is permitted because the evidence sustained the existence of each of the three following conditions: (a) The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in the particular district or zone. (b) The plight of the owner is due to unique circumstances. (c) The variation, if granted, will not alter the essential character of the locality.		
(3) A public hearing was held on such variation of which at least 15 days and not more than 30 days notice was published in the _____ (name of newspaper) on _____ (date).		

FOR OFFICE USE ONLY

****Verified by Planner (please initial):*_____***

Payment received from:

Petition #: _____

Common Address: _____

Date filed: _____

Meeting date requested: _____

**ZONING BOARD OF APPEALS
JOLIET, ILLINOIS**

PETITION FOR SPECIAL USE PERMIT

City of Joliet Planning Division, 150 W. Jefferson St., First Floor, South Wing, Joliet, IL 60432
Phone (815)724-4050 Fax (815)724-4056

ADDRESS FOR WHICH SPECIAL USE IS REQUESTED: 4200 W Jefferson St., Joliet, IL

PETITIONER'S NAME: Amerco Real Estate Company (AREC)

HOME ADDRESS: _____ ZIP CODE: _____

BUSINESS ADDRESS: 2727 N Central Ave., Ste. 500, Phoenix, AZ ZIP CODE: 85004

PHONE: (Primary) 602-263-6555 Ext. 515304 (Secondary) 602-263-6649

EMAIL ADDRESS: gurnoor_kaur@uhaul.com FAX: _____

PROPERTY INTEREST OF PETITIONER: AREC is under-contract with the Owner, to buy the property, & develop it.

OWNER OF PROPERTY: P M Hospitality, LLC

HOME ADDRESS: _____ ZIP CODE: _____

BUSINESS ADDRESS: c/o Sanghvi Law Group, LLC 29 E Madison St #1201 Chicago, IL ZIP CODE: 60602

EMAIL ADDRESS: rsanghvi@sanghvilaw.com FAX: 312-644-39011

Any use requiring a business license shall concurrently apply for a business license and submit a copy with this petition. Additionally, if this request is for operation of a business, please provide the following information:

BUSINESS REFERENCES (*name, address, phone*):

OTHER PROJECTS AND/OR DEVELOPMENTS:

U-Haul of Montgomery - 1900 Douglas Rd., Montgomery, IL 60538 (City of Montgomery, IL)

U-Haul of Carol Stream - 4N221 84th Ct., Hanover Park, IL 60133 (Du Page County, IL)

U-Haul of Streamwood - 529 E Lake St., Streamwood, IL 60107 (Village of Streamwood, IL)

PERMANENT INDEX NUMBER (TAX NO. OR P. I. N.): _____;
_____; _____; _____.

Property Index Number/P.I.N. can be found on tax bill or Will County Supervisor of Assessments website

LEGAL DESCRIPTION OF PROPERTY (attached copy preferred):

LOT SIZE: WIDTH: _____ DEPTH: _____ AREA : _____

PRESENT USE(S) OF PROPERTY: _____

PRESENT ZONING OF PROPERTY: _____

SPECIAL USE REQUESTED: _____

The Zoning Board of Appeals is authorized to grant a special use permit provided the applicant establishes by clear and convincing evidence:

- (1) That the establishment, maintenance, or operation of the special use will not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare; and
- (2) That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood; and
- (3) That the establishment of the special use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district; and
- (4) That adequate utilities, access roads, drainage, and/or other necessary facilities have been or will be provided; and
- (5) That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets; and
- (6) That the special use shall in all other respects conform to the applicable land use regulations of the district in which it is located and shall not be in violation of any other applicable law, ordinance or regulation; and
- (7) At least one (1) year has elapsed since any denial of any prior application for a special use permit that would have authorized substantially the same as all or part of the sites, unless conditions in the area have substantially changed.

Please describe how this request meets the criteria by responding to the following questions in your own words.

1. How will the establishment, maintenance, or operation of the special use affect the public health, safety, morals, comfort, or general welfare?

2. How will the special use impact properties in the immediate area? _____

3. Will the use impede the normal/orderly development/improvement of surrounding property?

4. Are adequate utilities, access roads, drainage, and/or other necessary facilities provided?

5. Have adequate measures been taken to provide ingress/egress design to minimize traffic congestion in public streets?

6. Does the use conform to the applicable land use regulations of the district in which it is located and does it violate any other applicable law, ordinance or regulation?

7. Has at least one (1) year elapsed since any denial of any prior application for a special use permit that would have authorized substantially the same as all or part of the sites (unless conditions in the area have changed substantially)?

REQUIRED SUPPORTING ATTACHMENTS

- Site plan / concept plan / floor plan / building elevation plan
- Joliet Ownership Disclosure form
- Business license application (if applicable)

NOTARIZATION OF PETITION

STATE OF ILLINOIS) ss
COUNTY OF WILL)

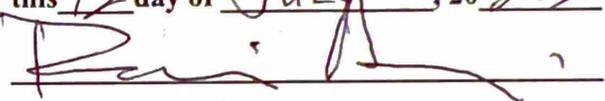
Rick Rottweiler and Angela Farley
I, _____, depose and say that the above statements are true and correct to the best of my knowledge and belief. I agree to be present in person or by representation when this petition is heard before the Zoning Board of Appeals.

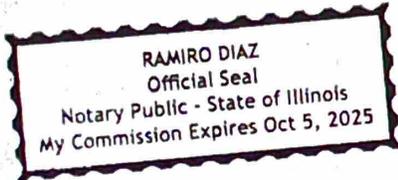


Petitioner's Signature

DocuSigned by:
Pankaj Modi

Owner's Signature
(If other than petitioner)

Subscribed and sworn to before me
this 12 day of JULY, 2023




CITY OF JOLIET OWNERSHIP DISCLOSURE FORM

The City of Joliet requires that applicants for zoning relief, subdivision approval, building permits and business licenses disclose the identity of all persons having an ownership interest in the business and the real property associated with the application. A copy of this form must be completed and submitted with other application materials. Failure to properly complete and submit this form may result in the denial of the application.

I. INFORMATION ABOUT THE APPLICATION

This form is submitted as part of an application for the following (check all that apply):

- Rezoning, Special Use Permit, Variation, or Other Zoning Relief (Complete Sections II and III)
- Preliminary Plat, Final Plat, or Record Plat of Subdivision (Complete Sections II and III)
- Building Permit (Complete Sections II and III)
- Business License (Complete All Sections)

II. INFORMATION ABOUT THE PROPERTY

The address and PIN(s) of the real property associated with this application are:

4200 W Jefferson St., Joliet, IL 60431

PIN(s): 05-06-15-200-010-0000 & 05-06-15-200-011-0000

III. PROPERTY OWNERSHIP

Select the type of owner of the real property associated with this application and fill in the appropriate contact information below:

- Individual:** State the names, addresses, and phone #'s of the individual owner(s)
- Corporation:** State the names, addresses, and phone #'s of all persons holding 3% or more of the stock of the corporation and the percentage of shares held by such stockholders
- Limited Liability Company:** State the names, addresses, and phone #'s of all members of the company along with the percentage of ownership held by each member
- Land Trust:** State the names, addresses, and phone #'s of the trustee(s) and all beneficiaries
- Partnership:** State the names, addresses, and phone #'s of all partners
- Other type of organization:** State the names, addresses, and phone #'s of all persons having a legal or equitable ownership interest in the organization or the right to direct the affairs of the organization

50% Pankaj Modi c/o Sanghvi Law Group, LLC 29 E Madison St #120,

Chicago, IL 60602 312-798-9177

50% Mukesh Desai c/o Sanghvi Law Group, LLC 29 E Madison St #1201

312-798-9177

E-MAIL: rsanghvi@sanghvilaw.com

FAX: (312) 644-3901

IV. BUSINESS OWNERSHIP

If the owner of the business is different than the owner of the real property associated with the application, then the following information must be provided:

Select the type of business owner associated with this application and fill in the contact information below:

- Individual:** State the names, addresses, and phone #'s of the individual owner(s)
- Corporation:** State the names, addresses, and phone #'s of all persons holding 3% or more of the stock of the corporation and the percentage of shares held by such stockholders
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- Partnership:** State the names, addresses, and phone #'s of all partners
- Other type of organization:** State the names, addresses, and phone #'s of all persons having a legal or equitable ownership interest in the organization

E-MAIL: _____ **FAX:** _____

NOTE:

If a stockholder, member, beneficiary or partner disclosed in Section III or Section IV is not an individual, then the individuals holding the legal or equitable title to the real property or business associated with the application must also be disclosed. For example, if the real property associated with an application is owned by a land trust, and the beneficiary of the land trust is a limited liability company, then the members of the limited liability company must be disclosed. If one of the members of the limited liability company is a partnership, then the identity of the partners must be disclosed. If one of the partners is a corporation, then all persons owning 3% or more of the issued stock must be disclosed.

SIGNED: GURNOOR KAUR

DATE: _____

Name, Title, and Telephone Numbers of Person Completing and Submitting This Form:

FOR OFFICE USE ONLY

Verified by Planner (please initial): _____

Payment received from:

Petition #: _____

Common Address: _____

Date filed: _____

Meeting date assigned: _____

ZONING BOARD OF APPEALS

JOLIET, ILLINOIS

PETITION FOR VARIATION/APPEAL

City of Joliet Planning Division, 150 W. Jefferson St., Joliet, IL 60432

Ph (815)724-4050 Fax (815)724-4056

ADDRESS FOR WHICH VARIATION IS REQUESTED: _____

PETITIONER'S NAME: _____

HOME ADDRESS: _____ ZIP CODE: _____

BUSINESS ADDRESS: _____ ZIP CODE: _____

PHONE: (Primary) _____ (Secondary) _____

EMAIL ADDRESS: _____ FAX: _____

PROPERTY INTEREST OF PETITIONER: _____

OWNER OF PROPERTY: _____

HOME ADDRESS: _____ ZIP CODE: _____

BUSINESS ADDRESS: _____ ZIP CODE: _____

EMAIL ADDRESS: _____ FAX: _____

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BUSINESS REFERENCES (*name, address, phone or email*):

OTHER PROJECTS AND/OR DEVELOPMENTS:

PERMANENT INDEX NUMBER (TAX NO. OR P. I. N.): _____;
_____; _____;

Property Index Number/P.I.N. can be found on tax bill or Will County Supervisor of Assessments website

LEGAL DESCRIPTION OF PROPERTY (an attached copy preferred):

LOT SIZE: WIDTH: _____ DEPTH: _____ AREA: _____

PRESENT USE(S) OF PROPERTY: _____

PRESENT ZONING OF PROPERTY: _____

VARIATION/APPEAL REQUESTED: _____

RESPONSE TO VARIATION CRITERIA

The Zoning Board of Appeals is authorized to grant or recommend relief only when it has received adequate evidence to establish a practical difficulty or hardship. The evidence must support each of the following three conditions:

- (a) The property in question cannot yield a reasonable return by use permitted and subject to the conditions allowed by the regulations in the particular district or zone.
- (b) The plight of the owner is due to unique circumstances.
- (c) The variation, if granted, will not alter the essential character of the locality.

Please describe how this request meets the criteria by responding to the following questions in your own words.

1. How do the applicable zoning regulations prevent the property in question from yielding a reasonable return?

2. *What unique circumstances exist which mandate a variance?*

The U-Haul building signage is designed very strategically with its customers in mind. The building signage clearly calls out for the U-Haul customer, the different functional areas that are accessible to the U-Haul customer. In doing so, the U-Haul customers can easily decide and direct their traffic towards and near the relevant section of the building. In addition, the shape of the property, along with the functional flow of the U-Haul uses requires the proposed 2 buildings on the 1 lot.

3. *What impact would the granting of this variance have upon the essential character of the general area? Please include both positive and negative impacts.*

The granting of this variance shall cause no negative impact to the essential character of the general area. In regard to the positive impacts, this development could be used as a potential example by the City for other future commercial developments with respect to achieving a development in with coordination with the City staff, and one that adds value to its surroundings.

REQUIRED SUPPORTING ATTACHMENTS

- Site plan / concept plan / floor plan / building elevation plan
- Joliet Ownership Disclosure form
- Business license application (if applicable)

NOTARIZATION OF PETITION

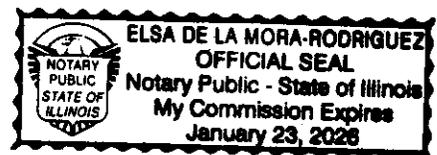
STATE OF ILLINOIS) ss
COUNTY OF WILL)

I, Angela Farley, depose and say that the above statements are true and correct to the best of my knowledge and belief. I agree to be present in person or by representation when this petition is heard before the Zoning Board of Appeals.

Petitioner's Signature

X Pankaj A. Modi
Owner's Signature
(If other than petitioner)
(PANKAJ A. MODI)

Subscribed and sworn to before me
this 18th day of July, 2023
[Signature]



2. *What unique circumstances exist which mandate a variance?*

The U-Haul building signage is designed very strategically with its customers in mind. The building signage clearly calls out for the U-Haul customer, the different functional areas that are accessible to the U-Haul customer. In doing so, the U-Haul customers can easily decide and direct their traffic towards and near the relevant section of the building. In addition, the shape of the property, along with the functional flow of the U-Haul uses requires the proposed 2 buildings on the 1 lot.

3. *What impact would the granting of this variance have upon the essential character of the general area? Please include both positive and negative impacts.*

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NOTARIZATION OF PETITION

STATE OF ILLINOIS) ss
COUNTY OF WILL)

I, Angela Farley, depose and say that the above statements are true and correct to the best of my knowledge and belief. I agree to be present in person or by representation when this petition is heard before the Zoning Board of Appeals.

[Handwritten Signature]
Petitioner's Signature

[Handwritten Signature]
Owner's Signature
(If other than petitioner)

Subscribed and sworn to before me
this 17 day of July, 2023

[Handwritten Signature]



CITY OF JOLIET OWNERSHIP DISCLOSURE FORM

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PIN(s): 05-06-15-200-010-0000 & 05-06-15-200-011-0000

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- Land Trust:** State the names, addresses, and phone #'s of the trustee(s) and all beneficiaries
- Partnership:** State the names, addresses, and phone #'s of all partners
- Other type of organization:** State the names, addresses, and phone #'s of all persons having a legal or equitable ownership interest in the organization or the right to direct the affairs of the organization

50% Pankaj Modi c/o Sanghvi Law Group, LLC 29 E Madison St #120,

Chicago, IL 60602 312-798-9177

50% Mukesh Desai c/o Sanghvi Law Group, LLC 29 E Madison St #1201

312-798-9177

E-MAIL: rsanghvi@sanghvilaw.com

FAX: (312) 644-3901

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- Other type of organization:** State the names, addresses, and phone #'s of all persons having a legal or equitable ownership interest in the organization

E-MAIL: _____ **FAX:** _____

NOTE:

If a stockholder, member, beneficiary or partner disclosed in Section III or Section IV is not an individual, then the individuals holding the legal or equitable title to the real property or business associated with the application must also be disclosed. For example, if the real property associated with an application is owned by a land trust, and the beneficiary of the land trust is a limited liability company, then the members of the limited liability company must be disclosed. If one of the members of the limited liability company is a partnership, then the identity of the partners must be disclosed. If one of the partners is a corporation, then all persons owning 3% or more of the issued stock must be disclosed.

SIGNED: GURNOOR KAUR

DATE: _____

Name, Title, and Telephone Numbers of Person Completing and Submitting This Form:

AMERCO[®]

REAL ESTATE COMPANY

2727 North Central Avenue, 5-N • Phoenix, Arizona 85004
Phone: 602.263.6555

Project Narrative

AMERCO Real Estate Company (AREC) has prepared this SUP (Special Use Permit) and variance application package for the opportunity to receive Joliet City's participation and counseling regarding the proposed development, at the property located at 4200 W Jefferson St., Joliet, IL. AREC is the wholly owned real estate subsidiary of the U-Haul System.

U-Haul is proposing a U-Haul Moving and Storage Facility at the above-mentioned property. The proposed development will consist of the U-Haul uses of self-storage, U-Haul truck and trailer sharing, and related retail sales. This infill development will allow U-Haul to better serve the storage needs of the community and activate a property that is currently vacant and under-utilized. Custom site design for every U-Haul store assures that the facility complements the community it serves. Adherence to community objectives is key to ensuring that each U-Haul store is both a neighborhood asset and an economic success.

The property is currently zoned B-3 (General Business). Through continuous communication with the City staff, it was established that the U-Haul uses of self-storage and U-Haul truck and trailer sharing, both require SUP and additional variances. The U-Haul team in coordination with the Property Owner have also gotten the FEMA LOMA (Letter of Map Amendment) completed, and the new wetlands delineated. Per the revised and reduced wetlands on site, the site plan has been developed. U-Haul has prepared the SUP and variance packet for submittal to get its uses and proposed development permitted at this location.

U-Haul is more of a commercial type of use that serves residential communities within a 3-5-mile radius. U-Haul feels that its uses would be appropriate for the property and there are proven benefits for allowing self-storage facilities in communities:

- Self-storage facilities are quiet.
- They provide an excellent buffer between zones.
- They create very little traffic.
- They have little impact on utilities.
- They have no impact on schools.
- They provide good tax revenue.
- They provide community service.

U-Haul Moving and Storage is a convenience business. The philosophy is to place U-Haul stores in high growth residential areas, where they fill a need for U-Haul's products and services. Customers are made aware of the U-Haul stores primarily via drive-by awareness, much like that of a convenience store, restaurant, or hardware store. Attractive imaging and brand name recognition bring in area residents, those who live within a four-mile radius of the center.

The U-Haul Store:

- U-Haul stores characteristically serve the DIY (do-it-yourself) household customer. The U-Haul Store will be staffed with 10-15 employees, both full-time and part-time.
- Families typically use U-Haul Self-Storage rooms to store furniture, household goods, sporting equipment, or holiday decorations. During transition periods between moves, moving to a smaller home, combining households, or clearing away clutter to prepare a home for sale, storage customers will typically rent a room for a period of two months to one year.

- Families generally arrive in their own automobiles, enter the showroom, and may choose from a variety of products and services offered there.
- Families who need packing supplies in advance of a move or to ship personal packages can choose from a variety of retail sales items, including cartons, tape, and sustainable packing materials. These retail items are available for purchase in the 'Showroom' provided on the 1st floor of the climatized, self-storage building. Please refer to the submitted site plan.
- U-Haul self-storage customers will typically use U-Haul equipment or their personal vehicle to approach the loading area and enter the building through clearly defined customer access. All new U-Haul stores are designed with interior storage room access, giving the customer the added value of increased security, and the community the benefit of a more aesthetically pleasing exterior.
- U-Haul stores also provide truck and trailer sharing for household moving, either in-town or across country. Families who tow U-Haul trailers, boats, or recreational trailers can select, and have installed, the hitch and towing packages that best meet their needs.
- The U-Haul trucks and trailers, to be rented by the customers, will be parked clearly in the area labelled 'U-Haul Equipment Shunting' on the submitted site plan. This area of shunting is only accessible to the U-Haul employee, and they will bring the equipment to the U-Haul customer, who has rented it.

Significant Policies:

- Hours of Operation:

Mon. - Thurs.	7:00 a.m. to 7:00 p.m.
Fri.	7:00 a.m. to 8:00 p.m.
Sat.	7:00 a.m. to 7:00 p.m.
Sun.	9:00 a.m. to 5:00 p.m.
- All U-Haul storage customers are issued a card-swipe style identification card that must be used to gain access to their room. This is but one of many security policies which protect the customer's belongings and decrease the ability of unauthorized access to the facility.
- It is against policy for a business to be operated from a U-Haul storage room.
- Customers and community residents who wish to use the on-site dumpsters for disposing of refuse must gain permission to do so and are assessed an additional fee.
- Items that may not be stored include chemicals, flammables, and paints.
- U-Haul stores are protected by video surveillance.
- U-Haul stores are non-smoking facilities.
- U-Haul will provide added services and assistance to their customers with disabilities.

Additional Security Features:

- "State-of-the-Art" burglar/max alarm system, includes 24 Hour monitoring and interior motion detectors on all storage floors, stairwells, and main showroom.
- Hands free intercom system, able to communicate to all Max Stations throughout all floors of storage, specifically designed for customer use.
- 24 Hour digital, HD video surveillance, with remote & web base viewing.
- Individually alarmed rooms, armed and disarmed by a keypad/card swipe.
- 16+ Color/ HD, day, and night cameras, will display facilities interior, exterior and elevator.
- Multiple, audible sirens for storage and burglar alarms.
- The exclusive U-Haul patented latch contact is used in all storage units.

Traffic Study:

U-Haul stores generate less vehicular traffic volume while still embodying an active-use site. Truck and trailer sharing, and self-storage all represent dynamic transitions from one customer to another. DIY moving customers are presented with opportunities to utilize equipment and storage on a temporary basis, supporting a shared-economy, an effective economic model, and an environmentally-sound way to conduct business.

U-Haul looks forward to working with the City of Joliet, IL as you consider the submitted Special Use Permit and Variance application package.



Federal Emergency Management Agency

Washington, D.C. 20472

LETTER OF MAP REVISION FLOODWAY DETERMINATION DOCUMENT (REMOVAL)

COMMUNITY AND MAP PANEL INFORMATION		LEGAL PROPERTY DESCRIPTION
COMMUNITY	CITY OF JOLIET, WILL COUNTY, ILLINOIS	A portion of Section 15, Township 35 North, Range 9 East, as described in the Trustee's Deed, recorded as Document No. R2019071439, in the Office of County Recorder, Will County, Illinois The portion of property is more particularly described by the following metes and bounds:
	COMMUNITY NO.: 170702	
AFFECTED MAP PANEL	NUMBER: 17197C0143G DATE: 2/15/2019	
FLOODING SOURCE: ROCK RUN SLOUGH		APPROXIMATE LATITUDE & LONGITUDE OF PROPERTY: 41.520805, -88.182792 SOURCE OF LAT & LONG: LOMA LOGIC DATUM: NAD 83

DETERMINATION

LOT	BLOCK/SECTION	SUBDIVISION	STREET	OUTCOME WHAT IS REMOVED FROM THE SFHA	FLOOD ZONE	1% ANNUAL CHANCE FLOOD ELEVATION (NAVD 88)	LOWEST ADJACENT GRADE ELEVATION (NAVD 88)	LOWEST LOT ELEVATION (NAVD 88)
--	--	--	4200 West Jefferson Street	Portion of Property	X (shaded)	--	--	568.5 feet

Special Flood Hazard Area (SFHA) - The SFHA is an area that would be inundated by the flood having a 1-percent chance of being equaled or exceeded in any given year (base flood).

ADDITIONAL CONSIDERATIONS (Please refer to the appropriate section on Attachment 1 for the additional considerations listed below.)

LEGAL PROPERTY DESCRIPTION INADVERTENT INCLUSION FLOODWAY 1 PORTIONS REMAIN IN THE SFHA	STATE LOCAL CONSIDERATIONS
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This document provides the Federal Emergency Management Agency's determination regarding a request for a Letter of Map Revision for the property described above. Using the information submitted and the effective National Flood Insurance Program (NFIP) map, we have determined that the described portion(s) of the property(ies) is/are not located in the NFIP regulatory floodway or the SFHA, an area inundated by the flood having a 1-percent chance of being equaled or exceeded in any given year (base flood). This document revises the effective NFIP map to remove the subject property from the NFIP regulatory floodway and the SFHA located on the effective NFIP map; therefore, the Federal mandatory flood insurance requirement does not apply. However, the lender has the option to continue the flood insurance requirement to protect its financial risk on the loan.

This determination is based on the flood data presently available. The enclosed documents provide additional information regarding this determination. If you have any questions about this document, please contact the FEMA Mapping and Insurance eXchange (FMIX) toll free at (877) 336-2627 (877-FEMA MAP) or by letter addressed to the Federal Emergency Management Agency, LOMC Clearinghouse, 3601 Eisenhower Avenue, Suite 500, Alexandria, VA 22304-6426.


 Patrick "Rick" F. Sacbibit, P.E., Branch Chief
 Engineering Services Branch
 Federal Insurance and Mitigation Administration



Federal Emergency Management Agency

Washington, D.C. 20472

LETTER OF MAP REVISION FLOODWAY DETERMINATION DOCUMENT (REMOVAL)

ATTACHMENT 1 (ADDITIONAL CONSIDERATIONS)

LEGAL PROPERTY DESCRIPTION (CONTINUED)

BEGINNING AT A POINT AT THE INTERSECTION OF THE SOUTH RIGHT OF WAY LINE OF U.S. HIGHWAY ROUTE NO. 52 (AS DEDICATED BY DOCUMENT NO. 920150) AND THE EAST LINE OF WEST 200.00 FEET OF THE SAID EAST HALF OF THE NORTHEAST QUARTER; THENCE NORTH 89 DEGREES 04 MINUTES 30 SECONDS EAST, ON SAID SOUTH RIGHT OF WAY LINE, 377.42 FEET TO THE WESTERLY LIMITS OF THE SPECIAL FLOOD AREA, ZONE AE, AS DELINEATED BY ELEVATION (BASE FLOOD ELEVATION VARIES 573.5 – 568.5 FEET); THENCE THE FOLLOWING TWO COURSES AND DISTANCES ON WESTERLY LIMITS; SOUTH 08 DEGREES 55 MINUTES 18 SECONDS EAST, 21.53 FEET; NORTH 57 DEGREES 40 MINUTES 39 SECONDS EAST, 13.62 FEET, TO THE WEST LINE OF THE PROPERTY DESCRIBED IN DOCUMENT NO. 740254; THENCE SOUTH 01 DEGREE 50 MINUTES 56 SECONDS EAST, ON THE SAID WEST LINE, 125.77 FEET, TO THE SOUTH LINE OF THE PROPERTY DESCRIBED IN DOCUMENT NO. 740254; THENCE NORTH 89 DEGREES 04 MINUTES 30 SECONDS EAST, ON SAID SOUTH LINE, 61.75 FEET, TO THE WESTERLY LIMITS OF THE SPECIAL FLOOD AREA, AS DELINEATED BY ELEVATION (BASE FLOOD ELEVATION VARIES 573.5 - 568.5 FEET); THENCE THE FOLLOWING TEN COURSES AND DISTANCES ON WESTERLY LIMITS; SOUTH 28 DEGREES 05 MINUTES 11 SECONDS, 2.56 FEET; SOUTH 71 DEGREES 34 MINUTES 30 SECONDS WEST, 10.82 FEET; SOUTH 27 DEGREES 14 MINUTES 49 SECONDS WEST, 21.64 FEET; SOUTH 12 DEGREES 14 MINUTES 04 SECONDS EAST, 76.74 FEET; SOUTH 05 DEGREES 19 MINUTES 50 SECONDS WEST, 19.97 FEET; SOUTH 66 DEGREES 14 MINUTES 47 SECONDS WEST, 12.73 FEET; SOUTH 01 DEGREE 31 MINUTES 58 SECONDS EAST, 56.88 FEET; SOUTH 25 DEGREES 46 MINUTES 06 SECONDS WEST, 24.20 FEET; SOUTH 02 DEGREES 28 MINUTES 22 SECONDS EAST, 38.62 FEET; SOUTH 13 DEGREES 46 MINUTES 54 SECONDS WEST, 77.71 FEET, TO THE SOUTH LINE OF NORTH 470 FEET OF THE SAID EAST HALF OF THE NORTH QUARTER; THENCE SOUTH 89 DEGREES 04 MINUTES 30 SECONDS WEST, ON SAID SOUTH LINE, 198.98 FEET, TO THE EAST LINE OF WEST 400 FEET OF THE SAID EAST HALF OF THE NORTH QUARTER; THENCE SOUTH 01 DEGREE 52 MINUTES 31 SECONDS EAST, ON SAID EAST LINE, 200.67 FEET, TO THE NORTHERLY LIMITS OF THE SPECIAL FLOOD AREA, AS DELINEATED BY ELEVATION (BASE FLOOD ELEVATION VARIES 573.5 - 568.5 FEET); THENCE THE FOLLOWING THREE COURSES AND DISTANCES ON SOUTHERLY LIMITS; SOUTH 76 DEGREES 54 MINUTES 39 SECONDS WEST, 36.34 FEET; NORTH 89 DEGREES 11 MINUTES 36 SECONDS WEST, 156.72 FEET; NORTH 52 DEGREES 12 MINUTES 30 SECONDS WEST, 7.55 FEET, TO THE WEST LINE OF EAST 200 FEET OF WEST 400 FEET OF THE SAID EAST HALF OF THE NORTH QUARTER; THENCE NORTH 01 DEGREE 52 MINUTES 31 SECONDS, ON SAID WEST LINE, 198.81 FEET, TO THE SOUTH LINE OF NORTH 470 FEET OF THE SAID EAST HALF OF THE NORTHEAST QUARTER; THENCE SOUTH 89 DEGREES 04 MINUTES 30 SECONDS WEST, ON SAID SOUTH LINE, 83.27 FEET, TO THE NORTHERLY LIMITS OF THE SPECIAL FLOOD AREA, AS DELINEATED BY ELEVATION (BASE FLOOD ELEVATION VARIES 573.5 - 568.5 FEET); THENCE THE FOLLOWING FOUR COURSES AND DISTANCES ON SOUTHERLY LIMITS; NORTH 08 DEGREES 09 MINUTES 00 SECONDS EAST, 5.63 FEET; NORTH 09 DEGREES 39 MINUTES 49 SECONDS WEST, 54.77 FEET; SOUTH 17 DEGREES 49 MINUTES 18 SECONDS WEST, 53.68 FEET; SOUTH 47 DEGREES 56 MINUTES 37 SECONDS WEST, 13.47 FEET, TO THE SOUTH LINE OF NORTH 470 FEET OF THE SAID EAST HALF OF THE NORTHEAST QUARTER; THENCE SOUTH 89 DEGREES 04 MINUTES 30 SECONDS WEST, ON SAID SOUTH LINE, 81.93 FEET, TO WEST LINE OF SAID EAST HALF OF THE NORTHEAST QUARTER; THENCE NORTH 01 DEGREE 52 MINUTES 31 SECONDS WEST, ON SAID WEST LINE, 199.03 FEET, TO THE SOUTH LINE NORTH 271 FEET OF SAID EAST HALF OF THE NORTHEAST QUARTER; THENCE NORTH 89 DEGREES 04 MINUTES 30 SECONDS EAST, ON SAID SOUTH LINE, 200.03 FEET, TO THE EAST LINE OF WEST 200 FEET OF SAID EAST HALF OF THE NORTHEAST QUARTER; THENCE NORTH 01 DEGREE 52 MINUTES 31 SECONDS WEST, ON SAID EAST LINE, 271.04 FEET, TO THE POINT OF BEGINNING

This attachment provides additional information regarding this request. If you have any questions about this attachment, please contact the FEMA Mapping and Insurance eXchange (FMIX) toll free at (877) 336-2627 (877-FEMA MAP) or by letter addressed to the Federal Emergency Management Agency, LOMC Clearinghouse, 3601 Eisenhower Avenue, Suite 500, Alexandria, VA 22304-6426.

Patrick "Rick" F. Sacbibit, P.E., Branch Chief
Engineering Services Branch
Federal Insurance and Mitigation Administration



Federal Emergency Management Agency

Washington, D.C. 20472

LETTER OF MAP REVISION FLOODWAY DETERMINATION DOCUMENT (REMOVAL)

ATTACHMENT 1 (ADDITIONAL CONSIDERATIONS)

INADVERTENT INCLUSION IN THE FLOODWAY 1 (PORTIONS OF THE PROPERTY REMAIN IN THE FLOODWAY) (This Additional Consideration applies to the preceding 1 Property.)

A portion of this property is located within the National Flood Insurance Program (NFIP) regulatory floodway for the flooding source indicated on the Determination Document, while the subject of this determination is not. The NFIP regulatory floodway is the area that must remain unobstructed in order to prevent unacceptable increases in base flood elevations. Therefore, no construction may take place in an NFIP regulatory floodway that may cause an increase in the base flood elevation, and any future construction or substantial improvement on the property remains subject to Federal, State/Commonwealth, and local regulations for floodplain management. The NFIP regulatory floodway is provided to the community as a tool to regulate floodplain development. Therefore, the NFIP regulatory floodway modification described in the Determination Document, while acceptable to the Federal Emergency Management Agency (FEMA), must also be acceptable to the community and adopted by appropriate community action, as specified in Paragraph 60.3(d) of the NFIP regulations. Any proposed revision to the NFIP regulatory floodway must be submitted to FEMA by community officials. The community should contact either the Regional Director (for those communities in Regions I-IV, and VI-X), or the Regional Engineer (for those communities in Region V) for guidance on the data which must be submitted for a revision to the NFIP regulatory floodway. Contact information for each regional office can be obtained by calling the FEMA Mapping and Insurance eXchange toll free at (877) 336-2627 (877-FEMA MAP) or from our web site at <http://www.fema.gov/about/regoff.htm>.

PORTIONS OF THE PROPERTY REMAIN IN THE SFHA (This Additional Consideration applies to the preceding 1 Property.)

Portions of this property, but not the subject of the Determination/Comment document, may remain in the Special Flood Hazard Area. Therefore, any future construction or substantial improvement on the property remains subject to Federal, State/Commonwealth, and local regulations for floodplain management.

STATE AND LOCAL CONSIDERATIONS (This Additional Consideration applies to all properties in the LOMR-FW DETERMINATION DOCUMENT (REMOVAL))

Please note that this document does not override or supersede any State or local procedural or substantive provisions which may apply to floodplain management requirements associated with amendments to State or local floodplain zoning ordinances, maps, or State or local procedures adopted under the National Flood Insurance Program.

This attachment provides additional information regarding this request. If you have any questions about this attachment, please contact the FEMA Mapping and Insurance eXchange (FMIX) toll free at (877) 336-2627 (877-FEMA MAP) or by letter addressed to the Federal Emergency Management Agency, LOMC Clearinghouse, 3601 Eisenhower Avenue, Suite 500, Alexandria, VA 22304-6426.

A handwritten signature in black ink, appearing to read "Rick Sacbbit".

Patrick "Rick" F. Sacbbit, P.E., Branch Chief
Engineering Services Branch
Federal Insurance and Mitigation Administration



Federal Emergency Management Agency

Washington, D.C. 20472

ADDITIONAL INFORMATION REGARDING LETTERS OF MAP AMENDMENT

When making determinations on requests for Letters of Map Amendment (LOMAs), the Department of Homeland Security's Federal Emergency Management Agency (FEMA) bases its determination on the flood hazard information available at the time of the determination. Requesters should be aware that flood conditions may change or new information may be generated that would supersede FEMA's determination. In such cases, the community will be informed by letter.

Requesters also should be aware that removal of a property (parcel of land or structure) from the Special Flood Hazard Area (SFHA) means FEMA has determined the property is not subject to inundation by the flood having a 1-percent chance of being equaled or exceeded in any given year (base flood). This does not mean the property is not subject to other flood hazards. The property could be inundated by a flood with a magnitude greater than the base flood or by localized flooding not shown on the effective National Flood Insurance Program (NFIP) map.

The effect of a LOMA is it removes the Federal requirement for the lender to require flood insurance coverage for the property described. The LOMA *is not* a waiver of the condition that the property owner maintain flood insurance coverage for the property. *Only* the lender can waive the flood insurance purchase requirement because the lender imposed the requirement. *The property owner must request and receive a written waiver from the lender before canceling the policy.* The lender may determine, on its own as a business decision, that it wishes to continue the flood insurance requirement to protect its financial risk on the loan.

The LOMA provides FEMA's comment on the mandatory flood insurance requirements of the NFIP as they apply to a particular property. A LOMA is not a building permit, nor should it be construed as such. Any development, new construction, or substantial improvement of a property impacted by a LOMA must comply with all applicable State and local criteria and other Federal criteria.

If a lender releases a property owner from the flood insurance requirement, and the property owner decides to cancel the policy and seek a refund, the NFIP will refund the premium paid for the current policy year, provided that no claim is pending or has been paid on the policy during the current policy year. The property owner must provide a written waiver of the insurance requirement from the lender to the property insurance agent or company servicing his or her policy. The agent or company will then process the refund request.

Even though structures are not located in an SFHA, as mentioned above, they could be flooded by a flooding event with a greater magnitude than the base flood. In fact, more than 25 percent of all claims paid by the NFIP are for policies for structures located outside the SFHA in Zones B, C, X (shaded), or X (unshaded). More than one-fourth of all policies purchased under the NFIP protect structures located in these zones. The risk to structures located outside SFHAs is just not as great as the risk to structures located in SFHAs. Finally, approximately 90 percent of all federally declared disasters are caused by flooding, and homeowners insurance does not provide financial protection from this flooding. Therefore, FEMA encourages the widest possible coverage under the NFIP.

LOMAs are based on minimum criteria established by the NFIP. State, county, and community officials, based on knowledge of local conditions and in the interest of safety, may set higher standards for construction in the SFHA. If a State, county, or community has adopted more restrictive and comprehensive floodplain management criteria, these criteria take precedence over the minimum Federal criteria.

In accordance with regulations adopted by the community when it made application to join the NFIP, letters issued to amend an NFIP map must be attached to the community's official record copy of the map. That map is available for public inspection at the community's official map repository. Therefore, FEMA sends copies of all such letters to the affected community's official map repository.

When a restudy is undertaken, or when a sufficient number of revisions or amendments occur on particular map panels, FEMA initiates the printing and distribution process for the affected panels. FEMA notifies community officials in writing when affected map panels are being physically revised and distributed. In such cases, FEMA attempts to reflect the results of the LOMA on the new map panel. If the results of particular LOMAs cannot be reflected on the new map panel because of scale limitations, FEMA notifies the community in writing and revalidates the LOMAs in that letter. LOMAs revalidated in this way usually will become effective 1 day after the effective date of the revised map.



**DANIEL WEINBACH
&
PARTNERS, LTD.**

Landscape Architects

1142 W. Madison Street
Suite 206
Chicago, IL 60607

312 427-2888

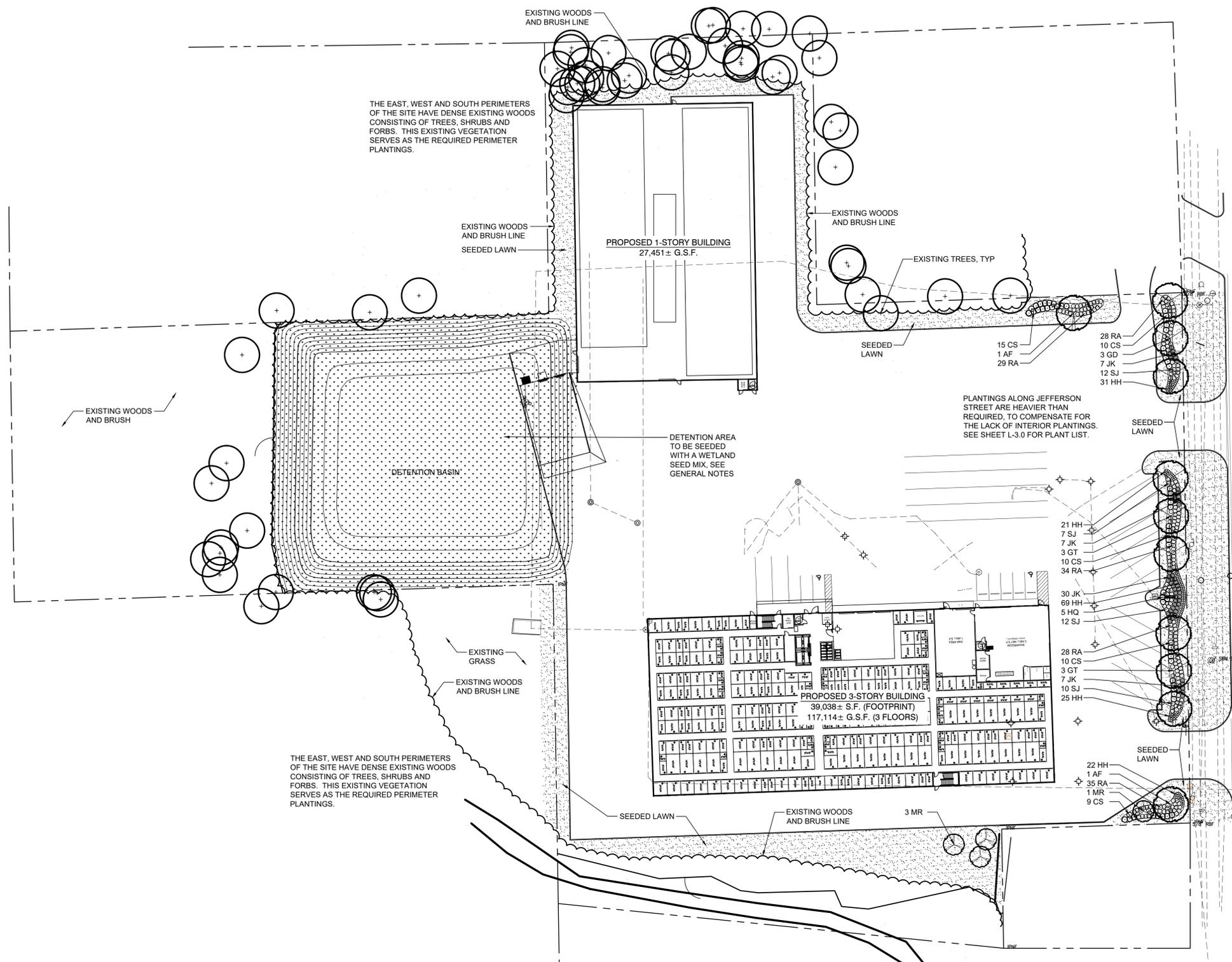


Revisions	
8.	
7.	
6.	
5.	
4.	
3.	
2.	
1.	ISSUED FOR OWNER REVIEW 07/12/23

Project
**U-HAUL
OF
JOLIET**
4200 W JEFFERSON STREET
JOLIET, ILLINOIS

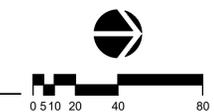
Sheet Title
**LANDSCAPE
PLAN**

Date 07/12/23	Project No. DWP 23-140
Scale 1" = 40'-0"	Sheet No. L-2.0
Drawn By FERGUSON	
Approved	



- LEGEND**
- EXISTING TREE TO REMAIN
 - SHADE TREE
 - ORNAMENTAL TREE
 - SHRUBS
 - PERENNIALS
 - SEEDED LAWN
 - WETLAND SEEDING

1 LANDSCAPE PLAN
SCALE: 1" = 40'-0"



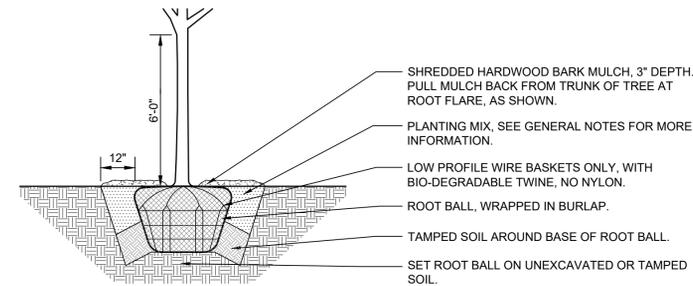
PLANT LIST

CODE	BOTANICAL NAME	COMMON NAME	SIZE	QTY	ADDITIONAL NOTES
DECIDUOUS TREES - SHADE					
AF	ACER x FREEMANII 'JEFFERSRED'	AUTUMN BLAZE MAPLE	2" CALIPER	2	BRANCHED UP 6'
GD	GYMNOCLADUS DIOICA 'ESPRESSO'	ESPRESSO KEN. COFFEETREE	2" CALIPER	3	BRANCHED UP 6'
GT	GLEDITSIA T. VAR. 'INERMIS' 'SKYCOLE'	SKYLINE HONEYLOCUST	2" CALIPER	6	BRANCHED UP 6'
DECIDUOUS TREES - ORNAMENTAL					
MR	MALUS 'JEWELCOLE'	RED JEWEL CRABAPPLE	2" CALIPER	4	
DECIDUOUS SHRUBS					
CS	CORNUS SERICEA 'BERGESON'S COMPACT'	COMPACT RED-TWIG DOGWOOD	#5 CONT	54	
HQ	HYDRANGEA PANICULATA 'BULK'	QUICK FIRE HYDRANGEA	#5 CONT	5	
RA	RHUS AROMATICA 'GRO-LOW'	GRO-LOW SUMAC	#3 CONT	154	
SJ	SPIRAEA JAPONICA 'MAGIC CARPET'	MAGIC CARPET SPIREA	#3 CONT	41	
EVERGREEN SHRUBS					
JK	JUNIPERUS CHINENSIS 'KALLAY COMPACTA'	KALLAYS COMPACT JUNIPER	#3 CONT	51	
PERENNIALS AND ORNAMENTAL GRASSES					
HH	HEMEROCALLIS 'HAPPY RETURNS'	HAPPY RETURNS DAYLILY	#1 CONT	168	SPACED 18" O.C.

GENERAL NOTES

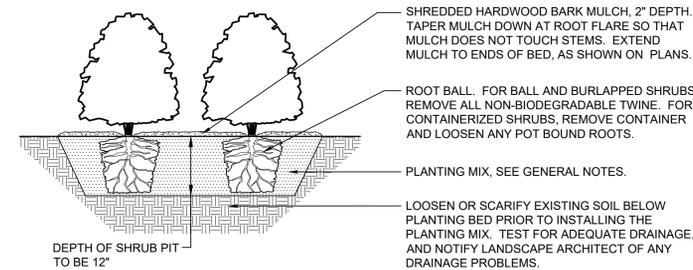
- ALL DIMENSIONS AND SITE CONDITIONS ARE TO BE VERIFIED IN THE FIELD BY THE CONTRACTOR. NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES PRIOR TO STARTING WORK. SITE PLAN, ARCHITECTURE PLAN AND SITE SURVEY WERE PROVIDED BY OTHERS.
- THE CONTRACTOR SHALL HAVE A MINIMUM OF FIVE YEARS EXPERIENCE WITH PROJECTS OF SIMILAR SIZE AND TYPE. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS.
- SPECIES AND SIZES OF PLANTS LISTED IN THE PLANT LIST ARE SUBJECT TO AVAILABILITY AT TIME OF INSTALLATION. IF SUBSTITUTIONS ARE REQUIRED, THE CONTRACTOR SHALL SUBMIT REQUESTS TO THE LANDSCAPE ARCHITECT FOR APPROVAL.
- QUANTITIES SHOWN ON THE DRAWING AND IN THE PLANT LIST ARE PROVIDED ONLY FOR THE CONTRACTOR'S CONVENIENCE. THE CONTRACTOR SHALL VERIFY ALL PLANT QUANTITIES ON THE DRAWINGS AND NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES PRIOR TO INSTALLATION. THE CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL PLANTS PER THE PLANT SYMBOLS SHOWN ON THE DRAWINGS.
- ALL OVERHEAD AND UNDERGROUND UTILITIES ARE TO BE LOCATED PRIOR TO DIGGING OR EXCAVATION. IF UTILITIES OR OTHER OBSTRUCTIONS ARE DISCOVERED TO CONFLICT WITH GRADING, PLANT OR MATERIALS PLACEMENT, NOTIFY THE LANDSCAPE ARCHITECT SO THAT ADJUSTMENTS MAY BE MADE PRIOR TO PROCEEDING.
- CONTRACTOR SHALL TAKE ALL PRECAUTIONS TO PROTECT EXISTING PLANTS, LAWN AREA, FENCES, SITE FEATURES AND PAVING TO REMAIN. ANY DAMAGE TO THESE EXISTING AREAS OR FEATURES SHALL BE REPLACED BY THE CONTRACTOR AT THEIR EXPENSE. DAMAGED LAWN AREAS SHALL BE TILLED, RE-GRADED, TOPSOIL ADDED AS NEEDED AND BE RESTORED WITH SOD.
- PROVIDE POSITIVE DRAINAGE AT ALL TIMES. DO NOT OBSTRUCT THE NATURAL OR ENGINEERED DRAINAGE FLOW PATTERN. NOTIFY THE LANDSCAPE ARCHITECT OF ANY DRAINAGE CONCERNS.
- IMPORTED TOPSOIL FOR THIS PROJECT SHALL BE FRIABLE LOAM OR SANDY LOAM, COMPRISED OF BETWEEN 20% AND 50% SILT, 10% AND 25% CLAY, AND 30% AND 60% SAND. THE pH LEVEL SHALL BE BETWEEN 6.0 AND 7.2 AND THE ORGANIC MATTER CONTENT SHALL BE BETWEEN 3% AND 6%. TOPSOIL SHALL BE FREE OF SEEDS, STONES, LARGE CLUMPS, ROOTS, LEAVES AND DEBRIS, AND SHALL NOT BE DELIVERED WHILE IN A FROZEN OR MUDDY CONDITION. CONTRACTOR SHALL PROVIDE A RECENT SOIL TEST ANALYSIS FOR ALL SOIL TO BE USED. THE ANALYSIS MUST INCLUDE THE INFORMATION REQUIRED ABOVE. IF TESTED TOPSOIL REQUIRES AMENDMENTS TO COMPLY WITH REQUIREMENTS, CONTRACTOR SHALL AMEND THE TOPSOIL, RE-TEST AND RESUBMIT THE ANALYSIS FOR APPROVAL PRIOR TO BRINGING THE TOPSOIL ON SITE.
- EXISTING TOPSOIL FROM ON SITE THAT HAS BEEN STOCKPILED MAY BE USED IF IT MEETS THE REQUIREMENTS FOR IMPORTED TOPSOIL. THIS INCLUDES CONDUCTING SOIL TEST ANALYSIS AND ADDING AMENDMENTS AS NEEDED SO THAT THE SOIL COMPLIES WITH THE REQUIREMENTS.
- LAWN SEED SHALL BE A TALL FESCUE BLEND, SUCH AS GREENSKEEPER DROUGHT BEATER MIXTURE FROM CONSERV FS SEED, OR APPROVED EQUAL. INSTALL SEED AT A RATE OF 10 POUNDS PER 1,000 SF. SEEDING SHALL BE INSTALLED BETWEEN MAY 1 AND JUNE 15, OR AUGUST 15 TO OCTOBER 15.
- WETLAND DETENTION SEEDING SHALL BE 'SWALE' SEED MIX AVAILABLE FROM STANTEC NATIVE PLANT NURSERY. INCLUDE PERMANENT GRASSES, FORBS AND TEMPORARY COVER CROP. INSTALL SEED USING METHODS AND RATE SPECIFIED BY STANTEC NURSERY. COVER SEEDED AREA WITH AN APPROVED EROSION CONTROL BLANKET.
- ALL PLANT MATERIAL MUST BE SPECIMEN QUALITY, TRUE TO SPECIES AND VARIETY, WITH FULL, DENSE AND HEALTHY FORMS. PLANTS THAT ARE NOT SPECIMEN QUALITY WILL NOT BE ACCEPTED. ALL PLANTS MUST HAVE BEEN LOCALLY GROWN AT A STATE INSPECTED AND CERTIFIED NURSERY, LOCATED WITHIN 50 MILES OF THE PROJECT SITE. PROVIDE STATE CERTIFICATION FOR EACH NURSERY USED.
- ALL TREES ARE TO HAVE FRESHLY DUG, BALLED AND BURLAPPED ROOT BALLS WITH SIZES THAT MEET THE STANDARDS OF THE AMERICAN NURSERYMEN'S ASSOCIATION. DECIDUOUS AND EVERGREEN SHRUBS MAY EITHER HAVE FRESHLY DUG, BALLED AND BURLAPPED ROOT BALLS OR MAY BE CONTAINER GROWN. ALL PERENNIALS, ORNAMENTAL GRASSES AND GROUNDCOVERS MUST BE CONTAINER GROWN. CONTAINER GROWN MATERIALS SHALL HAVE BEEN GROWN IN THEIR CURRENT CONTAINER FOR A PERIOD OF NO LESS THAN SIX MONTHS.
- ALL TREES SHALL BE INSPECTED BY THE LANDSCAPE ARCHITECT, AT THE NURSERY, PRIOR TO DIGGING. TREES THAT ARE ACCEPTABLE WILL BE SEALED. ALL SEALS APPLIED BY THE LANDSCAPE ARCHITECT MUST REMAIN ON THE TREES AND ARE NOT TO BE REMOVED BY THE CONTRACTOR. ALL TREES MUST HAVE SEALS IN PLACE AT TIME OF ACCEPTANCE OR WILL BE AUTOMATICALLY REJECTED. HEELED-IN TREES WILL NOT BE ACCEPTED WITHOUT PRIOR APPROVAL FROM THE LANDSCAPE ARCHITECT.
- TREES SPECIES SUCH AS BETULA, CELTIS, CERCIS, CRATAEGUS, FAGUS, LIRIODENDRON, PLATANUS, POPULUS, PRUNUS, PYRUS, QUERCUS AND TAXODIUM ARE CONSIDERED 'SPRING DIG ONLY' TREES. THE CONTRACTOR MUST HAVE THESE TREES ORDERED, ACCEPTED AND DUG IN EARLY SPRING, FOR SUMMER AND FALL LANDSCAPE INSTALLATIONS.
- ALL SHRUBS 36" HEIGHT OR TALLER ARE TO BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. AN EXAMPLE SHRUB MAY BE TAGGED OR PICTURES MAY BE SUBMITTED FOR APPROVAL. ALL SHRUBS THAT DO NOT MATCH THE APPROVED EXAMPLE SHRUB IN SIZE AND FORM, WILL BE REJECTED. ALL OTHER SHRUBS MUST MEET THE MINIMUM SIZES GIVEN IN THE PLANT LIST AND BE SPECIMEN QUALITY. SHRUBS THAT DO NOT MEET THESE GUIDELINES WILL BE REJECTED.
- PLANT MATERIAL SHALL ONLY BE INSTALLED WITHIN THE FOLLOWING DATES:
 DECIDUOUS TREES AND SHRUBS: APR 1 THROUGH NOV 15
 SPRING DIG DECIDUOUS TREES: APR 1 THROUGH OCT 15
 EVERGREEN TREES AND SHRUBS: APR 1 THROUGH NOV 1
 PERENNIALS AND GROUNDCOVERS: MAY 1 THROUGH OCT 15.
- THE LOCATION FOR ALL TREES AND SHRUBS ON SITE ARE TO BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. CONTRACTOR SHALL REQUEST LANDSCAPE ARCHITECT TO BE ON SITE AT LEAST THREE DAYS PRIOR TO INSTALLATION.
- TEST TREE PITS AND PLANT BEDS FOR ADEQUATE DRAINAGE. FILL PLANT PIT WITH 12" OF WATER. IF WATER LEVEL DOES NOT DROP A MINIMUM OF ONE INCH PER HOUR, NOTIFY THE LANDSCAPE ARCHITECT OF DRAINAGE ISSUES.
- PLANTING MIX FOR ALL PLANTINGS SHALL BE A BLEND OF 90% APPROVED TOPSOIL AND 10% SOIL AMENDMENT. ACCEPTABLE AMENDMENTS INCLUDE ONE STEP SOIL CONDITIONER OR PM35 PLANTER MIX FROM MIDWEST TRADING, OR APPROVED EQUAL. BLENDING OF PLANTING MIX COMPONENTS SHALL BE COMPLETED OUTSIDE OF THE PLANTING PITS, PRIOR TO PLANTING.
- ALL PLANT BEDS ARE TO BE WELL SHAPED 'SPADE CUT' EDGES, 3" DEPTH, IN LINES OR IN CURVES AS SHOWN ON THE DRAWINGS.
- ALL PLANT MATERIAL, INCLUDING SEED OR SOD, SHALL BE MAINTAINED BY THE CONTRACTOR UNTIL 'ACCEPTANCE' IS GRANTED. MAINTENANCE SHALL INCLUDE, WATERING, WEEDING, PRUNING, STRAIGHTENING, SPRAYING, MULCH REPLACEMENT AND MOWING.
- THE CONTRACTOR SHALL REQUEST AN INSPECTION OF LANDSCAPE PLANTING UPON SUBSTANTIAL COMPLETION FOR "ACCEPTANCE". REQUEST MUST BE SUBMITTED TO LANDSCAPE ARCHITECT AT LEAST TEN DAYS PRIOR TO ANTICIPATED INSPECTION. UPON INSPECTION THE LANDSCAPE ARCHITECT SHALL PREPARE A PUNCH LIST OF UNACCEPTABLE OR OUTSTANDING ITEMS. AFTER THE ITEMS HAVE BEEN SATISFACTORILY COMPLETED AND REVIEWED, THE LANDSCAPE ARCHITECT WILL RECOMMEND "ACCEPTANCE". SOD AND SEED SHALL BE REVIEWED FOR ACCEPTANCE, ONLY AFTER THEY HAVE FULLY ROOTED AND HAVE BEEN MOWED AT LEAST TWICE.
- ALL PLANT MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM DATE OF "ACCEPTANCE". AT OR NEAR THE END OF THE GUARANTEE PERIOD, THE CONTRACTOR SHALL REQUEST AN INSPECTION OF LANDSCAPE PLANTING FOR "FINAL ACCEPTANCE". REQUEST MUST BE SUBMITTED TO LANDSCAPE ARCHITECT AT LEAST TEN DAYS PRIOR TO ANTICIPATED INSPECTION. UPON INSPECTION THE LANDSCAPE ARCHITECT SHALL PREPARE A PUNCH LIST OF UNACCEPTABLE ITEMS. AFTER THE ITEMS HAVE BEEN SATISFACTORILY REPLACED OR REPAIRED, REVIEWED AND APPROVED, THE LANDSCAPE ARCHITECT WILL RECOMMEND "FINAL ACCEPTANCE".

LOCATE ALL UNDERGROUND UTILITIES PRIOR TO DIGGING. TREE PIT WIDTH TO BE EXTENDED 12" AROUND THE ENTIRE ROOT BALL AS SHOWN IN THE DETAIL BELOW. TEST TREE PIT FOR DRAINAGE PRIOR TO INSTALLING TREE. PRUNE OFF ALL DEAD, BROKEN OR SCARRED BRANCHES, AND SHAPE PRUNE AS DIRECTED BY THE LANDSCAPE ARCHITECT. FOR TREES UP TO 4" CALIPER OR 12' HEIGHT, REMOVE APPROXIMATELY 5% OF THE OVERALL BRANCHING. LOCATE ROOT FLARE IN ROOT BALL AND SET TREE HEIGHT SO THAT ROOT FLARE IS FLUSH WITH FINISH GRADE. WATER IN THE PLANTING MIX THOROUGHLY, WHILE KEEPING THE TREE PLUMB. STRAIGHTEN TREE IF SETTLING OCCURS. UN-TIE AND REMOVE TWINE FROM AROUND ROOT FLARE.



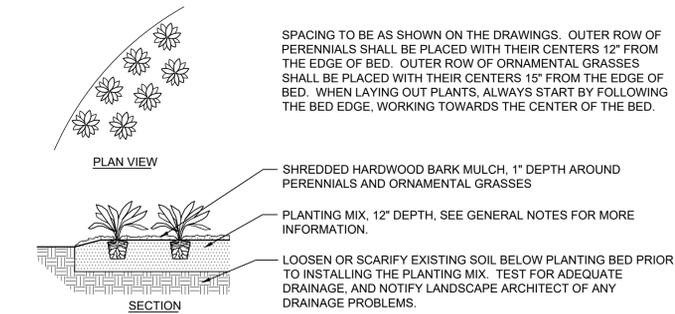
1 DECIDUOUS TREE PLANTING DETAIL
NOT TO SCALE

LOCATE ALL UNDERGROUND UTILITIES PRIOR TO PLANTING. SHRUBS BEDS ARE TO BE EXCAVATED AS A SINGLE SHRUB PIT. EXTEND SHRUB PIT WIDTH TO EDGES OF PLANT BED AS SHOWN ON THE LANDSCAPE PLAN. LOCATE ROOT FLARE IN ROOT BALL AND SET SHRUB HEIGHT SO THAT ROOT FLARE IS FLUSH WITH FINISH GRADE. REMOVE TWINE FROM ROOT FLARE. BACKFILL AND WATER IN THE PLANTING MIX THOROUGHLY, WHILE KEEPING THE SHRUB PLUMB. STRAIGHTEN SHRUB IF SETTLING OCCURS. PRUNE OFF ALL DEAD, BROKEN OR SCARRED BRANCHES, AND SHAPE PRUNE AS DIRECTED BY THE LANDSCAPE ARCHITECT. MULCH LIMITS FOR SHRUBS SHALL EXTEND TO ALL OUTER EDGES OF PLANTING BEDS. SEE LANDSCAPE PLAN FOR BED LAYOUTS.



2 SHRUB PLANTING DETAIL
NOT TO SCALE

LOCATE ALL UNDERGROUND UTILITIES PRIOR TO DIGGING. EXCAVATE ENTIRE PLANT BED, AND BACKFILL WITH PLANTING MIX AS SPECIFIED. BED HEIGHT IS TO BE 1" ABOVE FINISH GRADE AND WELL DRAINED. MULCH LIMITS FOR PLANT BEDS TO EXTEND TO ALL EDGES OF THE BEDS, SEE PLANS FOR BED LAYOUTS. SEE PLANT LIST FOR PLANT SPACING. GAPS BETWEEN PLANTS SHALL BE NO GREATER THAN THE SPECIFIED SPACING FOR THAT PARTICULAR PLANT.

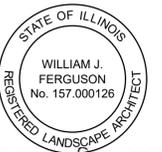


3 PERENNIAL PLANTING DETAIL
NOT TO SCALE



DANIEL WEINBACH & PARTNERS, LTD.
Landscape Architects

1142 W. Madison Street
Suite 206
Chicago, IL 60607
312 427-2888



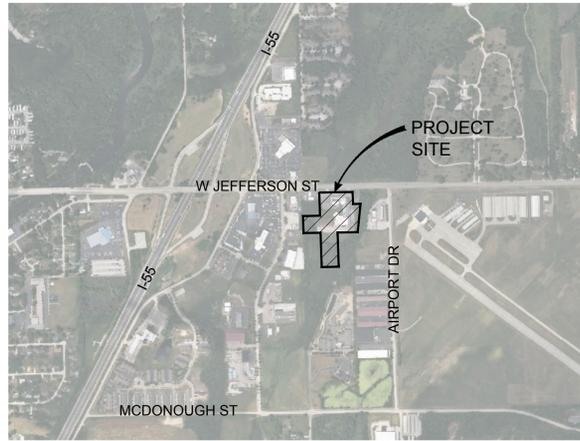
William J. Ferguson

Revisions
8.
7.
6.
5.
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2.
1. ISSUED FOR OWNER REVIEW 07/12/23

Project
U-HAUL OF JOLIET
4200 W JEFFERSON STREET
JOLIET, ILLINOIS

Sheet Title
LANDSCAPE NOTES AND DETAILS

Date 07/12/23	Project No. DWP 23-140
Scale NONE	Sheet No. L-3.0
Drawn By FERGUSON	
Approved	



LOCATION MAP



EXISTING

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LEGEND

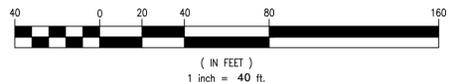
- FLARED END SECTION
- STORM MANHOLE
- STORM INLET
- CATCH BASIN
- FIRE HYDRANT
- VALVE AND VAULT
- VALVE BOX
- B BOX
- SANITARY MANHOLE
- STREET LIGHT
- TREE
- STORM SEWER
- WATERMAIN
- SANITARY SEWER
- CONTOUR
- SILT FENCE
- ALUMINUM FENCE
- WOOD FENCE
- OVERLAND FLOOD ROUTE

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ABBREVIATIONS

- T/F - TOP OF FOUNDATION
- F/F - FINISHED FLOOR ELEVATION



- NOTES:**
- EXISTING TREE LOCATION, SPECIES, SIZE AND QUALITY INFORMATION COMPLETED BY BOLLINGER ENVIRONMENTAL, INC. PER FIELD WORK COMPLETED ON JUNE 26, 2023.
 - EXISTING SITE TOPOGRAPHY COMPLETED BY DLZ INDUSTRIAL SURVEYING PER FIELD WORK COMPLETED ON JUNE 28, 2023.

Civil Engineering & Land Development Consulting
 26316 Mapleview Drive
 Plainfield, IL 60585
 815.577.1707 T 815.577.2895 F
 www.cookengr.com

COOK ENGINEERING GROUP

#	DATE	REVISION DESCRIPTION
1		
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TREE LOCATION SURVEY
 U-HAUL OF JOLIET
 4200 W JEFFERSON STREET
 JOLIET, IL

PREPARED FOR
 AMERCO REAL ESTATE CO
 2727 NORTH CENTRAL AVENUE
 PHOENIX, AZ 85004
 602.263.6502 (P)

MR. RICK ROTWEILER

CEG JOB NUMBER
 2023-101

SCALE: 1"=40'

DRAWN BY: CNW

CHECKED BY: MDC

DATE: 07/05/2023

SHEET: 1 of 2

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TAG NUMBER	COMMON NAME	SCIENTIFIC NAME	DBH	CONDITION	FORM	COMMENTS	TAG NUMBER	COMMON NAME	SCIENTIFIC NAME	DBH	CONDITION	FORM	COMMENTS
3837	White Mulberry	Morus alba	12	3	3		3922	White Mulberry	Morus alba	6	3	3	
3838	White Mulberry	Morus alba	9, 6, 6	3	3		3923	White Mulberry	Morus alba	9	3	3	
3839	Slippery Elm	Ulmus rubra	9	3	3		3924	Common Hackberry	Celtis occidentalis	19	2	2	
3840	Crab Apple	Malus sp.	7	4	5	lean	3925	Boxelder Maple	Acer negundo	12	3	3	
3841	White Mulberry	Morus alba	18	4	4		3926	Eastern Cottonwood	Populus deltoides	47	5	5	dead
3842	Eastern Cottonwood	Populus deltoides	28	5	3		3927	Unknown	Unknown	7	5	5	dead
3843	Silver Maple	Acer saccharinum	15, 15, 10	2	3		3928	White Mulberry	Morus alba	6	3	3	
3844	Black Willow	Salix nigra	14, 14	5	5	dead, topped	3929	White Mulberry	Morus alba	10	3	3	
3845	Eastern Cottonwood	Populus deltoides	22	2	2		3930	White Mulberry	Morus alba	8	3	3	
3846	White Mulberry	Morus alba	7	3	3		3931	Silver Maple	Acer saccharinum	7, 7	3	3	
3847	Eastern Cottonwood	Populus deltoides	6	3	3		3932	Slippery Elm	Ulmus rubra	15	3	3	
3848	Green Ash	Fraxinus pennsylvanica	6	5	5	dead, Emerald Ash Borer (EAB)	3933	Eastern Cottonwood	Populus deltoides	32	3	3	
3849	Green Ash	Fraxinus pennsylvanica	6	5	5	dead, Emerald Ash Borer (EAB)	3934	Siberian Elm	Ulmus pumila	10	3	3	
3850	White Mulberry	Morus alba	6	5	5		3935	Eastern Cottonwood	Populus deltoides	18, 18	3	3	
3851	Crab Apple	Malus sp.	7	4	5	lean	3936	American Elm	Ulmus americana	10	2	2	
3852	Crab Apple	Malus sp.	11	3	3		3937	Eastern Red Cedar	Juniperus virginiana	8	5	5	dead
3853	Crab Apple	Malus sp.	7	3	4	lean	3938	Slippery Elm	Ulmus rubra	12	3	3	
3854	Green Ash	Fraxinus pennsylvanica	11	5	5	dead, EAB	3939	White Mulberry	Morus alba	6	3	3	
3855	Green Ash	Fraxinus pennsylvanica	13, 13	5	5	dead, EAB	3940	White Mulberry	Morus alba	7, 7	3	3	
3856	Silver Maple	Acer saccharinum	27, 27, 22	3	3		3941	Eastern Cottonwood	Populus deltoides	6	3	3	
3857	White Mulberry	Morus alba	8	3	3		3942	Eastern Cottonwood	Populus deltoides	8	3	3	
3858	White Mulberry	Morus alba	6	3	3		3943	American Elm	Ulmus americana	9	3	3	
3859	White Mulberry	Morus alba	11, 10	3	3		3944	American Elm	Ulmus americana	7	3	3	
3860	Boxelder Maple	Acer negundo	9	4	4		3945	Common Hackberry	Celtis occidentalis	16	3	3	
3861	White Mulberry	Morus alba	18	2	2		3946	White Mulberry	Morus alba	6	3	3	
3862	White Mulberry	Morus alba	9	3	3		3947	Eastern Cottonwood	Populus deltoides	7	3	3	
3863	Unknown	Unknown	6	5	5	dead	3948	Eastern Cottonwood	Populus deltoides	6	3	3	
3864	Boxelder Maple	Acer negundo	6	4	5	lean, cut for wires	3949	Eastern Cottonwood	Populus deltoides	6, 6	3	3	
3865	White Mulberry	Morus alba	7	3	3		3950	White Mulberry	Morus alba	6	3	3	
3866	White Mulberry	Morus alba	7	3	3		3951	Eastern Cottonwood	Populus deltoides	7	3	3	
3867	Boxelder Maple	Acer negundo	6	4	5	lean, cut for wires	3952	Eastern Cottonwood	Populus deltoides	7	3	3	
3868	White Mulberry	Morus alba	11	3	3		3953	Eastern Cottonwood	Populus deltoides	12	3	3	
3869	Silver Maple	Acer saccharinum	24	3	3		3954	Eastern Cottonwood	Populus deltoides	8	3	3	
3870	White Mulberry	Morus alba	10	3	3		3955	Eastern Cottonwood	Populus deltoides	9	3	3	
3871	White Mulberry	Morus alba	7, 7	3	3		3956	Eastern Cottonwood	Populus deltoides	10	3	3	
3872	Siberian Elm	Ulmus pumila	7	4	4	cut for wires	3957	Eastern Cottonwood	Populus deltoides	6	3	3	
3873	Siberian Elm	Ulmus pumila	13	3	3		3958	Eastern Cottonwood	Populus deltoides	11	3	3	
3874	White Mulberry	Morus alba	6	3	3		3959	Eastern Cottonwood	Populus deltoides	12	3	3	
3875	White Mulberry	Morus alba	10	3	3		3960	Eastern Cottonwood	Populus deltoides	9	3	3	
3876	White Mulberry	Morus alba	8	3	3		3961	White Mulberry	Morus alba	6	3	3	
3877	Siberian Elm	Ulmus pumila	7	4	4	cut for wires	3962	Eastern Cottonwood	Populus deltoides	7	3	3	
3878	Siberian Elm	Ulmus pumila	7	3	4	cut for wires	3963	Eastern Cottonwood	Populus deltoides	6	3	3	
3879	White Mulberry	Morus alba	6	4	4	cut for wires	3964	White Mulberry	Morus alba	7	3	3	
3880	Eastern Cottonwood	Populus deltoides	46, 46	3	3		3965	Eastern Cottonwood	Populus deltoides	7	3	3	
3881	Common Hackberry	Celtis occidentalis	6	4	4		3966	Eastern Cottonwood	Populus deltoides	6	3	3	
3882	Black Cherry	Prunus serotina	8	3	3		3967	Eastern Cottonwood	Populus deltoides	11	3	3	
3883	Tree of Heaven	Ailanthus altissima	6	3	3		3968	Eastern Cottonwood	Populus deltoides	6	3	3	
3884	White Mulberry	Morus alba	6	3	3		3969	Eastern Cottonwood	Populus deltoides	6	3	3	
3885	Eastern Cottonwood	Populus deltoides	8	3	3		3970	White Mulberry	Morus alba	6	3	3	
3886	Eastern Cottonwood	Populus deltoides	10	3	3		3971	White Mulberry	Morus alba	6	3	3	
3887	White Mulberry	Morus alba	6	3	4	cut for wires	3972	White Mulberry	Morus alba	9, 7	3	3	
3888	White Mulberry	Morus alba	6	3	5	cut for wires	3973	White Mulberry	Morus alba	18	3	3	
3889	White Mulberry	Morus alba	7	3	4	cut for wires	3974	White Mulberry	Morus alba	7	3	3	
3890	Black Cherry	Prunus serotina	7, 6	3	5	cut for wires	3975	White Mulberry	Morus alba	9	3	3	
3891	Eastern Cottonwood	Populus deltoides	13	3	3		3976	Eastern Cottonwood	Populus deltoides	11	3	3	
3892	Eastern Cottonwood	Populus deltoides	14	3	3		3977	Eastern Cottonwood	Populus deltoides	8	3	3	
3893	Eastern Cottonwood	Populus deltoides	12	3	3		3978	Eastern Cottonwood	Populus deltoides	7	3	3	
3894	Eastern Cottonwood	Populus deltoides	7	3	3		3979	Eastern Cottonwood	Populus deltoides	6	3	3	
3895	Eastern Cottonwood	Populus deltoides	8	3	3		3980	Eastern Cottonwood	Populus deltoides	6	3	3	
3896	White Mulberry	Morus alba	6	3	3		3981	White Mulberry	Morus alba	6	3	3	
3897	Eastern Cottonwood	Populus deltoides	18, 18, 18	3	3		3982	Eastern Cottonwood	Populus deltoides	6	3	3	
3898	Crab Apple	Malus sp.	7	3	4	lean	3983	Eastern Cottonwood	Populus deltoides	11	3	3	
3899	Slippery Elm	Ulmus rubra	20	2	3		3984	Eastern Cottonwood	Populus deltoides	7	3	3	
3900	White Mulberry	Morus alba	8	3	3		3985	Eastern Cottonwood	Populus deltoides	7	3	3	
3901	White Mulberry	Morus alba	6, 6	3	3		3986	Eastern Cottonwood	Populus deltoides	6	3	3	
3902	White Mulberry	Morus alba	7	3	3		3987	Eastern Cottonwood	Populus deltoides	9	2	2	
3903	Siberian Elm	Ulmus pumila	9, 6	3	3		3988	Northern Catalpa	Catalpa speciosa	6	2	4	lean
3904	White Mulberry	Morus alba	6	3	4	lean	3989	White Mulberry	Morus alba	18, 18	3	3	
3905	White Mulberry	Morus alba	7, 7, 6, 6, 6	3	3		3990	Green Ash	Fraxinus pennsylvanica	15	5	5	dead, topped, EAB
3906	White Mulberry	Morus alba	6	3	3		3991	White Mulberry	Morus alba	6	3	3	
3907	White Mulberry	Morus alba	6	3	3		3992	White Mulberry	Morus alba	6	3	3	
3908	White Mulberry	Morus alba	6	3	3		3993	White Mulberry	Morus alba	6	3	3	
3909	Eastern Cottonwood	Populus deltoides	8	3	3		3994	Black Willow	Salix nigra	7, 6	2	3	
3910	Eastern Cottonwood	Populus deltoides	13	3	3		3995	Boxelder Maple	Acer negundo	6	5	5	dead
3911	White Mulberry	Morus alba	6	3	3		3996	Green Ash	Fraxinus pennsylvanica	6, 6	5	5	dead, EAB
3912	Eastern Cottonwood	Populus deltoides	10	3	3		3997	White Mulberry	Morus alba	11	3	3	
3913	White Mulberry	Morus alba	6	3	3		3998	White Mulberry	Morus alba	9	3	3	
3914	Eastern Cottonwood	Populus deltoides	10	3	3		3999	White Mulberry	Morus alba	14	3	3	2 leaders
3915	White Mulberry	Morus alba	7	3	3		4000	White Mulberry	Morus alba	9	3	3	
3916	White Mulberry	Morus alba	11	3	3		441	Eastern Cottonwood	Populus deltoides	24, 24	3	3	
3917	White Mulberry	Morus alba	6	3	3		442	Black Willow	Salix nigra	6, 6	3	3	2 stems from dead fallen tree
3918	Eastern Cottonwood	Populus deltoides	8	3	3		443	Green Ash	Fraxinus pennsylvanica	6	5	5	dead, EAB
3919	Eastern Cottonwood	Populus deltoides	9	3	3		444	White Mulberry	Morus alba	14	3	3	
3920	White Mulberry	Morus alba	6	3	3								
3921	White Mulberry	Morus alba	6	3	3								
							168	= Total # of trees identified					



Civil Engineering & Land Development Consulting
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 815.577.1707 T 815.577.2995 F
 www.cookengr.com

#	DATE	REVISION DESCRIPTION
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TREE LOCATION SURVEY
 U-HAUL OF JOLIET
 4200 W JEFFERSON STREET
 JOLIET, IL

PREPARED FOR
 AMERCO REAL ESTATE CO
 2727 NORTH CENTRAL AVENUE
 PHOENIX, AZ 85004
 602.263.6502 (P)

MR. RICK ROTWEILER

CEG JOB NUMBER
 2023-101

SCALE: NTS

DRAWN BY: CNW

CHECKED BY: MDC

DATE: 07/05/2023

SHEET: 2 of 2

NO.	DATE	INITIALS	NOTES
1	12/27/23	BLC	REVISE U-BOX NUMBERS
2	01/25/23	BLC	REVISE AUTO-TURN
3	05/18/23	AS	NEW OPTION
4	05/26/23	AS	NEW UBOX OPTION
5	06/09/23	AS	REVISIONS
6	06/14/23	REB/BC	REV. SITE PLAN, FLR. PLNS.
7			
8			

PROFESSIONAL SEAL:
 PRELIMINARY DOCUMENTS,
 NOT FOR CONSTRUCTION,
 FOR INFORMATION ONLY

ARCHITECT LOGO:

AMERCO
 REAL ESTATE COMPANY

CONSTRUCTION DEPARTMENT
 2727 NORTH CENTRAL AVENUE
 PHOENIX, ARIZONA 85004
 P: (602) 263-6502

SITE ADDRESS:
 U-HAUL OF JOLIET
 4200 W JEFFERSON ST
 JOLIET, IL 60431

SHEET CONTENTS:

PROPOSED
 SITE PLAN

856070

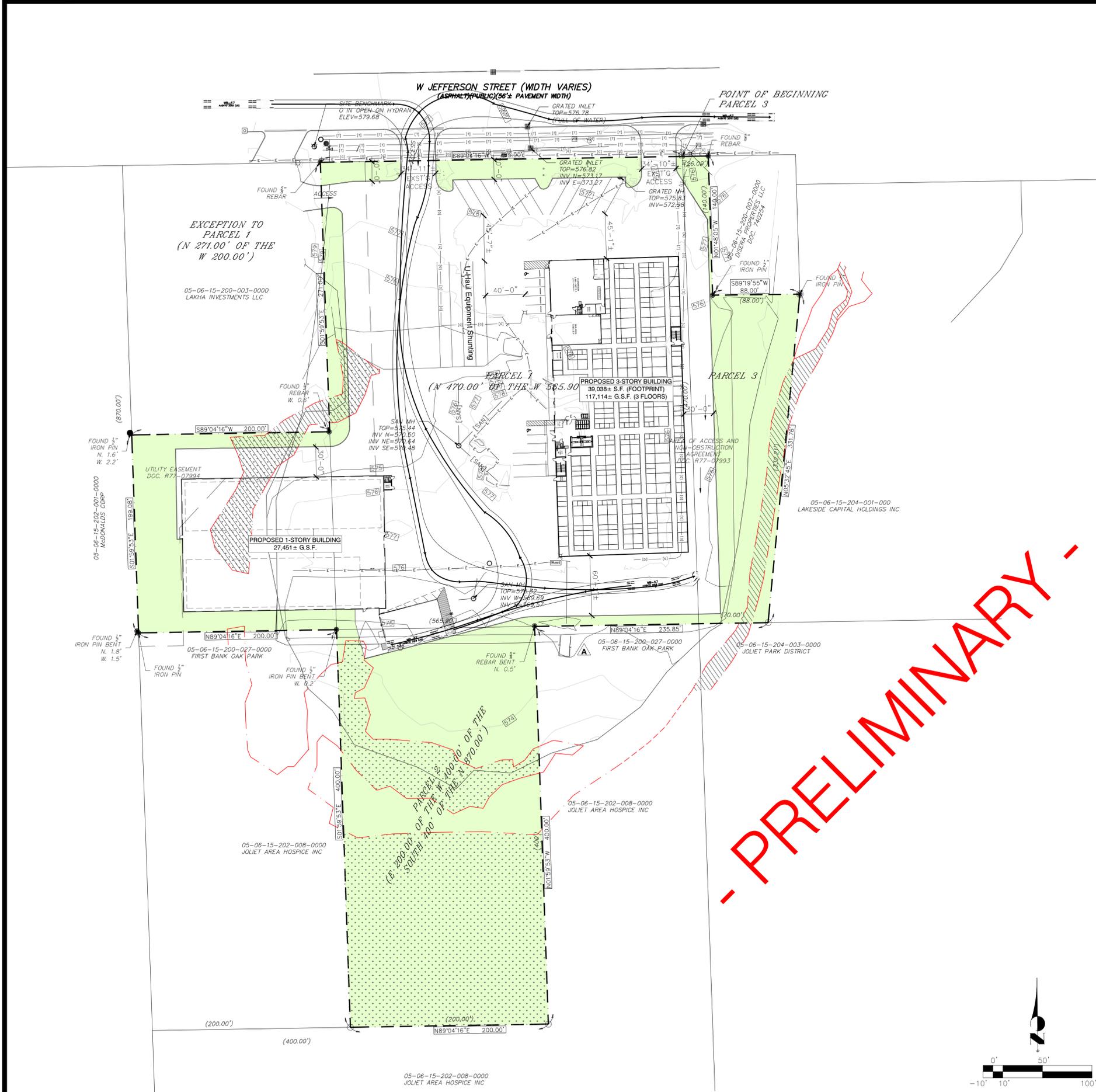
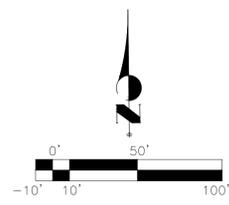
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 CHECKED: NH
 DATE: 12/15/22
 856070_A1G



SITE SCALE: NTS

ZONING INFORMATION:
PROJECT ADDRESS: 4200 W JEFFERSON ST
 JOLIET, IL 60431
MUNICIPALITY: CITY OF JOLIET
APN / ACRE: 05-06-15-200-010-0000 & 05-06-15-200-011-0000
ZONE: B-3 (GENERAL BUSINESS)
ADJACENT ZONING:
 N - B-3 (GENERAL BUSINESS)
 E - I-1 (LIGHT INDUSTRIAL)
 S - R-B (RESTRICTED BUSINESS)
 W - B-3 (GENERAL BUSINESS)
USES:
 TRUCK & TRAILER SHARING: SUP
 SELF STORAGE FACILITIES: SUP
BULK REQUIREMENTS:
SETBACKS:
 FRONT YARD: MINIMUM 0 FT.
 SIDE YARD: MINIMUM 0 FT.
 REAR YARD: MINIMUM 0 FT.
MAJOR STREET SETBACKS: NO BUILDING OR STRUCTURE SHALL BE CONSTRUCTED NEARER THAN 80 FT. FROM THE CENTERLINE OF ANY ROAD DESIGNATED AS MAJOR ARTERIAL
HEIGHT LIMIT: MAX 50 FT (3 STORIES)
PARKING:
 RETAIL: 1 SPACE FOR EACH 180 SF OF GFA
 STORAGE/WAREHOUSE:
 A. 1 SP PER LOADING DOCK; OR
 B. 1 SP FOR EVERY 12 LINEAR FT OF THE 2 LONGEST SIDES OF THE STRUCTURE TO WHICH PARKING IS ACCESSORY TO; OR
 C. 1 SP FOR EVERY 5,000 SQ FT OF INTERIOR SPACE PRINCIPALLY USED FOR THE STORAGE OF GOODS.
 IN ADDITION, THERE SHALL BE 1 SPACE PROVIDED FOR EACH EMPLOYEE PER SHIFT SUITABLE FOR USE BY PASSENGER VEHICLES
LANDSCAPE:
 • LANDSCAPE EASEMENT SHALL BE PROVIDED ALONG ALL MAJOR AND MINOR ARTERIAL STREETS AND FOR THE MAIN SUBDIVISION COLLECTOR. THE EASEMENT SHALL BE A MINIMUM OF 30 FT. WIDE AND SHALL BE INCLUDED ON THE SUBDIVISION PLAT.
 • A LANDSCAPED AREA NOT LESS THAN 20 FT WIDE SHALL BE PROVIDED AROUND THE PERIMETER OF THE LOT OR PARCEL ADJACENT TO ANY PUBLIC RIGHT OF WAY.

LOCKER SIZE	PROPOSED MIX											
	1st Flr			2nd Flr			3rd Flr			TOTAL		
	SQ. FT.	%	SQ. FT.	%	SQ. FT.	%	SQ. FT.	%	SQ. FT.	%	SQ. FT.	%
5 x 5	47	1,175	5%	64	1,600	6%	64	1,600	4%	175	4,375	6%
5 x 8	0	0	0%	1	40	0%	0	0	0%	1	40	0%
5 x 10	120	6,000	27%	140	7,000	25%	140	7,000	29%	400	20,000	26%
7 x 8	0	0	0%	1	56	0%	0	0	0%	1	56	0%
7 x 10	3	210	1%	3	210	1%	4	280	1%	10	700	1%
10 x 8	0	0	0%	3	240	1%	1	80	0%	4	320	0%
10 x 10	105	10,500	47%	128	12,800	46%	131	13,100	46%	364	36,400	46%
10 x 15	30	4,500	20%	39	5,850	21%	39	5,850	19%	108	16,200	21%
TOTAL	305	22,385	100%	379	27,796	100%	379	27,910	100%	1,063	78,091	100%



PRELIMINARY SITE PLAN

SCALE: 1" = 50' - 0"

SITE DATA

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Current U-Haul Project - Under construction.
(Stamped Brick Utilization)



Stamped Brick Example



EVOLUTION



THE BEST PANEL COMPANY

PARTNERS IN...

An American Brick Revolution



WWW.EVOLUTIONBRICK.COM

126 OLD HIGHWAY 60 EAST HARDINSBURG, KY 40143

THE THIN BRICK ADVANTAGE / PANEL SYSTEMS



THE BEST PANEL COMPANY

FACTORY-APPLIED SYSTEM

BEST Thin Brick panels are a factory- assembled system featuring genuine clay kiln-fired 1/2" thin brick adhered to a 16" x 48" panel of three (3) different designs depending upon what you need to accomplish: High R-Values, weather resistance price point, or interior applications.

3 OPTIONS TO BEST SUIT YOUR PROJECT:



3CI CONTINUOUS INSULATION

This continuously insulated panel allows you to achieve R-5 upto R-30, all carried on the outside of the stud wall. Using tested techniques and Concealer Screws of extremely high shear and tensil strength, 3Ci is Florida Wind-Load certified and can deliver a great masonry look with upto R-30 insulation. --All in one wall panel system.

25 YEAR WARRANTY

CONCRETE BASED PANEL SYSTEM

This panel system is a 16" x 48" concrete backer board used with Thin Brick that is pre-applied at the factory. This product is designed for exterior and interior usage. The product is strong, durable and perfect for just about any application.



ADHESIVES

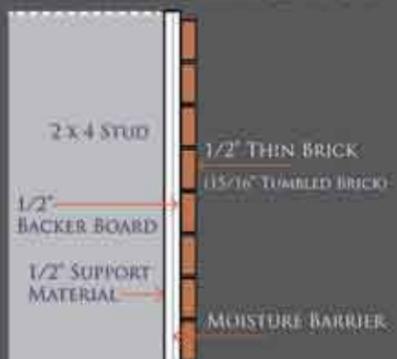
An exterior, waterproof, synthetic rubber based adhesive that complies with APA specification AFG-01 is used to bond Thin Brick to the backer board. Field applied mortar creates a chemical and mechanical bond when installation is complete. Made in the USA by Franklin International.

ASSEMBLY AND INSTALLATION

Installation of Panel Brick is a straight forward construction procedure. No highly skilled labor required to install. Please see our Installation Guide on our website. Ask your sales person for details.



PANEL APPLICATION



WALL DEFLECTION

Maximum L / 240 vs L / 800 for full size brick

SIZE

Panels 16" x 48" x 1" thick (1 7/16" Tumbled)

COVERAGE

Panels 5.33 square feet per panel
Approximately 19 panels per square
One square covers 100 square ft.

PACKAGING

Panels 50-60 panels depending on brick and panel chosen

MORTAR

Mortar One 70 lb. bag covers approximately 50 square feet of wall space. Will vary with brick selection.



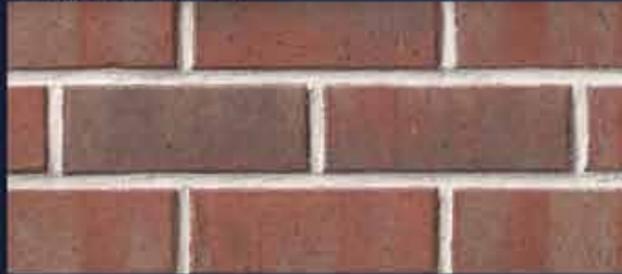
THE REVOLUTION SERIES

Our Tumbled products offer the most authentic duplication of tumbled brick in the industry.

AZALEA*



CARMEL*



WINE COUNTRY*



BLACK COFFEE*



SIERRA TUMBLED*



SAUGATUCK*



MONTEREY*



TWILIGHT*



*Stocking Color

PEWTER



GRAY RANGE



PORT HUNTINGTON



RALEIGH RED



REGAL OAK



WINTER WHITE



CHERRY



"We have tried several methods of installing thin brick until we started using BEST Panel Company. They saved us time and money and we will never use any other system."

~Salano Roos
Earthbound Trading Company

THE MIDWEST SERIES

Our straight edge products offer the most authentic duplication of classic straight brick in the industry. Check out these great colors!

10 - CLASSIC RED*



27 - GEORGETOWN*



24 - BOSTON*



"We went into this 36,000 SF project in Glen Cove, NY thinking BEST Panel would save us 30% labor. We were wrong. They saved us 60% labor on this project compared to traditional installation!"
~Scott Southwick
Premier Building Systems

26 - SAVANNAH*



97 - VALLEY FORGE*



*Stocking Color

15 - PROVIDENCE



95 - NEW BEDFORD



21 - RALEIGH



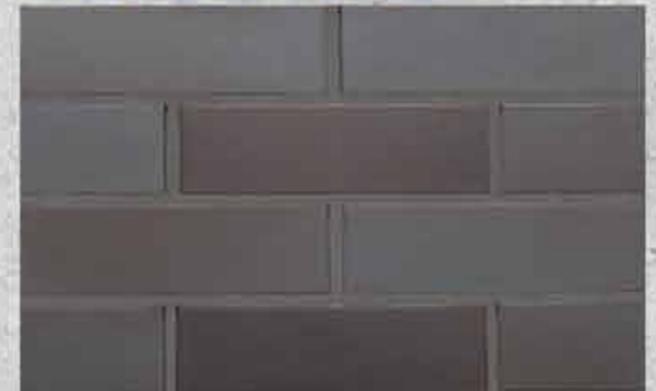
400 - DOWNING STREET



81 - CHARCOAL



401 - GRAPHITE

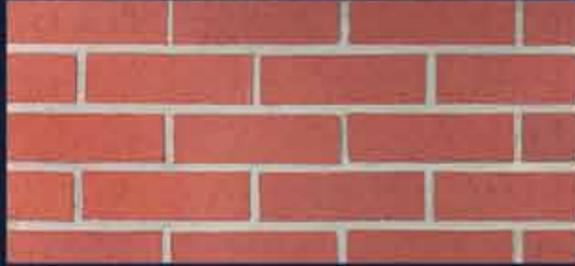


Other colors available in Midwest Series not shown here.

THE CAROLINA SERIES

THE FINISHED LOOK OF THIN BRICK

200 WILLIAMSBURG*



510 GREYWOOD*



410 LINCOLN HERITAGE*

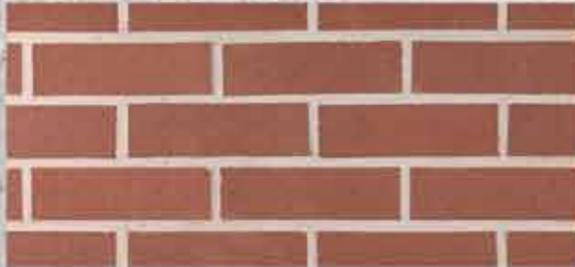


710 WINTER STORM*



*Stocking Color

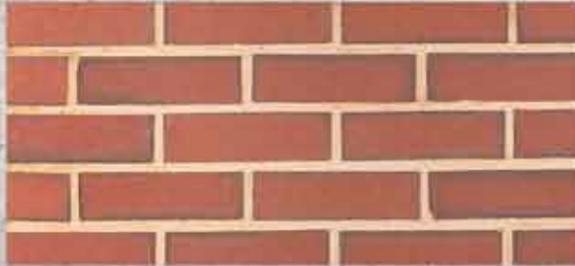
250 RED WINE



675 OLD BREGKINRIDGE



300 STADIUM FLASH



760 MILKY WAY



600 SAND DUNE



820 OASIS



Other colors available in Carolina Series not shown here.



**FOR MORE INFORMATION ABOUT
OUR PRODUCTS AND SERVICES VISIT:**

WWW.BESTPANELCOMPANY.COM

**126 OLD HIGHWAY 60 EAST
HARDINBURG, KY 40143**

PHONE: 270-788-3535

EMAIL: INFO@BESTPANELCOMPANY.COM



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A&M ASSOCIATES, INC.
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PHOENIX, ARIZONA 85004
P: 602.263.6841

U-HAUL
of Joliet
Joliet, IL
(856070)

Preliminary Proposal
SHEET 01

24"H DETAILED CORNICE TRIMS CREATE ADDITIONAL ROOFLINE MODULATION TO ACCENTUATE APPROPRIATE BUILDING ELEMENTS, CREATING INTEREST AT THE SKYLINE

ARCHITECTURAL FENESTRATION TO ENHANCE RETAIL UNIFORMITY IN THE AREA

CHANGE IN MATERIAL COLORS TO PROVIDE VISUAL SEPARATION TO THE ELEVATION

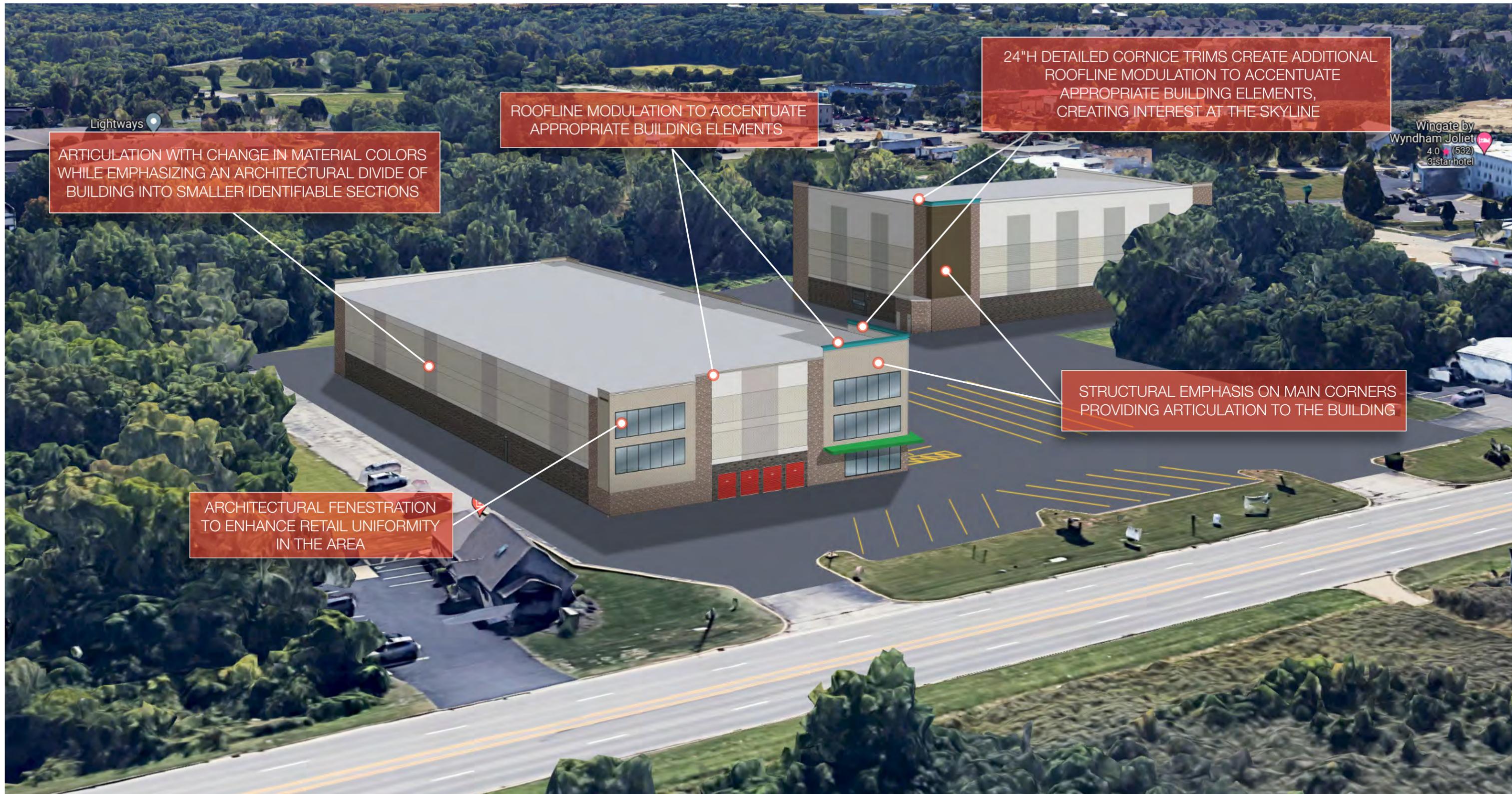
HIGH-QUALITY STAMPED BRICK CREATES A HARMONIOUS AND ARCHITECTURAL BALANCE BETWEEN MATERIALS AND MATERIAL COLORS

WOOD GRAIN CARRIAGE DOORS PROVIDE A WELCOMING ENTRANCE FOR CUSTOMERS

STRUCTURAL EMPHASIS ON MAIN CORNERS PROVIDING ARTICULATION TO THE BUILDING

PROJECTION CREATES ARCHITECTURAL INTEREST ABOVE CUSTOMER ENTRANCE AREA, WHILE PROVIDING PROTECTION FROM THE ELEMENTS.





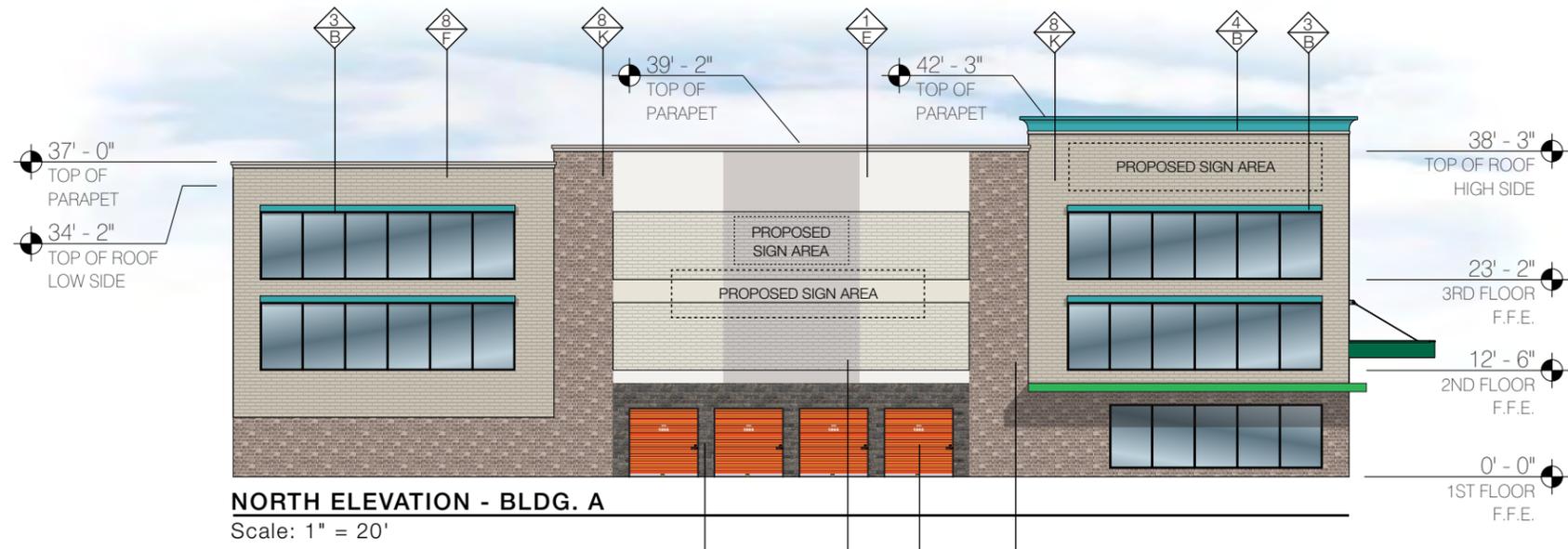
ARTICULATION WITH CHANGE IN MATERIAL COLORS WHILE EMPHASIZING AN ARCHITECTURAL DIVIDE OF BUILDING INTO SMALLER IDENTIFIABLE SECTIONS

ROOFLINE MODULATION TO ACCENTUATE APPROPRIATE BUILDING ELEMENTS

24"H DETAILED CORNICE TRIMS CREATE ADDITIONAL ROOFLINE MODULATION TO ACCENTUATE APPROPRIATE BUILDING ELEMENTS, CREATING INTEREST AT THE SKYLINE

STRUCTURAL EMPHASIS ON MAIN CORNERS PROVIDING ARTICULATION TO THE BUILDING

ARCHITECTURAL FENESTRATION TO ENHANCE RETAIL UNIFORMITY IN THE AREA



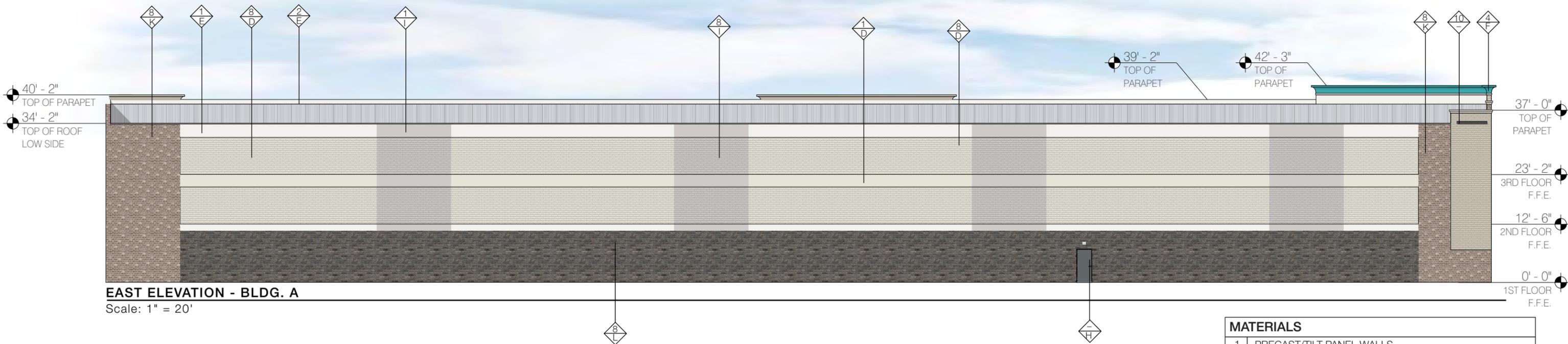
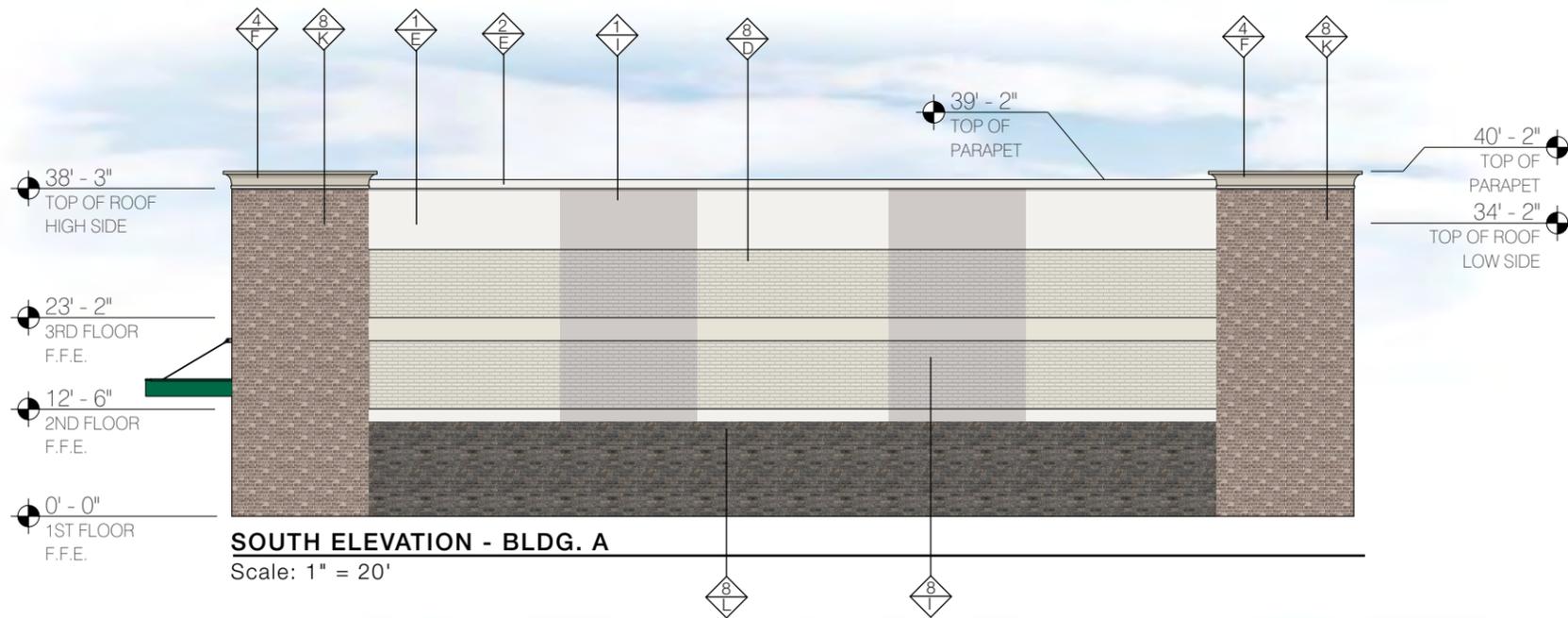
COLORS			
A	MBCI U-HAUL GREEN	I	SW 6001 GRAYISH
B	SW 6767 AQUARIUM	J	SW 6006 BLACK BEAN
C	U-HAUL PROMO GREEN	K	TUMBLED REGAL OAK BRICK
D	SW 7011 NATURAL CHOICE	L	TUMBLED SMOKE BRICK
E	SW 6182 ETHEREAL WHITE	M	SW EGGHELL BLACK
F	SW 6149 RELAXED KHAKI	N	ULTRA-GRAIN CLASSIC WALNUT
G	SIERRA SUNSET		
H	COLOR MATCH BRICK		

MATERIALS	
1	PRECAST/TILT PANEL WALLS
2	12"H ROOF TRIMS TYP.
3	9"H x 3"D ARCHITECTURAL DETAILS
4	24"H DETAILED CORNICE TRIMS
5	ARCHITECTURAL DETAILS
6	2'H x 56'W x 10'D STORAGE: LOAD/UNLOAD AWNING
7	1'H x 39'-9"W x 2'D CUSTOMER ENTRANCE AWNING
8	HIGH-QUALITY STAMPED BRICK PATTERN
9	FAUX WOOD CARRIAGE DOORS
10	SCUPPERS

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A&M ASSOCIATES, INC.
2727 N. CENTRAL AVENUE
PHOENIX, ARIZONA 85004
P: 602.263.6841

U-HAUL
of Joliet
Joliet, IL
(856070)

Colors & Materials
SHEET 04



COLORS			
A	MBCI U-HAUL GREEN	I	SW 6001 GRAYISH
B	SW 6767 AQUARIUM	J	SW 6006 BLACK BEAN
C	U-HAUL PROMO GREEN	K	TUMBLED REGAL OAK BRICK
D	SW 7011 NATURAL CHOICE	L	TUMBLED SMOKE BRICK
E	SW 6182 ETHEREAL WHITE	M	SW EGGHELL BLACK
F	SW 6149 RELAXED KHAKI	N	ULTRA-GRAIN CLASSIC WALNUT
G	SIERRA SUNSET		
H	COLOR MATCH BRICK		

MATERIALS	
1	PRECAST/TILT PANEL WALLS
2	12"H ROOF TRIMS TYP.
3	9"H x 3"D ARCHITECTURAL DETAILS
4	24"H DETAILED CORNICE TRIMS
5	ARCHITECTURAL DETAILS
6	2'H x 56'W x 10'D STORAGE: LOAD/UNLOAD AWNING
7	1'H x 39'-9"W x 2'D CUSTOMER ENTRANCE AWNING
8	HIGH-QUALITY STAMPED BRICK PATTERN
9	FAUX WOOD CARRIAGE DOORS
10	SCUPPERS

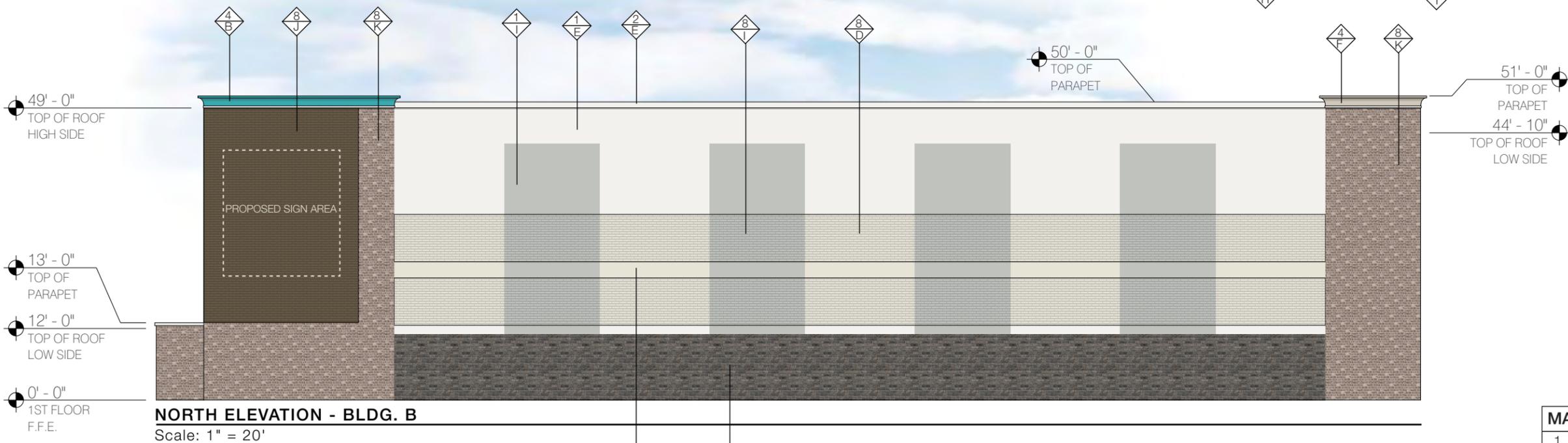
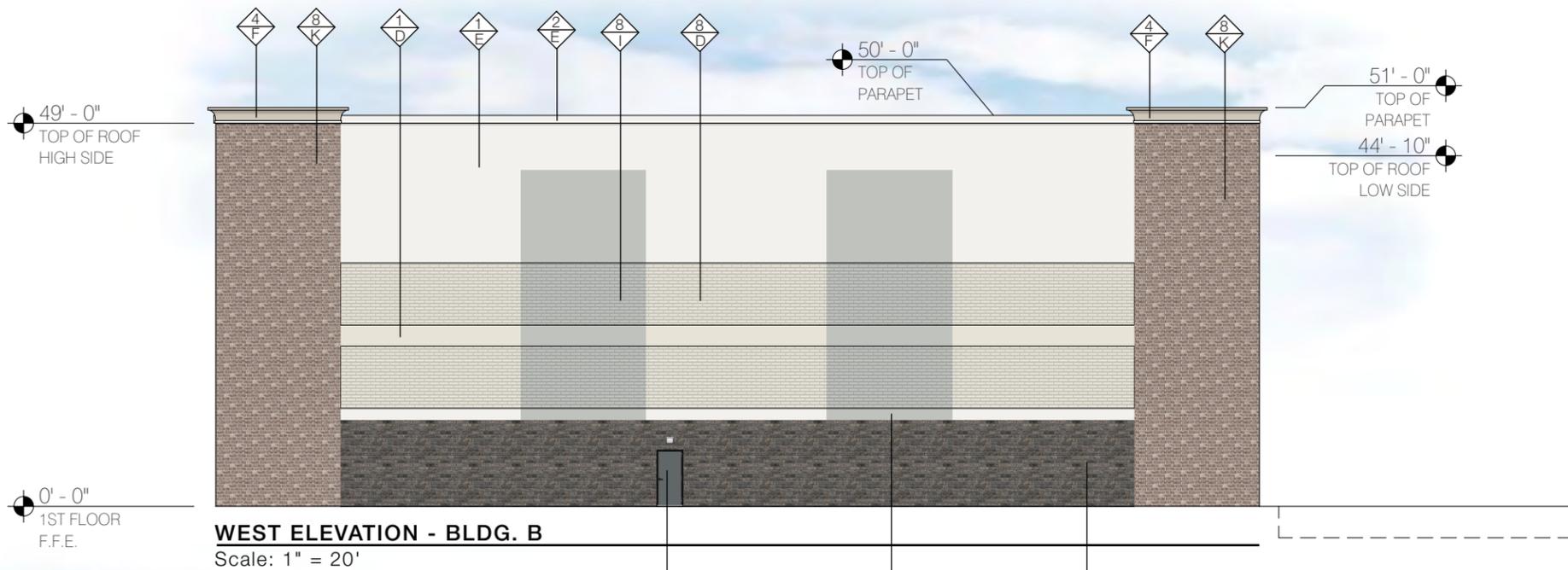


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 2727 N. CENTRAL AVENUE
 PHOENIX, ARIZONA 85004
 P: 602.263.6841



Colors & Materials

SHEET 05



COLORS

A	MBCI U-HAUL GREEN	I	SW 6001 GRAYISH
B	SW 6767 AQUARIUM	J	SW 6006 BLACK BEAN
C	U-HAUL PROMO GREEN	K	TUMBLED REGAL OAK BRICK
D	SW 7011 NATURAL CHOICE	L	TUMBLED SMOKE BRICK
E	SW 6182 ETHEREAL WHITE	M	SW EGGHELL BLACK
F	SW 6149 RELAXED KHAKI	N	ULTRA-GRAIN CLASSIC WALNUT
G	SIERRA SUNSET		
H	COLOR MATCH BRICK		

MATERIALS

1	PRECAST/TILT PANEL WALLS
2	12"H ROOF TRIMS TYP.
3	9"H x 3"D ARCHITECTURAL DETAILS
4	24"H DETAILED CORNICE TRIMS
5	ARCHITECTURAL DETAILS
6	2'H x 56'W x 10'D STORAGE: LOAD/UNLOAD AWNING
7	1'H x 39'-9"W x 2'D CUSTOMER ENTRANCE AWNING
8	HIGH-QUALITY STAMPED BRICK PATTERN
9	FAUX WOOD CARRIAGE DOORS
10	SCUPPERS



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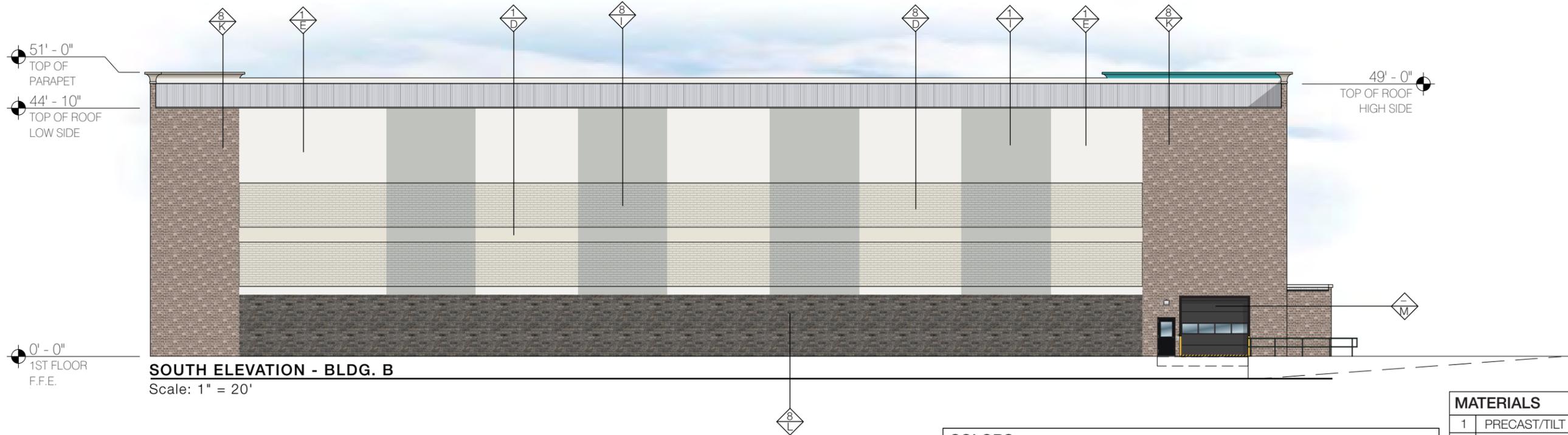
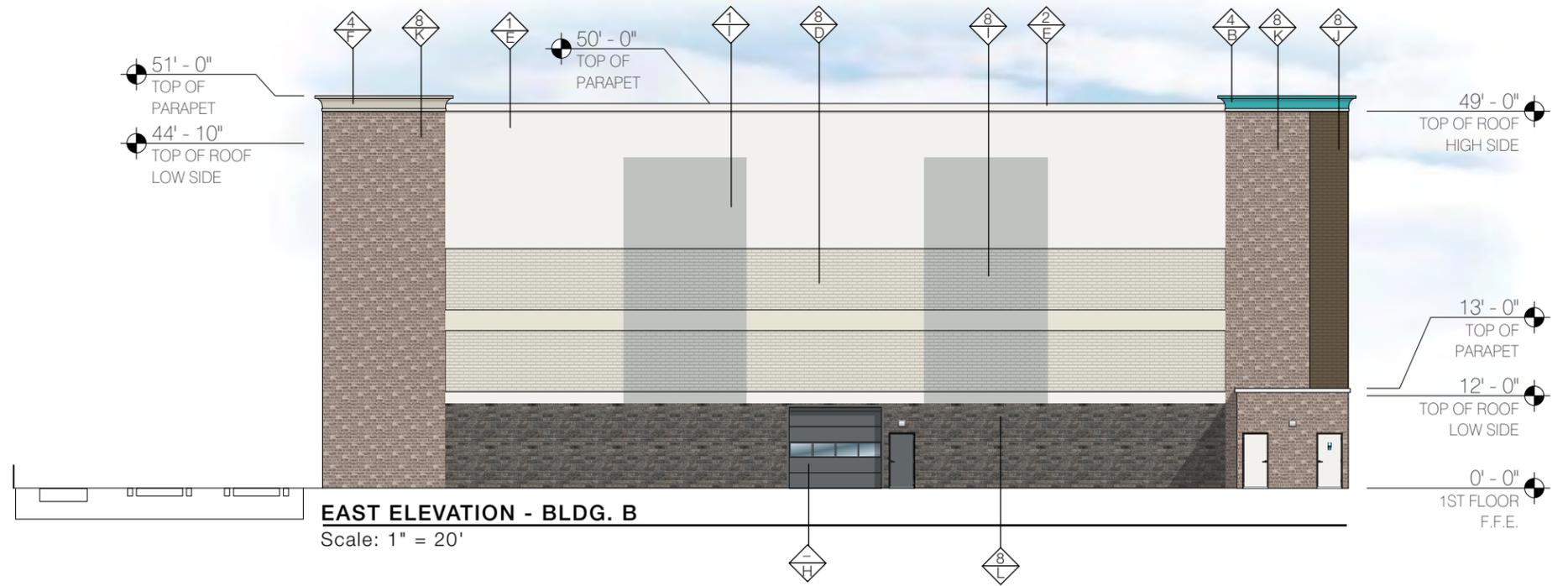


of Joliet
Joliet, IL
(856070)

Colors & Materials

SHEET 06

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COLORS			
A	MBCI U-HAUL GREEN	I	SW 6001 GRAYISH
B	SW 6767 AQUARIUM	J	SW 6006 BLACK BEAN
C	U-HAUL PROMO GREEN	K	TUMBLED REGAL OAK BRICK
D	SW 7011 NATURAL CHOICE	L	TUMBLED SMOKE BRICK
E	SW 6182 ETHEREAL WHITE	M	SW EGGHELL BLACK
F	SW 6149 RELAXED KHAKI	N	ULTRA-GRAIN CLASSIC WALNUT
G	SIERRA SUNSET		
H	COLOR MATCH BRICK		

MATERIALS	
1	PRECAST/TILT PANEL WALLS
2	12"H ROOF TRIMS TYP.
3	9"H x 3"D ARCHITECTURAL DETAILS
4	24"H DETAILED CORNICE TRIMS
5	ARCHITECTURAL DETAILS
6	2'H x 56'W x 10'D STORAGE: LOAD/UNLOAD AWNING
7	1'H x 39'-9"W x 2'D CUSTOMER ENTRANCE AWNING
8	HIGH-QUALITY STAMPED BRICK PATTERN
9	FAUX WOOD CARRIAGE DOORS
10	SCUPPERS

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U-HAUL
of Joliet
Joliet, IL
(856070)

Colors & Materials

SHEET 07

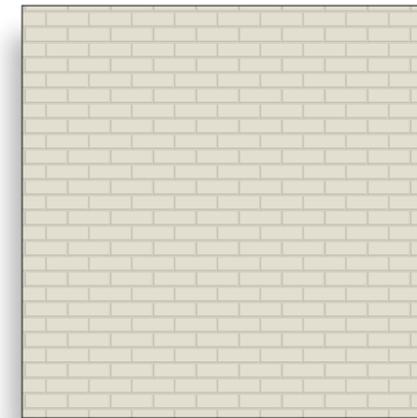
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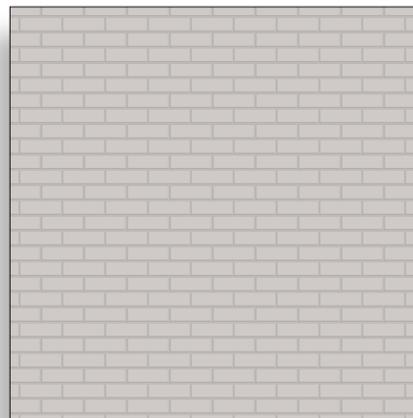
Revolution Series
-Tumbled Smoke
High-Quality Stamped
Brick Pattern
EXAMPLE



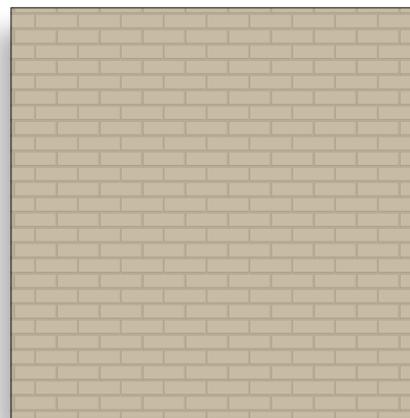
Revolution Series
-Tumbled Regal Oak
High-Quality Stamped
Brick Pattern
EXAMPLE



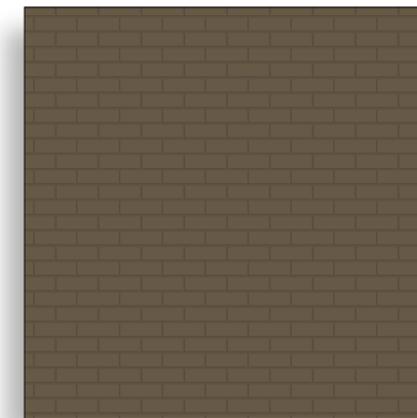
SW 7011 Natural Choice
High-Quality Stamped
Brick Pattern
EXAMPLE



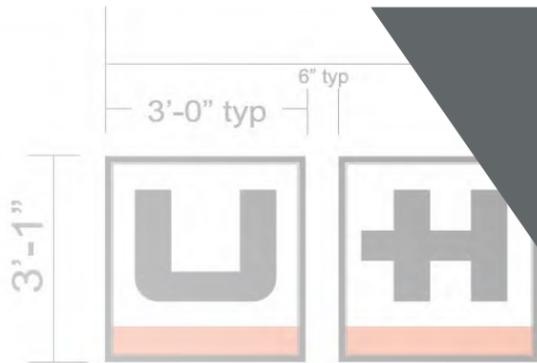
SW 6001 Grayish
High-Quality Stamped
Brick Pattern
EXAMPLE



SW 6149 Relaxed Khaki
High-Quality Stamped
Brick Pattern
EXAMPLE



SW 6006 Black Bean
High-Quality Stamped
Brick Pattern
EXAMPLE



Cabinet
side view

- 2" X 2" X 1/4" Aluminum Angle (Inside Cabinet)
- 10-118R Filler
- RT 200 Retainer
- 2' X 3' Service Door
- Formed Face
- 4" x 4" x .250" Clip Top Of Cabinet
- Electrical Raceway

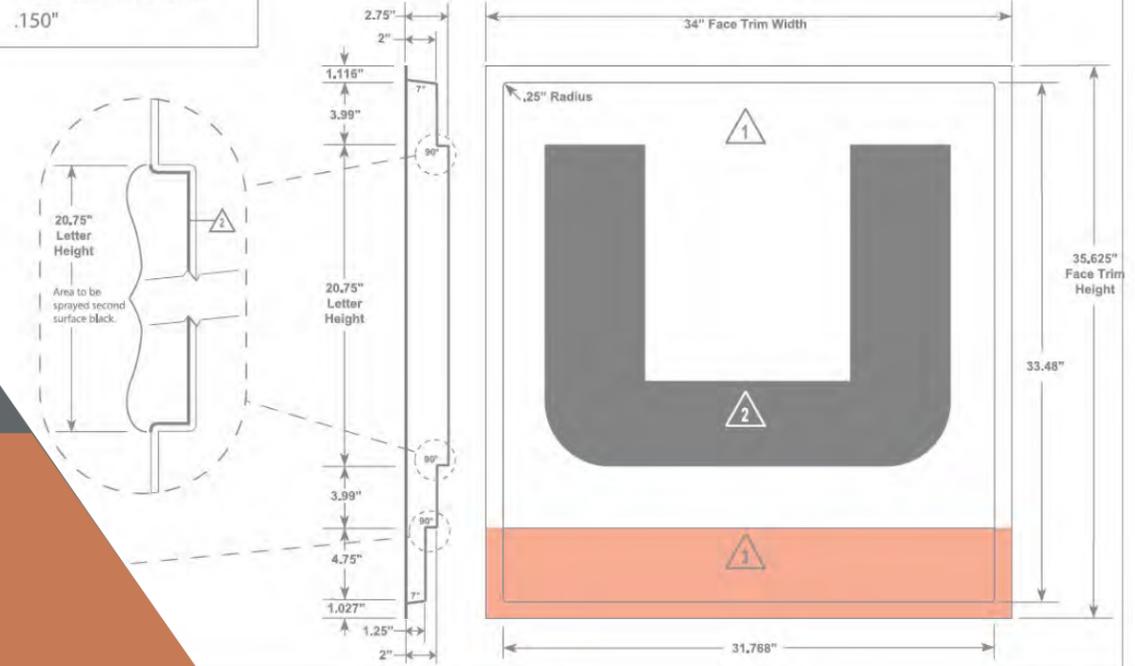
Face Detail n.t.s.

<p>1 "Background"</p> <p>Color: Spray second surface L-403 White Lacryl, by Spraylat.</p> <p>Translucent White</p>	<p>2 "Letter"</p> <p>Color: Spray second surface L-480 Black Lacryl by Spraylat.</p> <p>Black</p>	<p>3 "Orange Bar"</p> <p>Color: Spray second surface L-422 Poppy Orange Lacryl by Spraylat.</p> <p>Translucent Orange</p>
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Material(s) Specifications - Sign Face

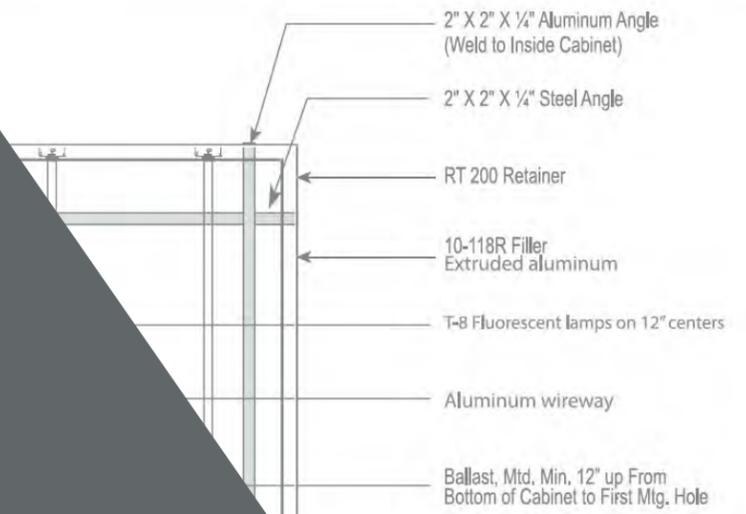
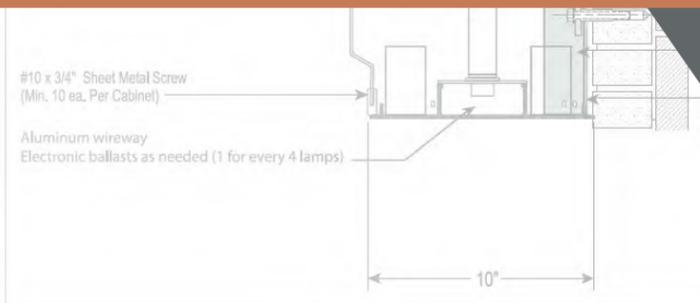
Material: G.E. Lexan® SGC100 Clear (Solar Grade)

Typ. Trade: .150"

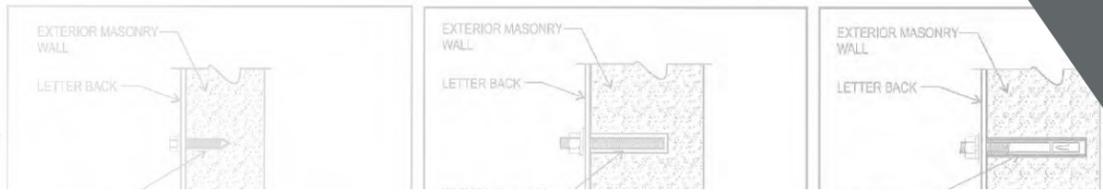


SIGNAGE PROPOSAL

JOLIET, IL



Injection Details n.t.s.



Icons - 1 1/4" Min. into Solid Wall or HY-20 HA... Embed. Into Solid Wall (or Hollow CMU w/ Screens) to 5/8" Fr... X - Full Th...

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U-HAUL
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Joliet, IL
(856070)

Signage Proposal
SHEET 01



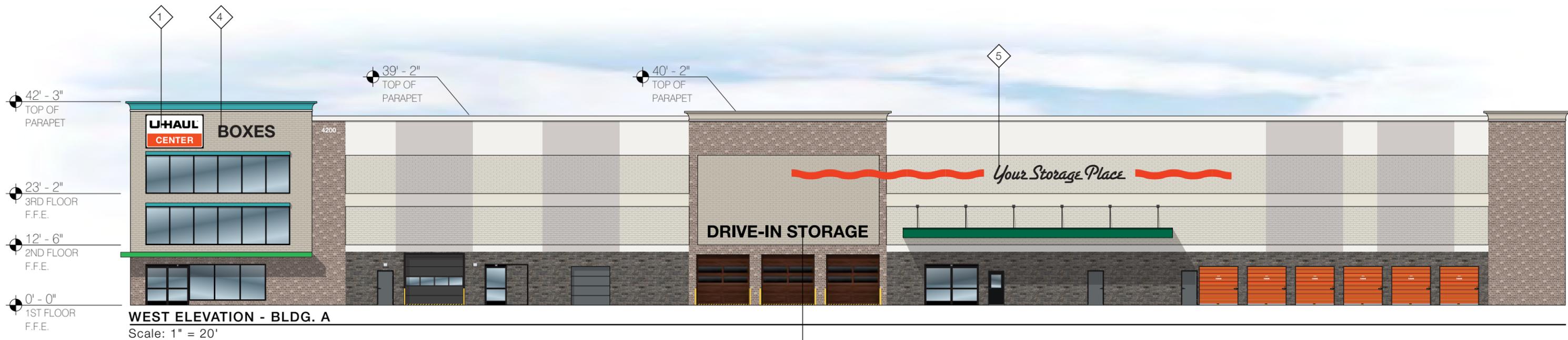
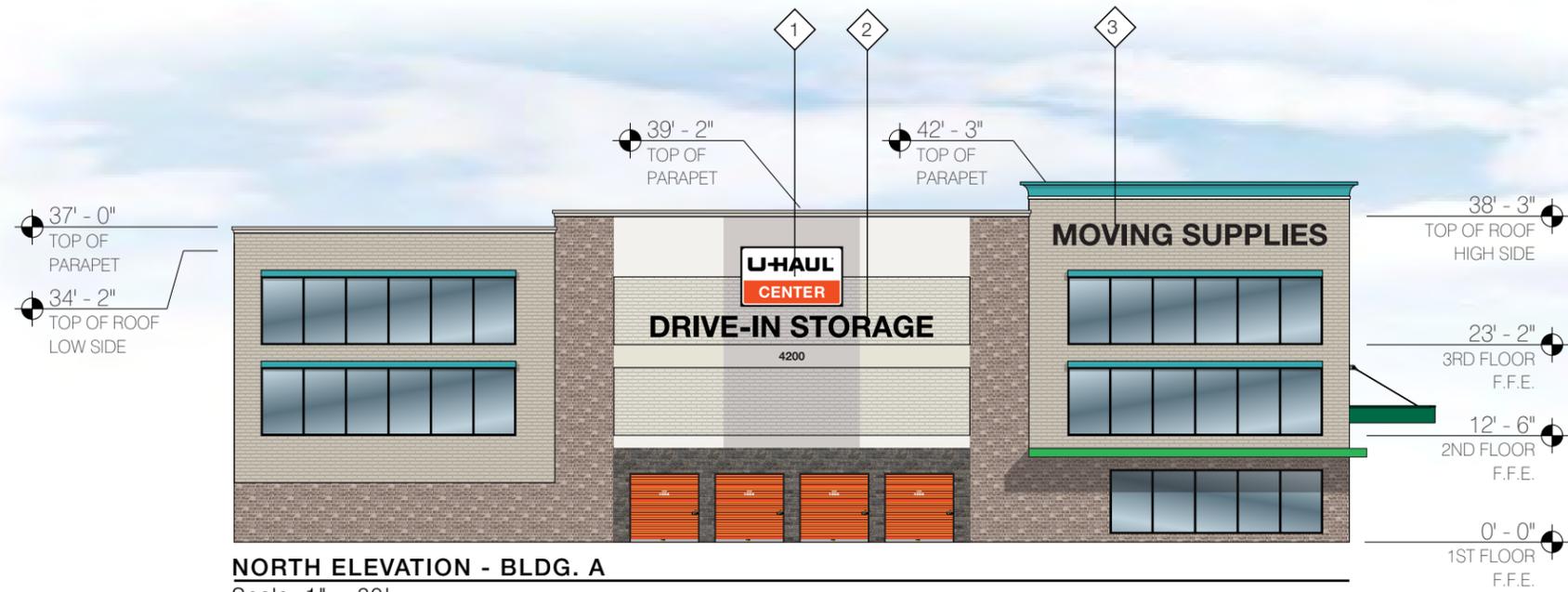



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 of Joliet
 Joliet, IL
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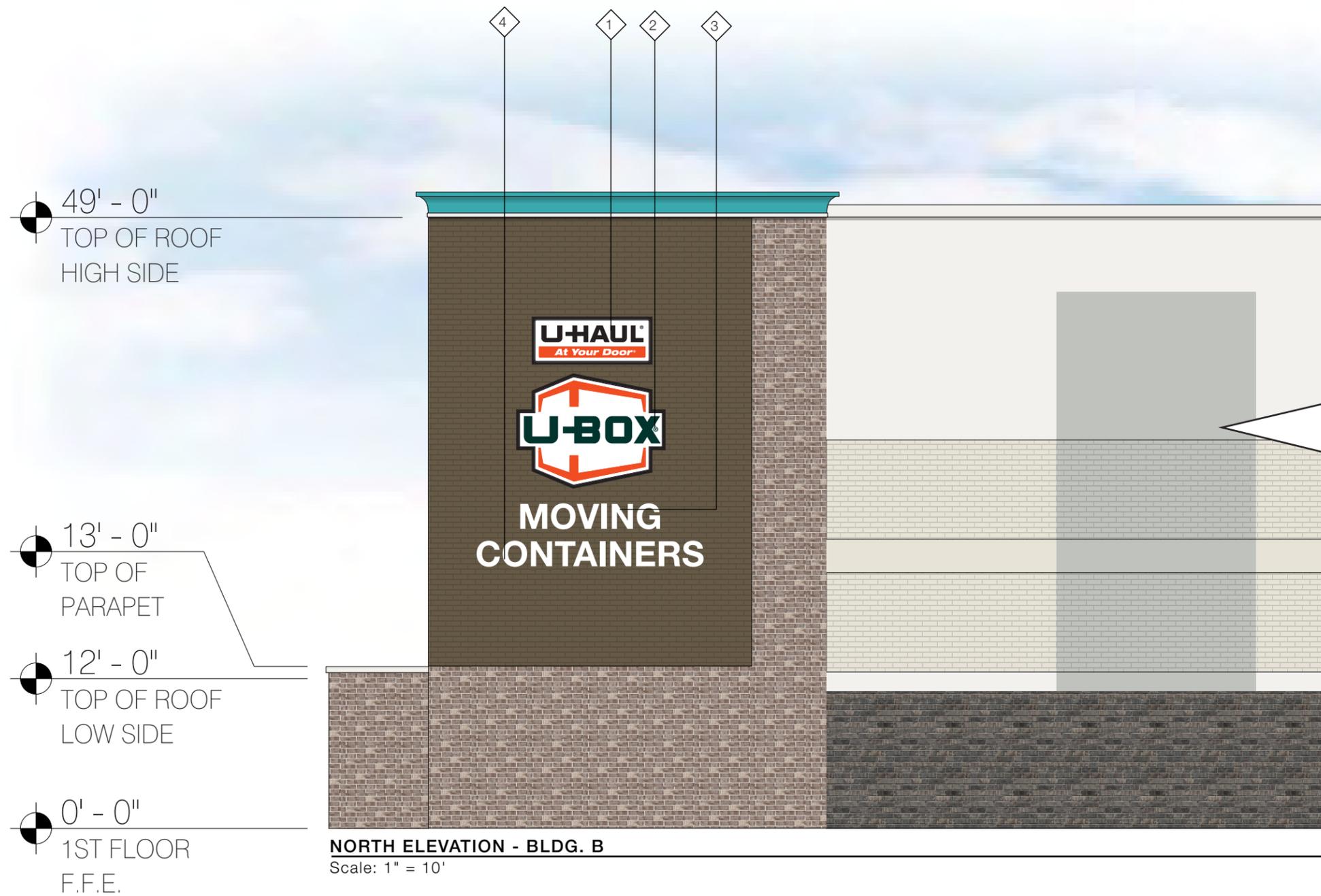
Northeast Elevation
 Composite Rendering

SHEET 03



SIGN CALCULATIONS	
1	LIT CABINET SIGN 12"W X 7"H (84 SQFT)
2	DIMENSIONAL LETTERS 33.27"W X 2.5"H (83.17 SQFT)*
3	DIMENSIONAL LETTERS 32.24"W X 2.5"H (80.60 SQFT)*
4	DIMENSIONAL LETTERS 11.74"W X 2.5"H (29.35 SQFT)*
5	11GA STEEL POWDER COATED BLACK SIGN 27.43"W X 4"H (109.72 SQFT)*

*Lit sign option is available upon request



SIGN CALCULATIONS	
1	NON-LIT SIGN 9.66'W X 3.8'H (36.71 SQFT)*
2	NON-LIT SIGN 11.95'W X 9.19'H (109.82 SQFT)*
3	DIMENSIONAL LETTERS 11.23'W X 2'H (22.46 SQFT)*
4	DIMENSIONAL LETTERS 18.26'W X 2'H (36.52 SQFT)*

*Lit sign option is available upon request



Mail Processing Center
 Federal Aviation Administration
 Southwest Regional Office
 Obstruction Evaluation Group
 10101 Hillwood Parkway
 Fort Worth, TX 76177

Aeronautical Study No.
 2023-AGL-16380-OE
 Prior Study No.
 2023-AGL-13025-OE

Issued Date: 09/12/2023

Gurnoor Kaur
 Amerco Real Estate Company
 2727 N Central Ave., Suite 500
 Phoenix, AZ 85004

**** DETERMINATION OF NO HAZARD TO AIR NAVIGATION ****

The Federal Aviation Administration has conducted an aeronautical study under the provisions of 49 U.S.C., Section 44718 and if applicable Title 14 of the Code of Federal Regulations, part 77, concerning:

Structure: Commercial Use Building Proposed 3-story bldg.-SE corner
 Location: Joliet, IL
 Latitude: 41-31-13.00N NAD 83
 Longitude: 88-10-55.00W
 Heights: 576 feet site elevation (SE)
 40 feet above ground level (AGL)
 616 feet above mean sea level (AMSL)

This aeronautical study revealed that the structure does not exceed obstruction standards and would not be a hazard to air navigation provided the following condition(s), if any, is(are) met:

It is required that FAA Form 7460-2, Notice of Actual Construction or Alteration, be e-filed any time the project is abandoned or:

- At least 10 days prior to start of construction (7460-2, Part 1)
- Within 5 days after the construction reaches its greatest height (7460-2, Part 2)

Based on this evaluation, marking and lighting are not necessary for aviation safety. However, if marking/lighting are accomplished on a voluntary basis, we recommend it be installed in accordance with FAA Advisory circular 70/7460-1 M.

ADVISORY RECOMMENDATION - While the structure does not constitute a hazard to air navigation, it would be located within the Runway Protection Zone (RPZ) of the JOLIET RGNL AIRPORT (JOT), RWY 13/31..

Structures, which will result in the congregation of people within an RPZ, are strongly discouraged in the interest of protecting people and property on the ground. In cases where the airport owner can control the use of the property, such structures are prohibited. In cases where the airport owner exercises no such control, advisory recommendations are issued to inform the sponsor of the inadvisability of the project from the standpoint of safety to personnel and property.

This determination expires on 03/12/2025 unless:

- (a) the construction is started (not necessarily completed) and FAA Form 7460-2, Notice of Actual Construction or Alteration, is received by this office.
- (b) extended, revised, or terminated by the issuing office.
- (c) the construction is subject to the licensing authority of the Federal Communications Commission (FCC) and an application for a construction permit has been filed, as required by the FCC, within 6 months of the date of this determination. In such case, the determination expires on the date prescribed by the FCC for completion of construction, or the date the FCC denies the application.

NOTE: REQUEST FOR EXTENSION OF THE EFFECTIVE PERIOD OF THIS DETERMINATION MUST BE E-FILED AT LEAST 15 DAYS PRIOR TO THE EXPIRATION DATE. AFTER RE-EVALUATION OF CURRENT OPERATIONS IN THE AREA OF THE STRUCTURE TO DETERMINE THAT NO SIGNIFICANT AERONAUTICAL CHANGES HAVE OCCURRED, YOUR DETERMINATION MAY BE ELIGIBLE FOR ONE EXTENSION OF THE EFFECTIVE PERIOD.

This determination is based, in part, on the foregoing description which includes specific coordinates, heights, frequency(ies) and power. Any changes in coordinates, heights, and frequencies or use of greater power, except those frequencies specified in the Colo Void Clause Coalition; Antenna System Co-Location; Voluntary Best Practices, will void this determination. Any future construction or alteration, including increase to heights, power, or the addition of other transmitters, requires separate notice to the FAA. This determination includes all previously filed frequencies and power for this structure.

If construction or alteration is dismantled or destroyed, you must submit notice to the FAA within 5 days after the construction or alteration is dismantled or destroyed.

This determination does include temporary construction equipment such as cranes, derricks, etc., which may be used during actual construction of the structure. However, this equipment shall not exceed the overall heights as indicated above. Equipment which has a height greater than the studied structure requires separate notice to the FAA.

This determination concerns the effect of this structure on the safe and efficient use of navigable airspace by aircraft and does not relieve the sponsor of compliance responsibilities relating to any law, ordinance, or regulation of any Federal, State, or local government body.

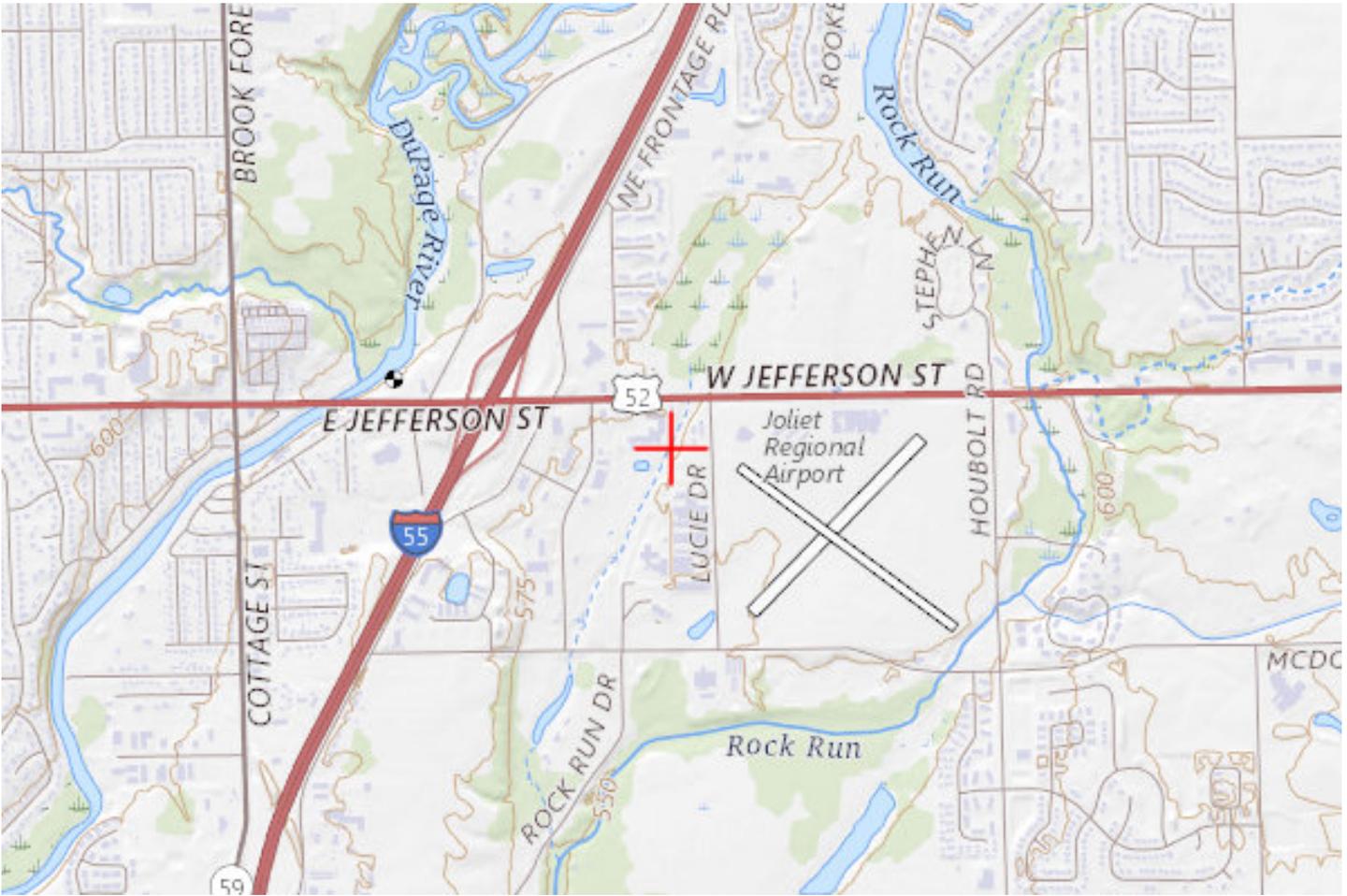
If we can be of further assistance, please contact our office at (847) 294-7458, or fred.souchet@faa.gov. On any future correspondence concerning this matter, please refer to Aeronautical Study Number 2023-AGL-16380-OE.

Signature Control No: 596637512-599030002

(DNE)

Fred Souchet
Specialist

Attachment(s)
Map(s)





Mail Processing Center
 Federal Aviation Administration
 Southwest Regional Office
 Obstruction Evaluation Group
 10101 Hillwood Parkway
 Fort Worth, TX 76177

Aeronautical Study No.
 2023-AGL-16381-OE
 Prior Study No.
 2023-AGL-13025-OE

Issued Date: 09/12/2023

Gurnoor Kaur
 Amerco Real Estate Company
 2727 N Central Ave., Suite 500
 Phoenix, AZ 85004

**** DETERMINATION OF NO HAZARD TO AIR NAVIGATION ****

The Federal Aviation Administration has conducted an aeronautical study under the provisions of 49 U.S.C., Section 44718 and if applicable Title 14 of the Code of Federal Regulations, part 77, concerning:

Structure: Commercial Use Building Proposed 3-story bldg.-SW corner
 Location: Joliet, IL
 Latitude: 41-31-13.00N NAD 83
 Longitude: 88-10-57.00W
 Heights: 576 feet site elevation (SE)
 40 feet above ground level (AGL)
 616 feet above mean sea level (AMSL)

This aeronautical study revealed that the structure does not exceed obstruction standards and would not be a hazard to air navigation provided the following condition(s), if any, is(are) met:

It is required that FAA Form 7460-2, Notice of Actual Construction or Alteration, be e-filed any time the project is abandoned or:

- At least 10 days prior to start of construction (7460-2, Part 1)
- Within 5 days after the construction reaches its greatest height (7460-2, Part 2)

Based on this evaluation, marking and lighting are not necessary for aviation safety. However, if marking/lighting are accomplished on a voluntary basis, we recommend it be installed in accordance with FAA Advisory circular 70/7460-1 M.

This determination expires on 03/12/2025 unless:

- (a) the construction is started (not necessarily completed) and FAA Form 7460-2, Notice of Actual Construction or Alteration, is received by this office.
- (b) extended, revised, or terminated by the issuing office.
- (c) the construction is subject to the licensing authority of the Federal Communications Commission (FCC) and an application for a construction permit has been filed, as required by the FCC, within 6 months of the date of this determination. In such case, the determination expires on the date prescribed by the FCC for completion of construction, or the date the FCC denies the application.

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This determination is based, in part, on the foregoing description which includes specific coordinates, heights, frequency(ies) and power. Any changes in coordinates, heights, and frequencies or use of greater power, except those frequencies specified in the Colo Void Clause Coalition; Antenna System Co-Location; Voluntary Best Practices, will void this determination. Any future construction or alteration, including increase to heights, power, or the addition of other transmitters, requires separate notice to the FAA. This determination includes all previously filed frequencies and power for this structure.

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This determination concerns the effect of this structure on the safe and efficient use of navigable airspace by aircraft and does not relieve the sponsor of compliance responsibilities relating to any law, ordinance, or regulation of any Federal, State, or local government body.

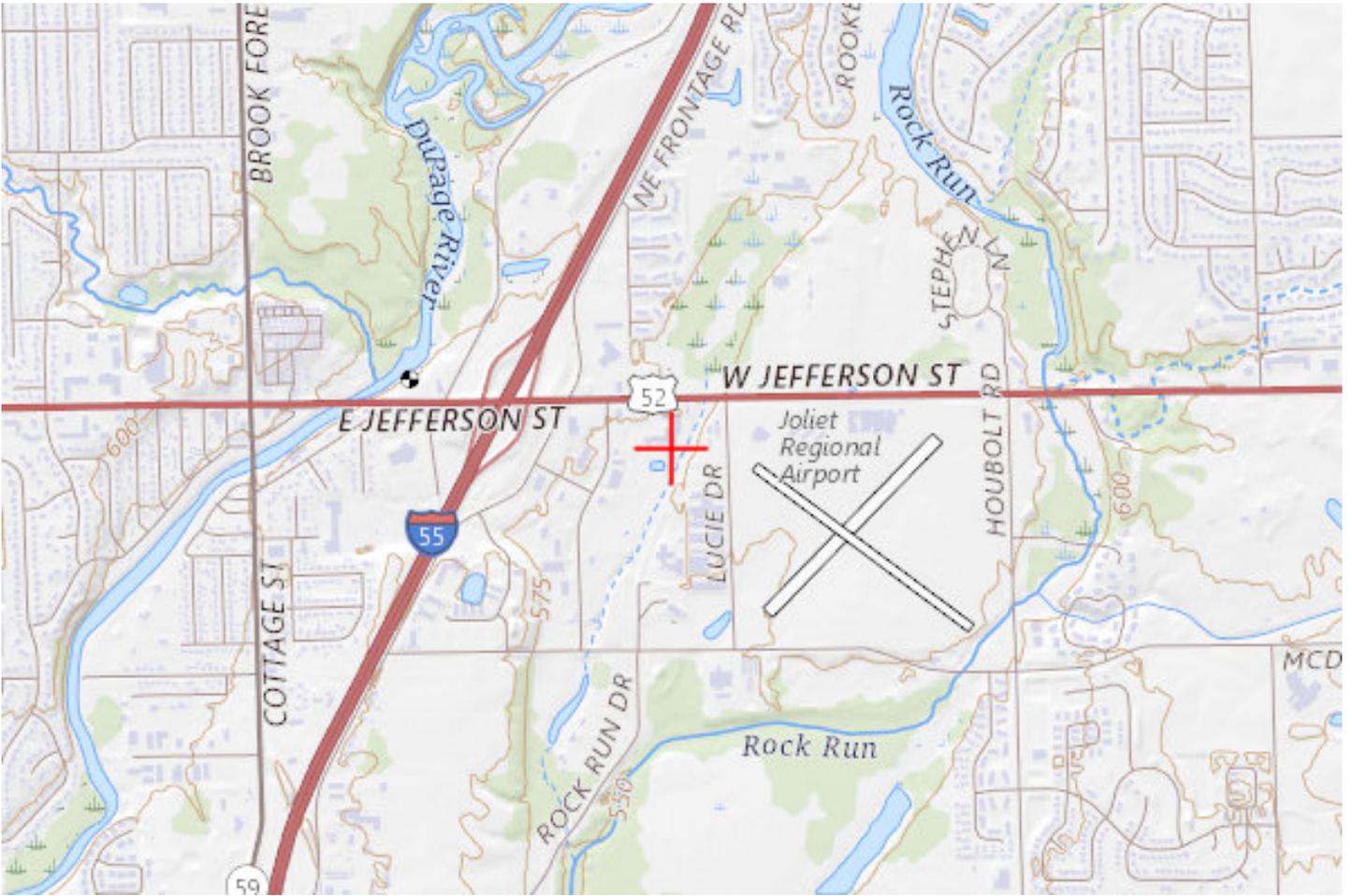
If we can be of further assistance, please contact our office at (847) 294-7458, or fred.souchet@faa.gov. On any future correspondence concerning this matter, please refer to Aeronautical Study Number 2023-AGL-16381-OE.

Signature Control No: 596637513-599030117

Fred Souchet
Specialist

(DNE)

Attachment(s)
Map(s)





Mail Processing Center
 Federal Aviation Administration
 Southwest Regional Office
 Obstruction Evaluation Group
 10101 Hillwood Parkway
 Fort Worth, TX 76177

Aeronautical Study No.
 2023-AGL-16382-OE
 Prior Study No.
 2023-AGL-13025-OE

Issued Date: 09/12/2023

Gurnoor Kaur
 Amerco Real Estate Company
 2727 N Central Ave., Suite 500
 Phoenix, AZ 85004

**** DETERMINATION OF NO HAZARD TO AIR NAVIGATION ****

The Federal Aviation Administration has conducted an aeronautical study under the provisions of 49 U.S.C., Section 44718 and if applicable Title 14 of the Code of Federal Regulations, part 77, concerning:

Structure: Commercial Use Building Proposed 3-story bldg.-NW corner
 Location: Joliet, IL
 Latitude: 41-31-16.00N NAD 83
 Longitude: 88-10-57.00W
 Heights: 576 feet site elevation (SE)
 42 feet above ground level (AGL)
 618 feet above mean sea level (AMSL)

This aeronautical study revealed that the structure does not exceed obstruction standards and would not be a hazard to air navigation provided the following condition(s), if any, is(are) met:

It is required that FAA Form 7460-2, Notice of Actual Construction or Alteration, be e-filed any time the project is abandoned or:

- At least 10 days prior to start of construction (7460-2, Part 1)
- Within 5 days after the construction reaches its greatest height (7460-2, Part 2)

Based on this evaluation, marking and lighting are not necessary for aviation safety. However, if marking/lighting are accomplished on a voluntary basis, we recommend it be installed in accordance with FAA Advisory circular 70/7460-1 M.

ADVISORY RECOMMENDATION - While the structure does not constitute a hazard to air navigation, it would be located within the Runway Protection Zone (RPZ) of the JOLIET RGNL AIRPORT (JOT), RWY 13/31..

Structures, which will result in the congregation of people within an RPZ, are strongly discouraged in the interest of protecting people and property on the ground. In cases where the airport owner can control the use of the property, such structures are prohibited. In cases where the airport owner exercises no such control, advisory recommendations are issued to inform the sponsor of the inadvisability of the project from the standpoint of safety to personnel and property.

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- (a) the construction is started (not necessarily completed) and FAA Form 7460-2, Notice of Actual Construction or Alteration, is received by this office.
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- (c) the construction is subject to the licensing authority of the Federal Communications Commission (FCC) and an application for a construction permit has been filed, as required by the FCC, within 6 months of the date of this determination. In such case, the determination expires on the date prescribed by the FCC for completion of construction, or the date the FCC denies the application.

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This determination does include temporary construction equipment such as cranes, derricks, etc., which may be used during actual construction of the structure. However, this equipment shall not exceed the overall heights as indicated above. Equipment which has a height greater than the studied structure requires separate notice to the FAA.

This determination concerns the effect of this structure on the safe and efficient use of navigable airspace by aircraft and does not relieve the sponsor of compliance responsibilities relating to any law, ordinance, or regulation of any Federal, State, or local government body.

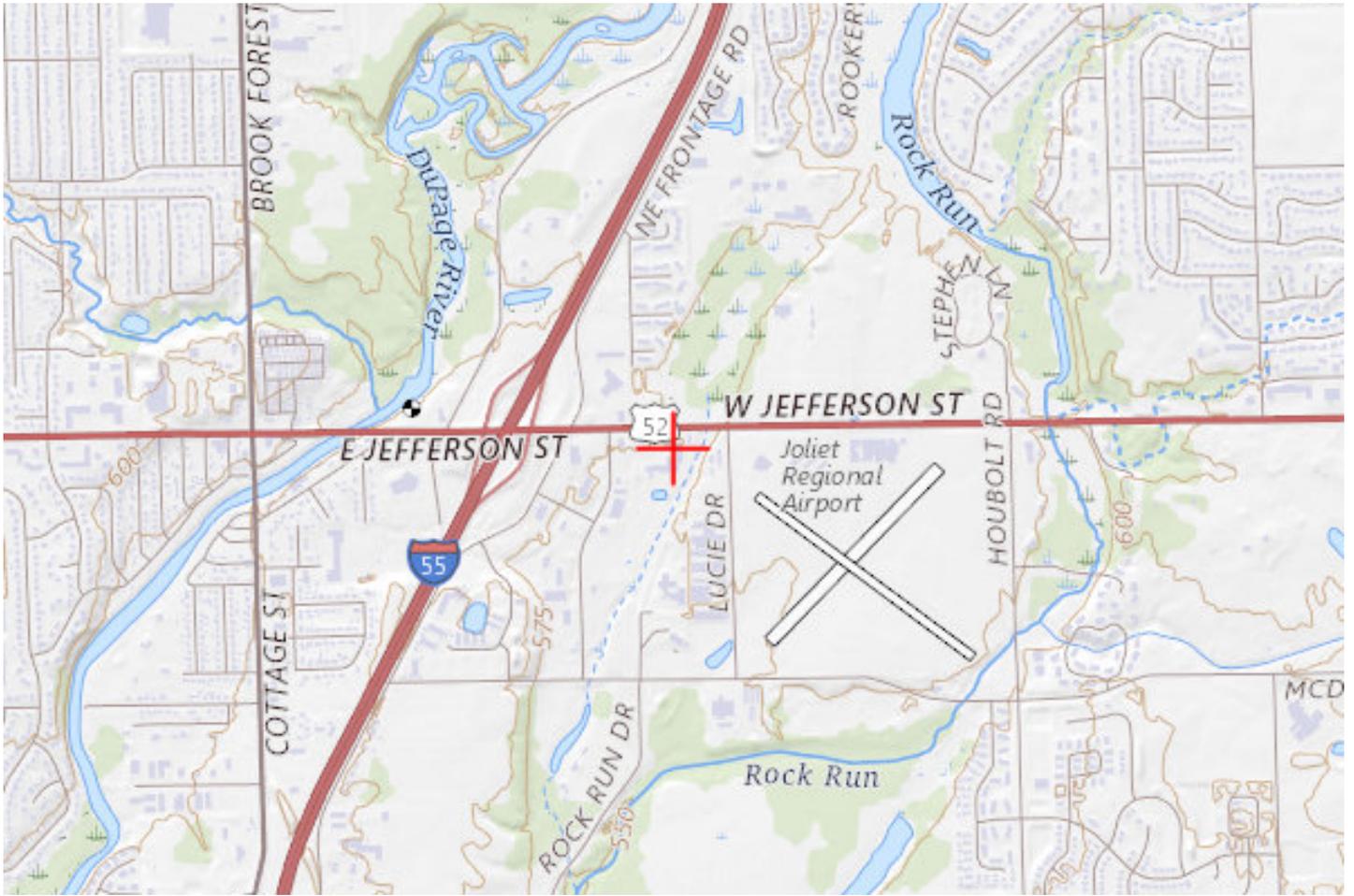
If we can be of further assistance, please contact our office at (847) 294-7458, or fred.souchet@faa.gov. On any future correspondence concerning this matter, please refer to Aeronautical Study Number 2023-AGL-16382-OE.

Signature Control No: 596637514-599030001

(DNE)

Fred Souchet
Specialist

Attachment(s)
Map(s)





Mail Processing Center
 Federal Aviation Administration
 Southwest Regional Office
 Obstruction Evaluation Group
 10101 Hillwood Parkway
 Fort Worth, TX 76177

Aeronautical Study No.
 2023-AGL-16383-OE
 Prior Study No.
 2023-AGL-13025-OE

Issued Date: 09/22/2023

Gurnoor Kaur
 Amerco Real Estate Company
 2727 N Central Ave., Suite 500
 Phoenix, AZ 85004

**** DETERMINATION OF NO HAZARD TO AIR NAVIGATION ****

The Federal Aviation Administration has conducted an aeronautical study under the provisions of 49 U.S.C., Section 44718 and if applicable Title 14 of the Code of Federal Regulations, part 77, concerning:

Structure: Commercial Use Building Proposed 3-story bldg.-center point
 Location: Joliet, IL
 Latitude: 41-31-15.00N NAD 83
 Longitude: 88-10-56.00W
 Heights: 576 feet site elevation (SE)
 37 feet above ground level (AGL)
 613 feet above mean sea level (AMSL)

This aeronautical study revealed that the structure does not exceed obstruction standards and would not be a hazard to air navigation provided the following condition(s), if any, is(are) met:

It is required that FAA Form 7460-2, Notice of Actual Construction or Alteration, be e-filed any time the project is abandoned or:

- At least 10 days prior to start of construction (7460-2, Part 1)
- Within 5 days after the construction reaches its greatest height (7460-2, Part 2)

Based on this evaluation, marking and lighting are not necessary for aviation safety. However, if marking/lighting are accomplished on a voluntary basis, we recommend it be installed in accordance with FAA Advisory circular 70/7460-1 M.

ADVISORY RECOMMENDATION - While the structure does not constitute a hazard to air navigation, it would be located within the Runway Protection Zone (RPZ) of the JOLIET RGNL AIRPORT (JOT), RWY 13/31. .

Structures, which will result in the congregation of people within an RPZ, are strongly discouraged in the interest of protecting people and property on the ground. In cases where the airport owner can control the use of the property, such structures are prohibited. In cases where the airport owner exercises no such control, advisory recommendations are issued to inform the sponsor of the inadvisability of the project from the standpoint of safety to personnel and property.

Any height exceeding 37 feet above ground level (613 feet above mean sea level), will result in a substantial adverse effect and would warrant a Determination of Hazard to Air Navigation.

This determination expires on 03/22/2025 unless:

- (a) the construction is started (not necessarily completed) and FAA Form 7460-2, Notice of Actual Construction or Alteration, is received by this office.
- (b) extended, revised, or terminated by the issuing office.
- (c) the construction is subject to the licensing authority of the Federal Communications Commission (FCC) and an application for a construction permit has been filed, as required by the FCC, within 6 months of the date of this determination. In such case, the determination expires on the date prescribed by the FCC for completion of construction, or the date the FCC denies the application.

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This determination is based, in part, on the foregoing description which includes specific coordinates, heights, frequency(ies) and power. Any changes in coordinates, heights, and frequencies or use of greater power, except those frequencies specified in the Colo Void Clause Coalition; Antenna System Co-Location; Voluntary Best Practices, will void this determination. Any future construction or alteration, including increase to heights, power, or the addition of other transmitters, requires separate notice to the FAA. This determination includes all previously filed frequencies and power for this structure.

If construction or alteration is dismantled or destroyed, you must submit notice to the FAA within 5 days after the construction or alteration is dismantled or destroyed.

This determination does include temporary construction equipment such as cranes, derricks, etc., which may be used during actual construction of the structure. However, this equipment shall not exceed the overall heights as indicated above. Equipment which has a height greater than the studied structure requires separate notice to the FAA.

This determination concerns the effect of this structure on the safe and efficient use of navigable airspace by aircraft and does not relieve the sponsor of compliance responsibilities relating to any law, ordinance, or regulation of any Federal, State, or local government body.

If we can be of further assistance, please contact our office at (847) 294-7458, or fred.souchet@faa.gov. On any future correspondence concerning this matter, please refer to Aeronautical Study Number 2023-AGL-16383-OE.

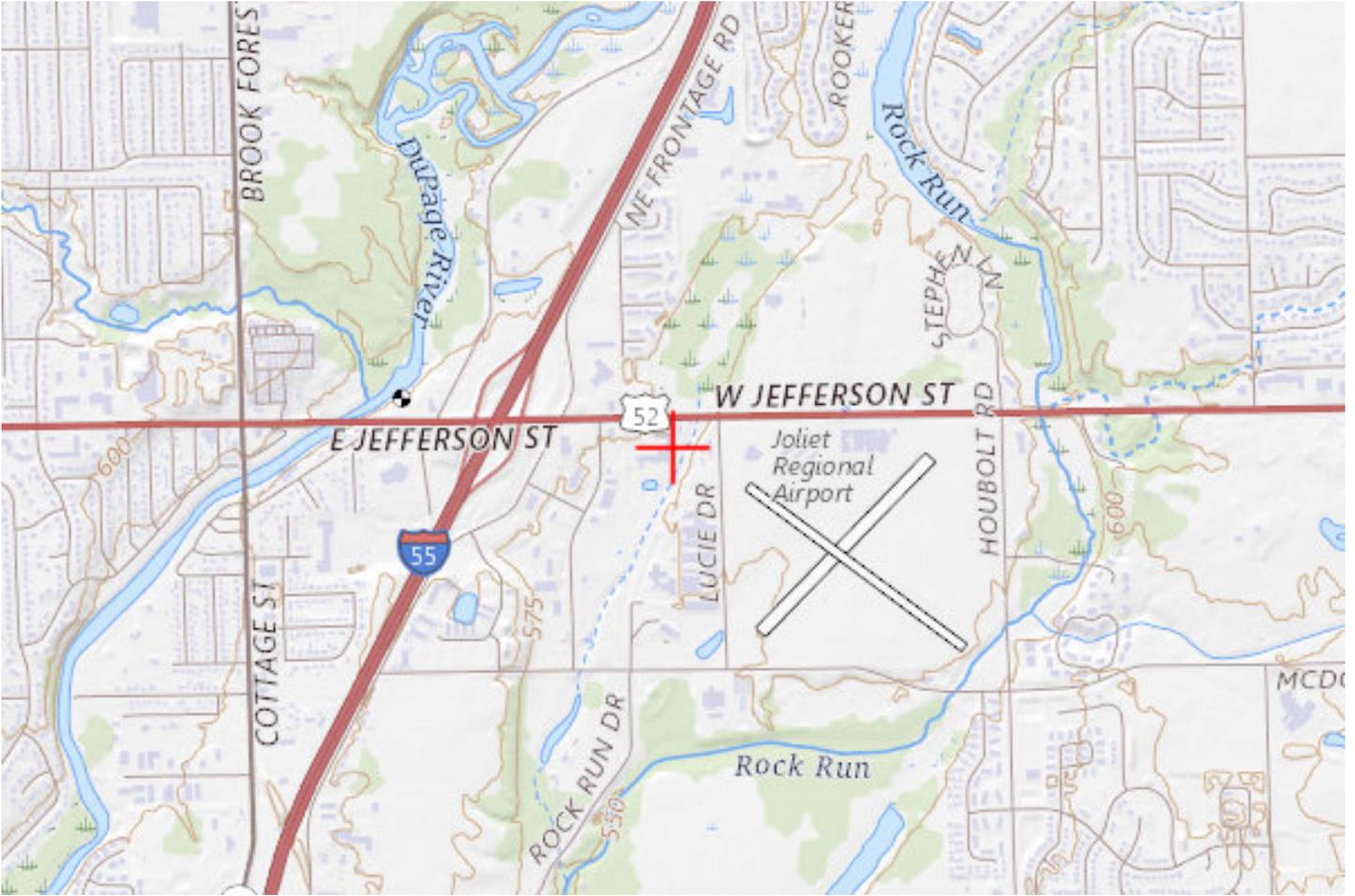
Signature Control No: 596637515-599963691

(DNE)

Fred Souchet
Specialist

Attachment(s)

Map(s)





Mail Processing Center
 Federal Aviation Administration
 Southwest Regional Office
 Obstruction Evaluation Group
 10101 Hillwood Parkway
 Fort Worth, TX 76177

Aeronautical Study No.
 2023-AGL-16379-OE
 Prior Study No.
 2023-AGL-13025-OE

Issued Date: 09/22/2023

Gurnoor Kaur
 Amerco Real Estate Company
 2727 N Central Ave., Suite 500
 Phoenix, AZ 85004

**** DETERMINATION OF NO HAZARD TO AIR NAVIGATION ****

The Federal Aviation Administration has conducted an aeronautical study under the provisions of 49 U.S.C., Section 44718 and if applicable Title 14 of the Code of Federal Regulations, part 77, concerning:

Structure:	Commercial Use Building Proposed 3-story bldg.-NE corner
Location:	Joliet, IL
Latitude:	41-31-16.00N NAD 83
Longitude:	88-10-55.00W
Heights:	576 feet site elevation (SE)
	37 feet above ground level (AGL)
	613 feet above mean sea level (AMSL)

This aeronautical study revealed that the structure does not exceed obstruction standards and would not be a hazard to air navigation provided the following condition(s), if any, is(are) met:

It is required that FAA Form 7460-2, Notice of Actual Construction or Alteration, be e-filed any time the project is abandoned or:

- At least 10 days prior to start of construction (7460-2, Part 1)
- Within 5 days after the construction reaches its greatest height (7460-2, Part 2)

Based on this evaluation, marking and lighting are not necessary for aviation safety. However, if marking/lighting are accomplished on a voluntary basis, we recommend it be installed in accordance with FAA Advisory circular 70/7460-1 M.

ADVISORY RECOMMENDATION - While the structure does not constitute a hazard to air navigation, it would be located within the Runway Protection Zone (RPZ) of the JOLIET RGNL AIRPORT (JOT), RWY 13/31. .

Structures, which will result in the congregation of people within an RPZ, are strongly discouraged in the interest of protecting people and property on the ground. In cases where the airport owner can control the use of the property, such structures are prohibited. In cases where the airport owner exercises no such control, advisory recommendations are issued to inform the sponsor of the inadvisability of the project from the standpoint of safety to personnel and property.

Any height exceeding 37 feet above ground level (613 feet above mean sea level), will result in a substantial adverse effect and would warrant a Determination of Hazard to Air Navigation.

This determination expires on 03/22/2025 unless:

- (a) the construction is started (not necessarily completed) and FAA Form 7460-2, Notice of Actual Construction or Alteration, is received by this office.
- (b) extended, revised, or terminated by the issuing office.
- (c) the construction is subject to the licensing authority of the Federal Communications Commission (FCC) and an application for a construction permit has been filed, as required by the FCC, within 6 months of the date of this determination. In such case, the determination expires on the date prescribed by the FCC for completion of construction, or the date the FCC denies the application.

NOTE: REQUEST FOR EXTENSION OF THE EFFECTIVE PERIOD OF THIS DETERMINATION MUST BE E-FILED AT LEAST 15 DAYS PRIOR TO THE EXPIRATION DATE. AFTER RE-EVALUATION OF CURRENT OPERATIONS IN THE AREA OF THE STRUCTURE TO DETERMINE THAT NO SIGNIFICANT AERONAUTICAL CHANGES HAVE OCCURRED, YOUR DETERMINATION MAY BE ELIGIBLE FOR ONE EXTENSION OF THE EFFECTIVE PERIOD.

This determination is based, in part, on the foregoing description which includes specific coordinates, heights, frequency(ies) and power. Any changes in coordinates, heights, and frequencies or use of greater power, except those frequencies specified in the Colo Void Clause Coalition; Antenna System Co-Location; Voluntary Best Practices, will void this determination. Any future construction or alteration, including increase to heights, power, or the addition of other transmitters, requires separate notice to the FAA. This determination includes all previously filed frequencies and power for this structure.

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This determination concerns the effect of this structure on the safe and efficient use of navigable airspace by aircraft and does not relieve the sponsor of compliance responsibilities relating to any law, ordinance, or regulation of any Federal, State, or local government body.

If we can be of further assistance, please contact our office at (847) 294-7458, or fred.souchet@faa.gov. On any future correspondence concerning this matter, please refer to Aeronautical Study Number 2023-AGL-16379-OE.

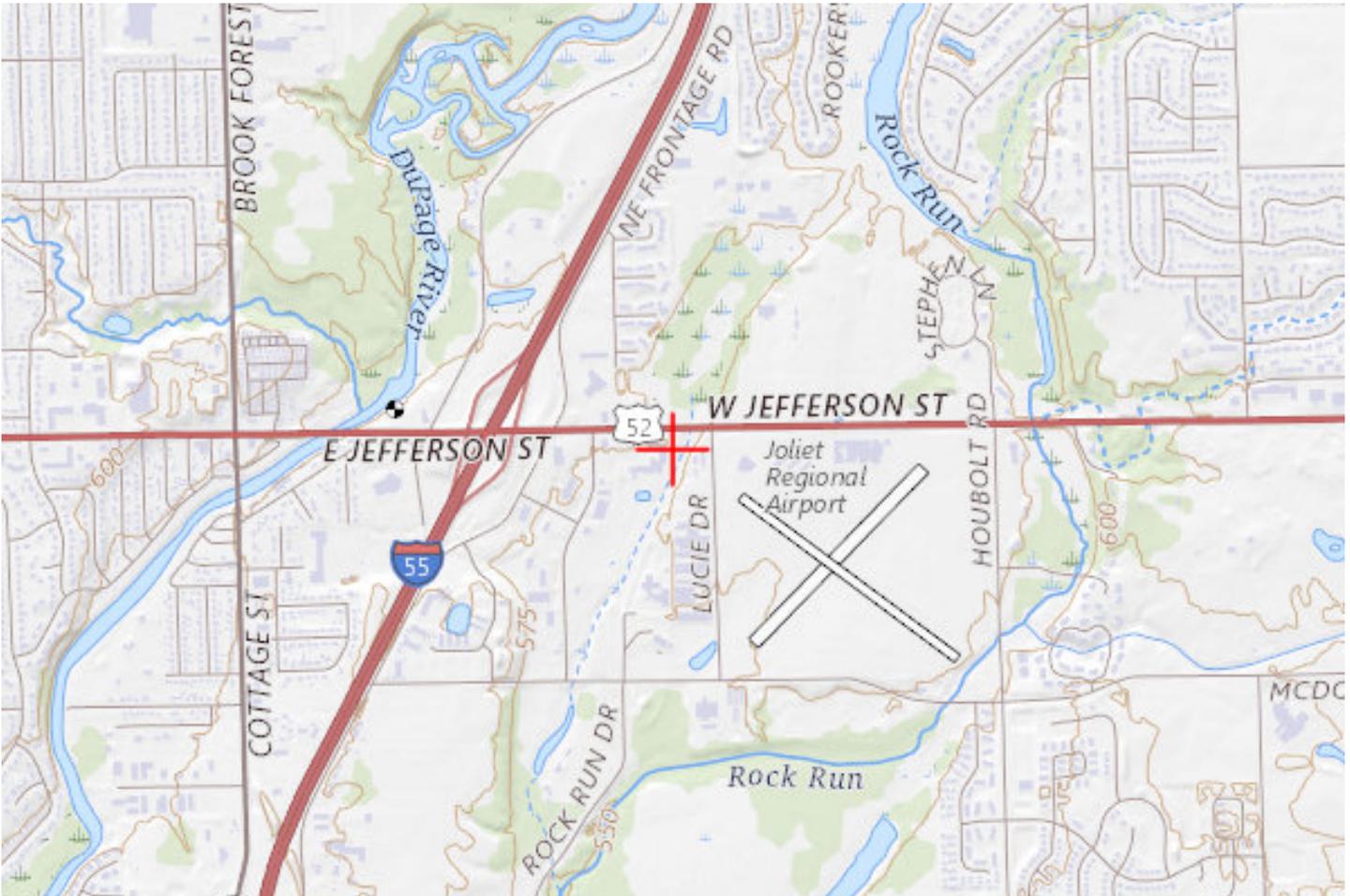
Signature Control No: 596637511-599963307

(DNE)

Fred Souchet
Specialist

Attachment(s)

Map(s)





Mail Processing Center
 Federal Aviation Administration
 Southwest Regional Office
 Obstruction Evaluation Group
 10101 Hillwood Parkway
 Fort Worth, TX 76177

Aeronautical Study No.
 2023-AGL-16388-OE
 Prior Study No.
 2023-AGL-13025-OE

Issued Date: 09/12/2023

Gurnoor Kaur
 Amerco Real Estate Company
 2727 N Central Ave., Suite 500
 Phoenix, AZ 85004

**** DETERMINATION OF NO HAZARD TO AIR NAVIGATION ****

The Federal Aviation Administration has conducted an aeronautical study under the provisions of 49 U.S.C., Section 44718 and if applicable Title 14 of the Code of Federal Regulations, part 77, concerning:

Structure:	Commercial Use Building Proposed 1-story bldg.-center point
Location:	Joliet, IL
Latitude:	41-31-14.00N NAD 83
Longitude:	88-11-00.00W
Heights:	576 feet site elevation (SE)
	50 feet above ground level (AGL)
	626 feet above mean sea level (AMSL)

This aeronautical study revealed that the structure does not exceed obstruction standards and would not be a hazard to air navigation provided the following condition(s), if any, is(are) met:

It is required that FAA Form 7460-2, Notice of Actual Construction or Alteration, be e-filed any time the project is abandoned or:

- At least 10 days prior to start of construction (7460-2, Part 1)
- Within 5 days after the construction reaches its greatest height (7460-2, Part 2)

Based on this evaluation, marking and lighting are not necessary for aviation safety. However, if marking/lighting are accomplished on a voluntary basis, we recommend it be installed in accordance with FAA Advisory circular 70/7460-1 M.

This determination expires on 03/12/2025 unless:

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If we can be of further assistance, please contact our office at (847) 294-7458, or fred.souchet@faa.gov. On any future correspondence concerning this matter, please refer to Aeronautical Study Number 2023-AGL-16388-OE.

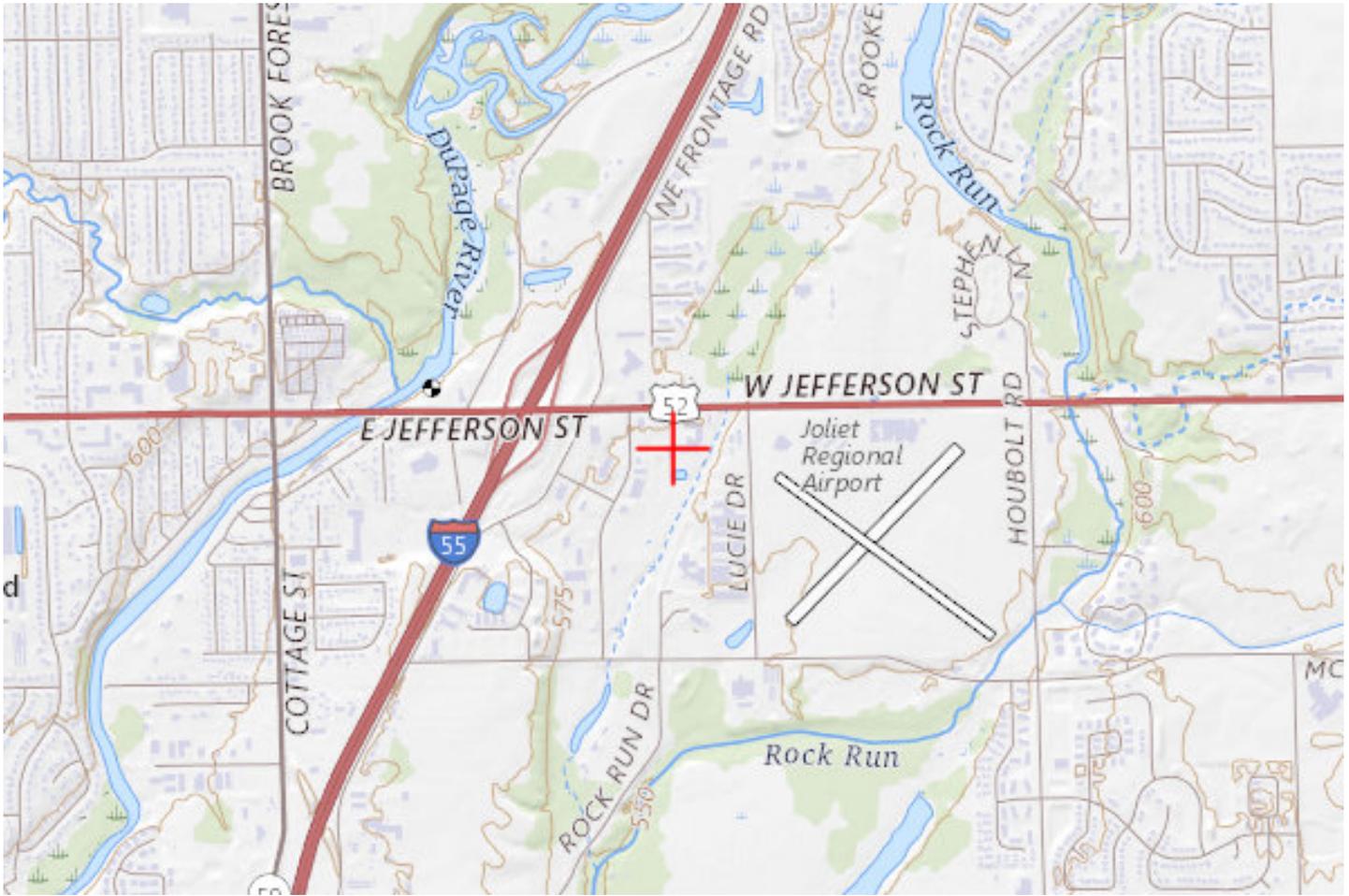
Signature Control No: 596637520-599030122

Fred Souchet
Specialist

(DNE)

Attachment(s)

Map(s)





Mail Processing Center
 Federal Aviation Administration
 Southwest Regional Office
 Obstruction Evaluation Group
 10101 Hillwood Parkway
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Aeronautical Study No.
 2023-AGL-16388-OE
 Prior Study No.
 2023-AGL-13025-OE

Issued Date: 09/12/2023

Gurnoor Kaur
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Structure: Commercial Use Building Proposed 1-story bldg.-center point
 Location: Joliet, IL
 Latitude: 41-31-14.00N NAD 83
 Longitude: 88-11-00.00W
 Heights: 576 feet site elevation (SE)
 50 feet above ground level (AGL)
 626 feet above mean sea level (AMSL)

This aeronautical study revealed that the structure does not exceed obstruction standards and would not be a hazard to air navigation provided the following condition(s), if any, is(are) met:

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- (b) extended, revised, or terminated by the issuing office.
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NOTE: REQUEST FOR EXTENSION OF THE EFFECTIVE PERIOD OF THIS DETERMINATION MUST BE E-FILED AT LEAST 15 DAYS PRIOR TO THE EXPIRATION DATE. AFTER RE-EVALUATION OF CURRENT OPERATIONS IN THE AREA OF THE STRUCTURE TO DETERMINE THAT NO SIGNIFICANT AERONAUTICAL CHANGES HAVE OCCURRED, YOUR DETERMINATION MAY BE ELIGIBLE FOR ONE EXTENSION OF THE EFFECTIVE PERIOD.

This determination is based, in part, on the foregoing description which includes specific coordinates, heights, frequency(ies) and power. Any changes in coordinates, heights, and frequencies or use of greater power, except those frequencies specified in the Colo Void Clause Coalition; Antenna System Co-Location; Voluntary Best Practices, will void this determination. Any future construction or alteration, including increase to heights, power, or the addition of other transmitters, requires separate notice to the FAA. This determination includes all previously filed frequencies and power for this structure.

If construction or alteration is dismantled or destroyed, you must submit notice to the FAA within 5 days after the construction or alteration is dismantled or destroyed.

This determination does include temporary construction equipment such as cranes, derricks, etc., which may be used during actual construction of the structure. However, this equipment shall not exceed the overall heights as indicated above. Equipment which has a height greater than the studied structure requires separate notice to the FAA.

This determination concerns the effect of this structure on the safe and efficient use of navigable airspace by aircraft and does not relieve the sponsor of compliance responsibilities relating to any law, ordinance, or regulation of any Federal, State, or local government body.

If we can be of further assistance, please contact our office at (847) 294-7458, or fred.souchet@faa.gov. On any future correspondence concerning this matter, please refer to Aeronautical Study Number 2023-AGL-16388-OE.

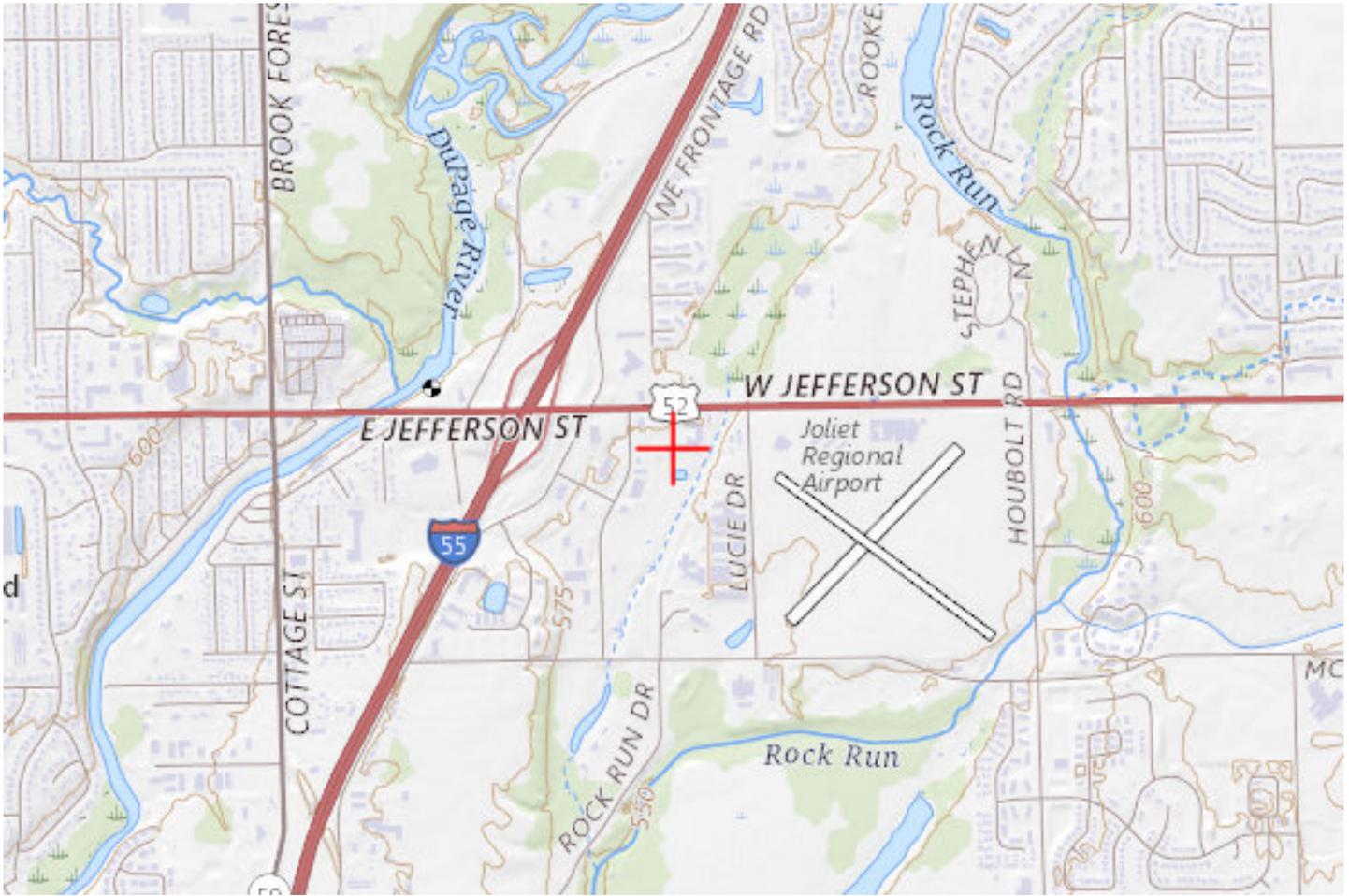
Signature Control No: 596637520-599030122

Fred Souchet
Specialist

(DNE)

Attachment(s)

Map(s)





Mail Processing Center
 Federal Aviation Administration
 Southwest Regional Office
 Obstruction Evaluation Group
 10101 Hillwood Parkway
 Fort Worth, TX 76177

Aeronautical Study No.
 2023-AGL-16388-OE
 Prior Study No.
 2023-AGL-13025-OE

Issued Date: 09/12/2023

Gurnoor Kaur
 Amerco Real Estate Company
 2727 N Central Ave., Suite 500
 Phoenix, AZ 85004

**** DETERMINATION OF NO HAZARD TO AIR NAVIGATION ****

The Federal Aviation Administration has conducted an aeronautical study under the provisions of 49 U.S.C., Section 44718 and if applicable Title 14 of the Code of Federal Regulations, part 77, concerning:

Structure:	Commercial Use Building Proposed 1-story bldg.-center point
Location:	Joliet, IL
Latitude:	41-31-14.00N NAD 83
Longitude:	88-11-00.00W
Heights:	576 feet site elevation (SE)
	50 feet above ground level (AGL)
	626 feet above mean sea level (AMSL)

This aeronautical study revealed that the structure does not exceed obstruction standards and would not be a hazard to air navigation provided the following condition(s), if any, is(are) met:

It is required that FAA Form 7460-2, Notice of Actual Construction or Alteration, be e-filed any time the project is abandoned or:

- At least 10 days prior to start of construction (7460-2, Part 1)
- Within 5 days after the construction reaches its greatest height (7460-2, Part 2)

Based on this evaluation, marking and lighting are not necessary for aviation safety. However, if marking/lighting are accomplished on a voluntary basis, we recommend it be installed in accordance with FAA Advisory circular 70/7460-1 M.

This determination expires on 03/12/2025 unless:

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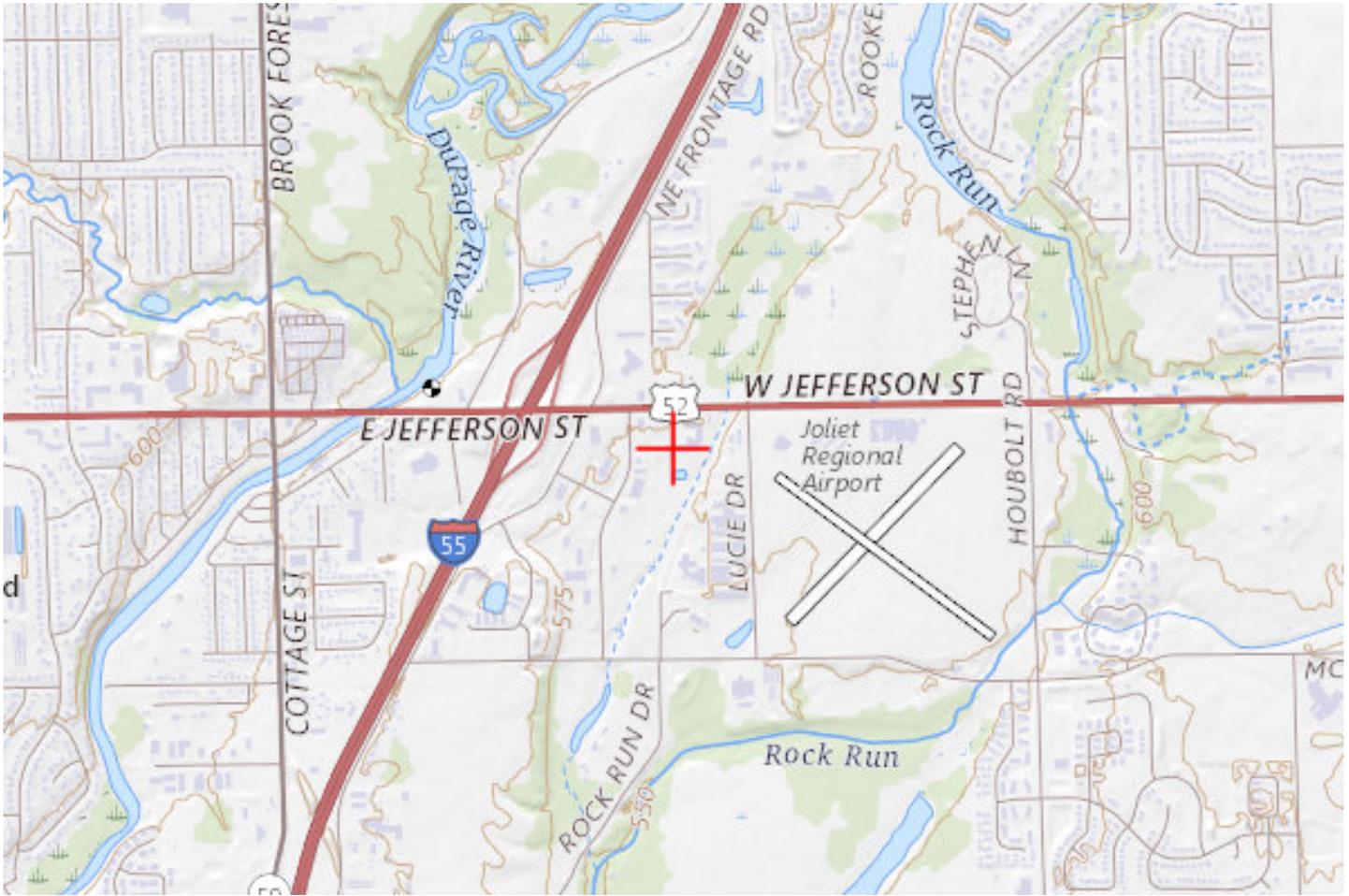
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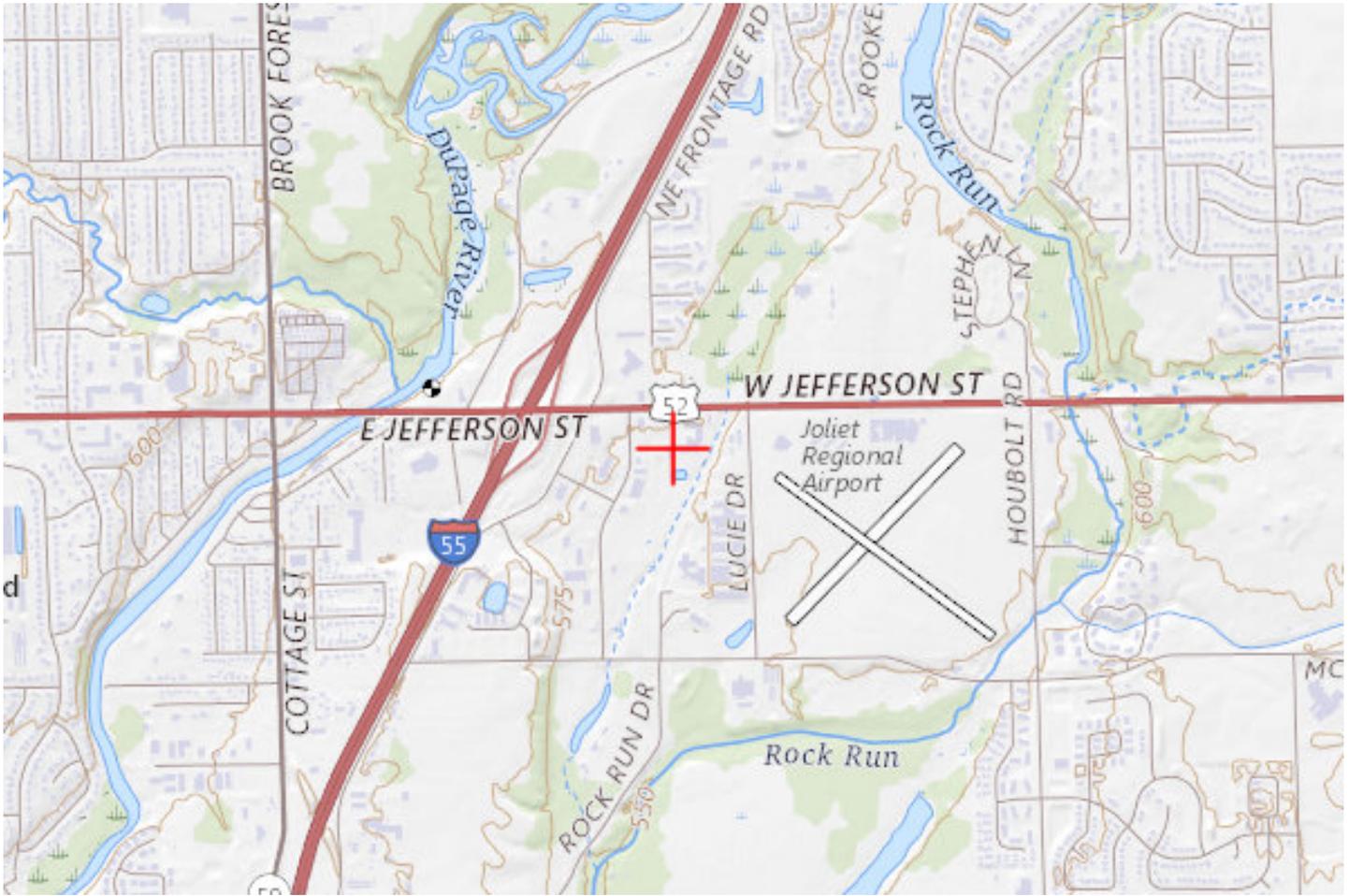
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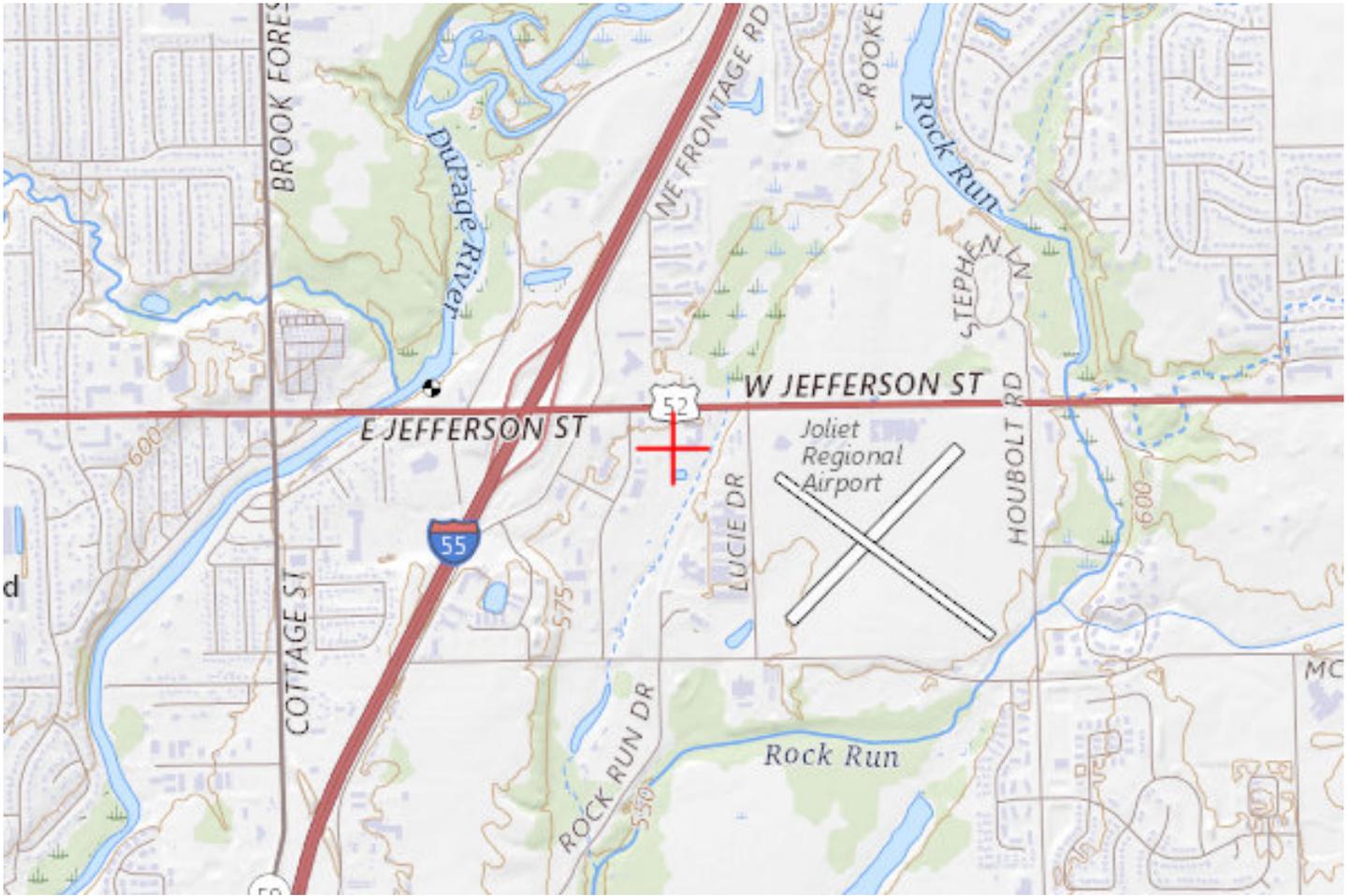
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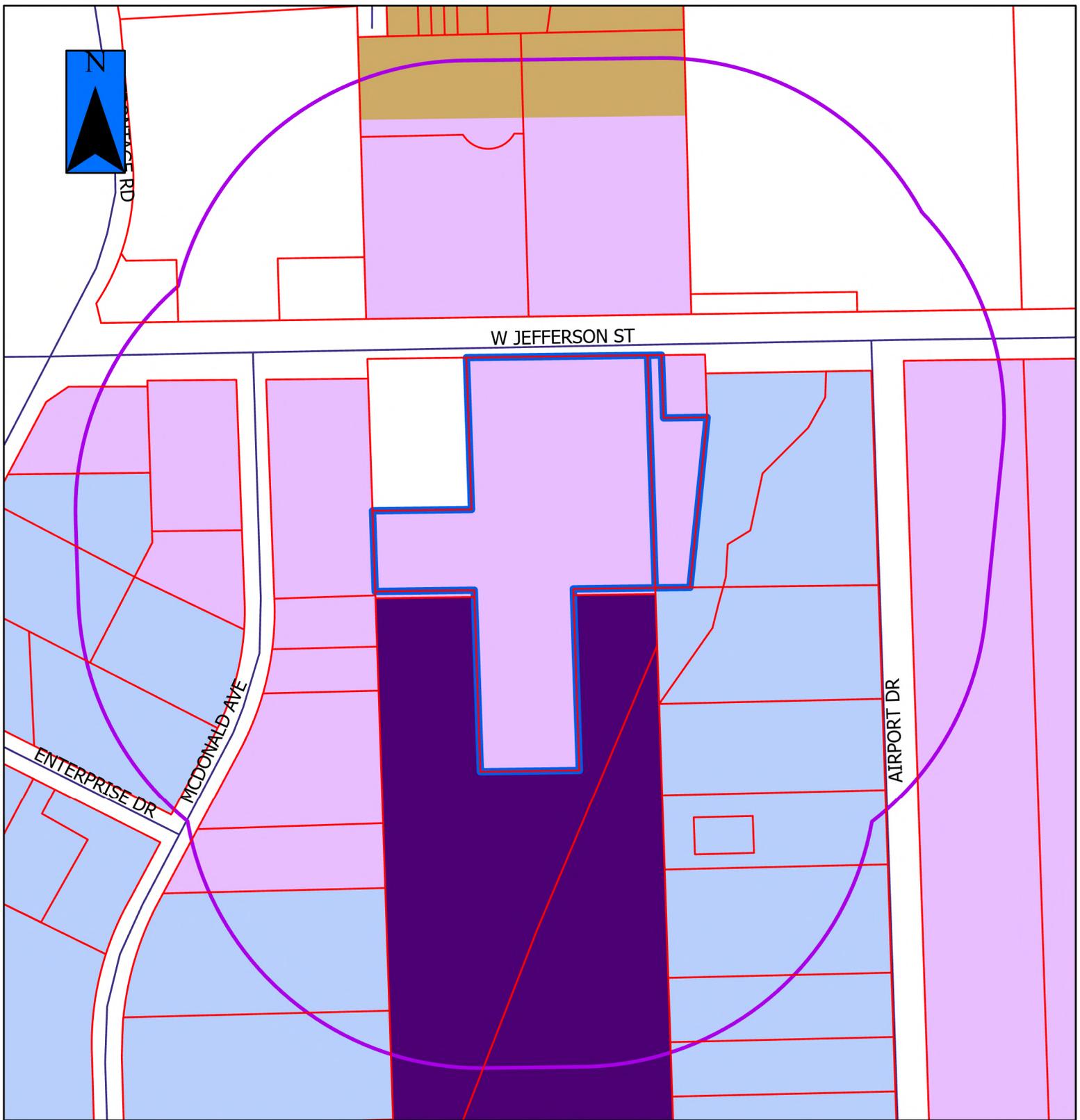
WPA
JOIE

WPA



TRAN SUICIDE
ESS FUNDRAISER
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walk, run, jog
FW Post 1493
Frankfort, IL



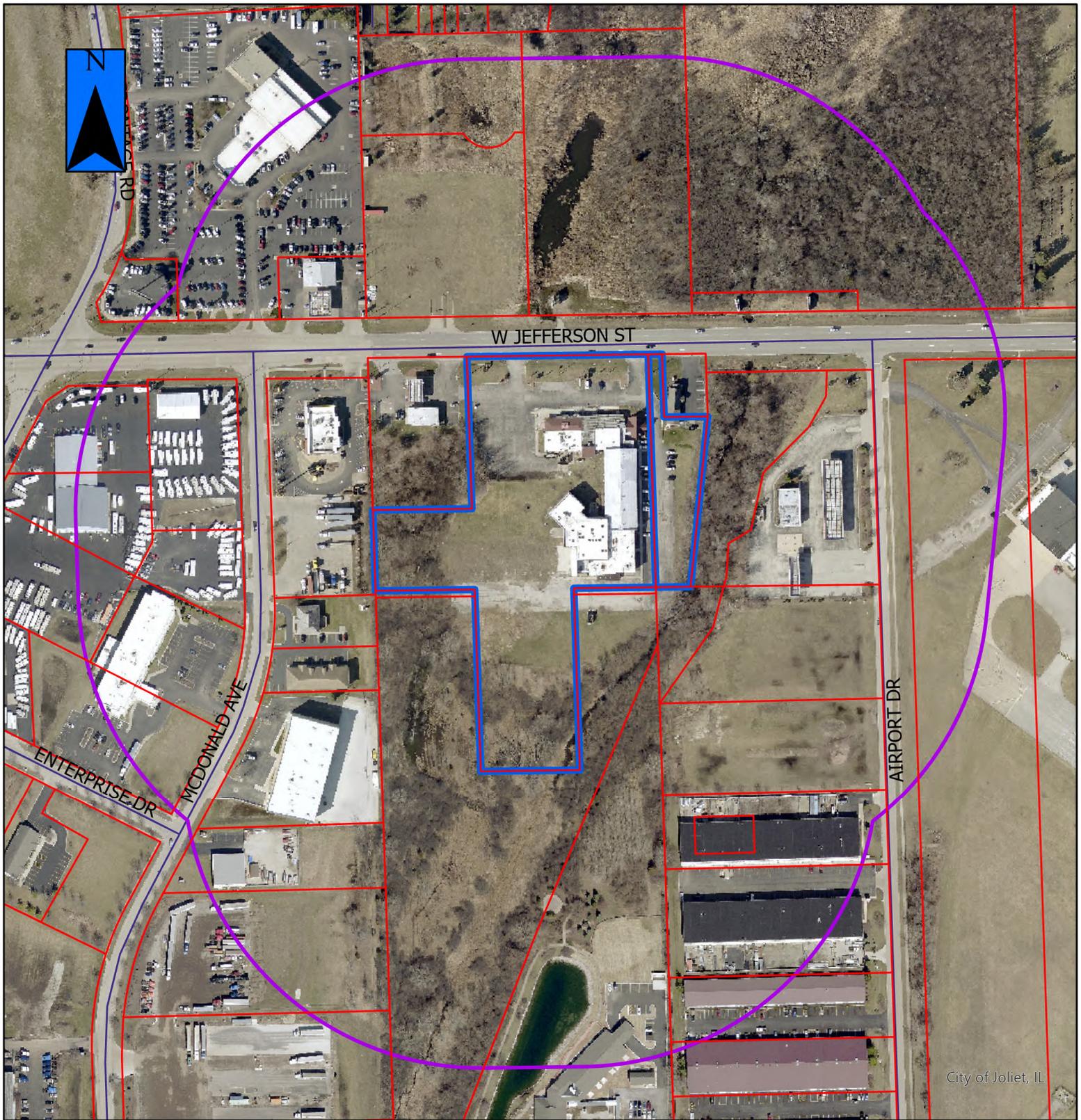


**2023-50, 2023-51, 2023-52,
2023-53, & 2023-54**



 = Property in Question
 = 600' Public Notification Boundary

Legend					
	B-1		I-TA		R-2
	B-2		I-TB		R-2A
	B-3		I-TC		R-3
	I-1		R-1		R-4
	I-2		R-1A		R-5
	I-T		R-1B		R-B



**2023-50a, 2023-51a, 2023-52a,
2023-53a, & 2023-54a**



-  = Property in Question / Propiedad en cuestión
-  = 600' Public Notification Boundary / Límite de notificación pública de 600 ft (180 m)