

## **STAFF REPORT**

**DATE:** December 10, 2025  
**TO:** Zoning Board of Appeals  
**FROM:** Francisco Jimenez, Planner  
**RE:** Petition Number: 2025-59  
Applicant / Owner: Airoom LLC / Marcus Brightwell & Devera Leslie  
Location: 6303 Brunswick Drive (Council District #1)  
Request: A Variation to reduce the total sum of side yard setback from 20' to 16' for a front porch.

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### **Purpose**

The applicant is requesting a Variation to reduce the total sum of side yard setback from 20' to 16' for a front porch located at 6303 Brunswick Drive. The Zoning Board of Appeals makes the final decision in this matter.

### **Site Specific Information**

The subject property is approximately 8,200 square feet in size and is zoned R-2 (Single-Family Residential). A single-family house was constructed here in 2004 within the Pheasant Ridge subdivision.

### **Surrounding Zoning, Land Use and Character**

All properties in this vicinity are zoned R-2 (Single-Family Residential). All homes in the area are 1 ½ or 2 story homes with attached garages. Some residences in the nearby area have an open front porch, like what the applicant is requesting.

### **Applicable Regulations**

- Section 47-6.4 R-2 Single-family Residential Yard and Lot Requirements
- Section 47-19.8 Criteria for Granting a Variation (refer to attachment)

### **Discussion**

The applicant seeks to build a 1 story open front porch. The proposed open front porch will have a height of 8' from foundation to the lower eave. The proposed open front porch will extend 8' from the front façade of the home and will match the width of the main portion of the front façade, which is 23' wide. The side setback of the proposed porch will not encroach further into the required side yard and will remain at 8'. The construction of the proposed front porch will not increase lot coverage and will not affect any other required setbacks. Floor plans and building elevations for the proposed project are included in the staff report packet.

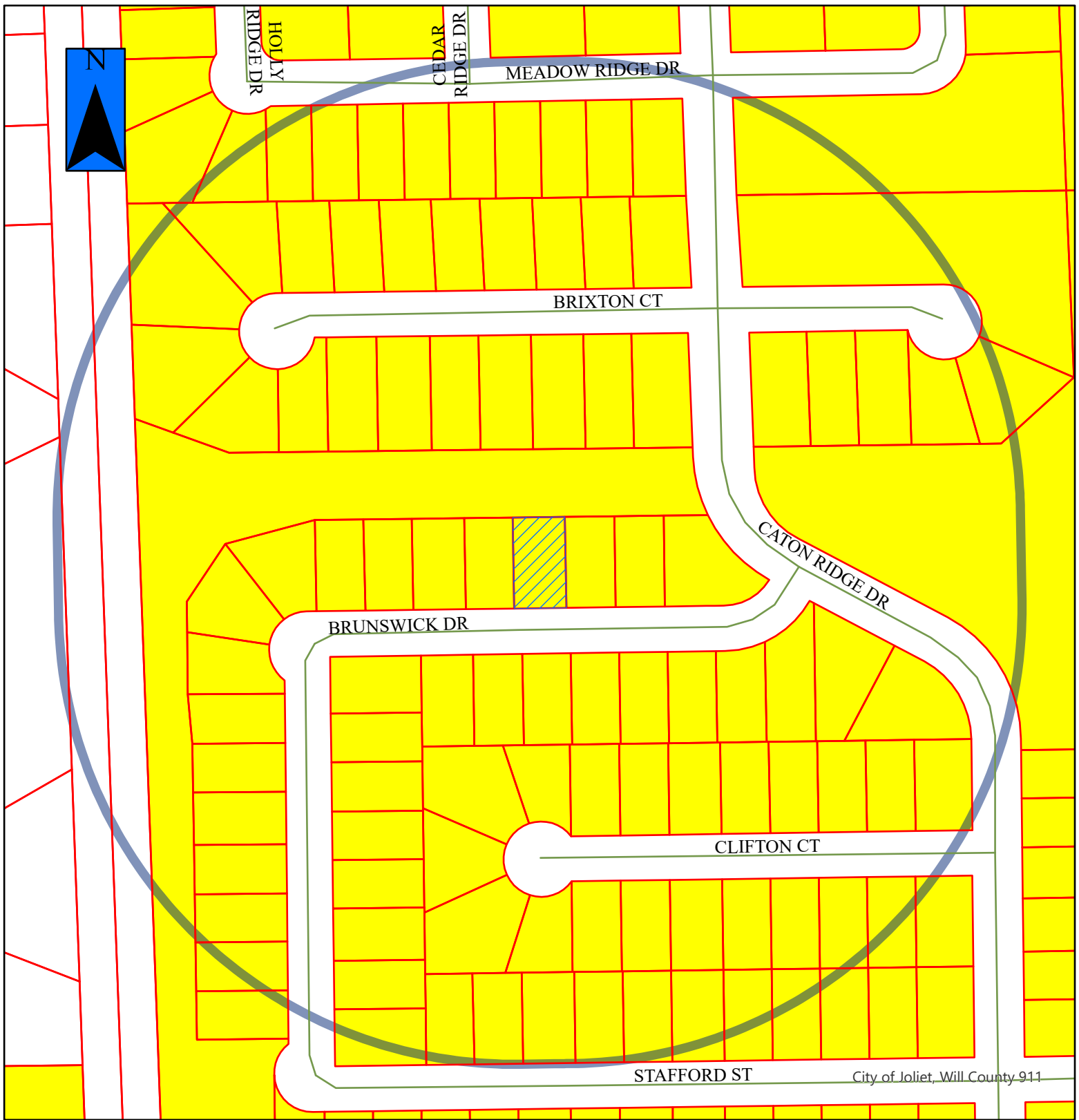
**Recommended Action**

Staff recommends approval of the variation request to reduce the required total side yard setback requirement from 20' 16' for a front porch. The property has unique circumstances in that the total of the existing side yard setbacks is 16', which does not conform to the required 20' total side yard setbacks for a lot in the R-2 zoning district with a 2 or 2 ½ story structure. The front porch would continue, but not increase, the existing non-conforming sum of side yard setbacks. Strict enforcement of the Ordinance would involve practical difficulties to construct a front porch. Staff believes that it is reasonable for a property owner to have an open front porch and such an addition to the house would not encroach into required 30' front yard setback. For this reason, this addition would not detract from the essential character of the neighborhood. Many properties within the subdivision have a covered front porch.

**Conditions**

If the Zoning Board desires to approve these Variation requests to allow a 23' X 8' open front porch, the following conditions should be included:

1. That a building permit shall be obtained prior to construction.



2025-59

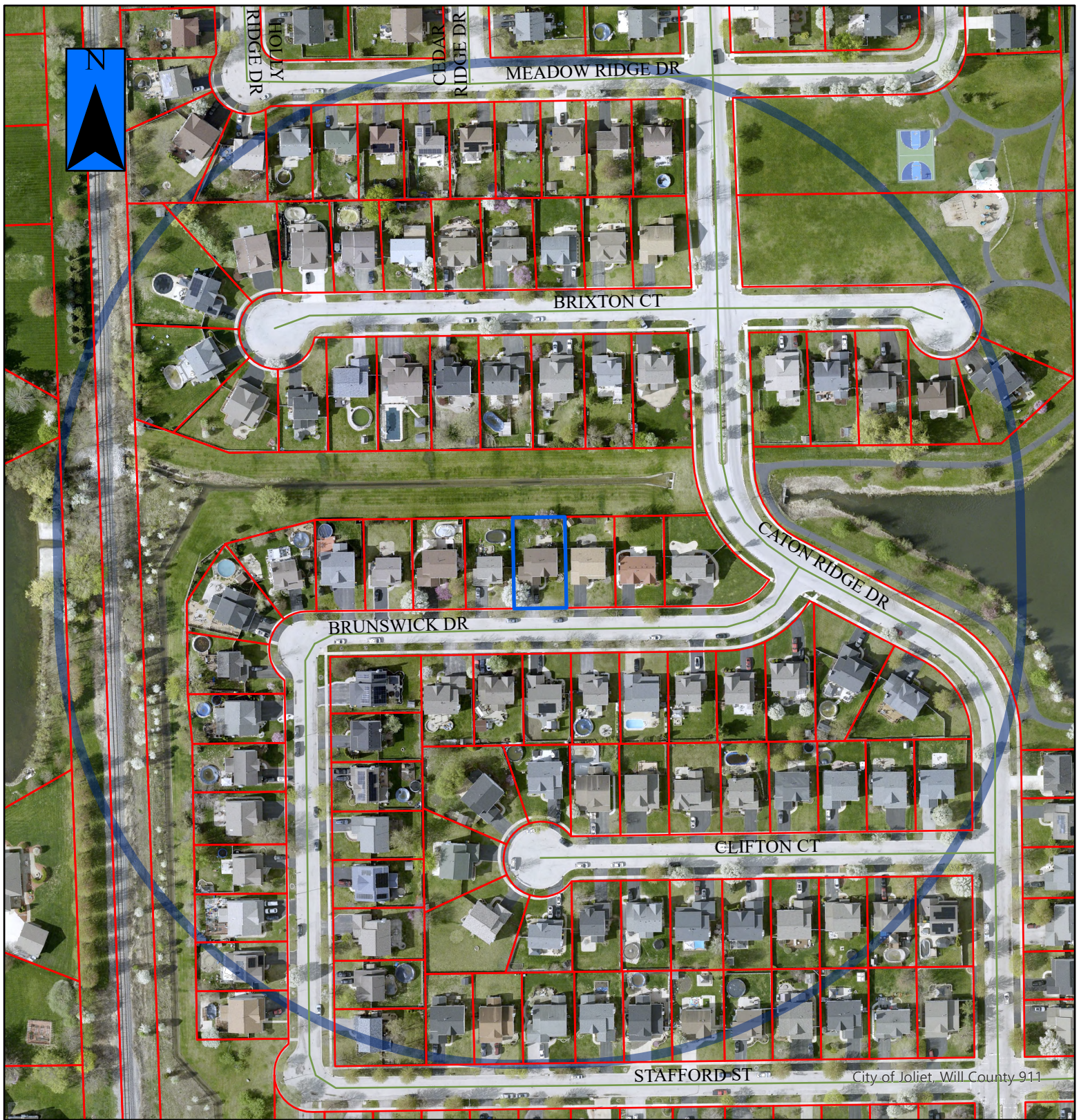


= Property in Question  
= 600' Public Notification Boundary

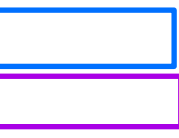
## Legend

B-1	I-TA	R-2
B-2	I-TB	R-2A
B-3	I-TC	R-3
I-1	R-1	R-4
I-2	R-1A	R-5
I-T	R-1B	R-B





2025-59a



= Property in Question / Propiedad en cuestión  
 = 600' Public Notification Boundary /  
 Límite de notificación pública de 600 ft (180 m)



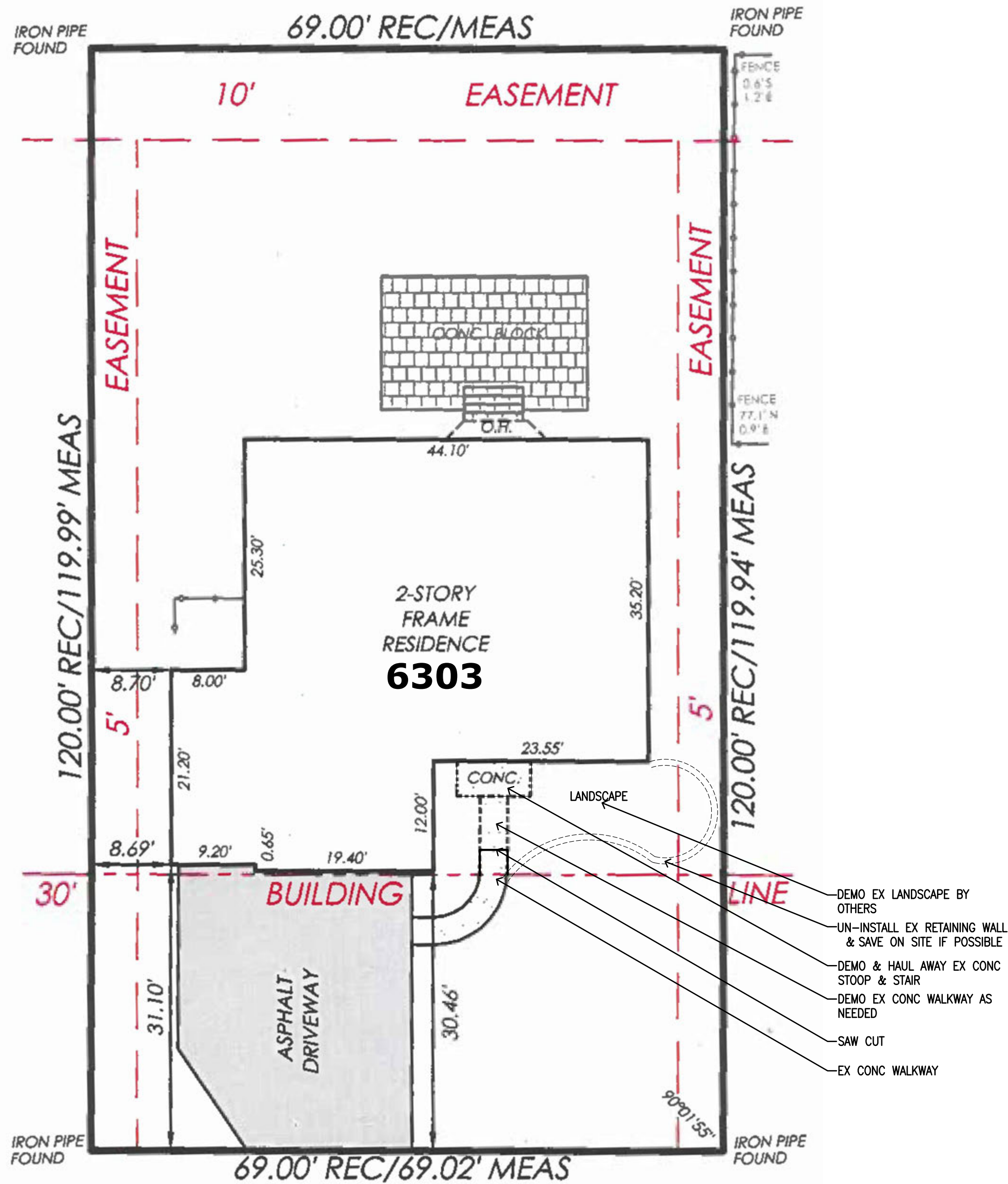




BUYER'S NOTE:

OWNER NOTE: NOTWITHSTANDING THE CONTRACT AND SPECIFICATION TERMS TO THE CONTRARY, ALL REQUIRED SURVEY'S WILL BE ORDERED AND PAID DIRECTLY BY BUYER. SURVEY'S NEEDED WILL BE PER MUNICIPALITY PERMIT DEPARTMENT REQUIREMENTS.

X \_\_\_\_\_ X \_\_\_\_\_



BRUNSWICK DR

**1 DEMO SITE PLAN**  
1" = 20'-0"

ZONING CLASSIFICATION		R2		Single Family and Two-Family Residential District	
ADDRESS:		6303 BRUNSWICK DRIVE			
LINK TO ZONING CODE					
Bulk Regulations	REQUIRED OR ALLOWED	EXISTING	PROPOSED	CHANGE AMOUNT OR AREA	
Minimum Lot Size (square feet)	12000 SF	8279.9 SQFT	EXISTING	NO CHANGE	
Minimum Lot Area per Unit	6000 SF	8279.9 SQFT	EXISTING	NO CHANGE	
Maximum Building Height (feet)	35 FT	27 FT	EXISTING	NO CHANGE	
Minimum Floor Area per Dwelling Unit (square feet)					
Maximum Building Coverage (percentage)	30%	24%	EXISTING	NO CHANGE	
Maximum Impervious Area Coverage (percentage)	45%	38%	40%	INCREASED BY 2%	
Minimum Front Setback (feet)	30 ft.	30.46FT	EXISTING	NO CHANGE	
Minimum Interior Side Setback (feet)-NOTE 1	MIN seven (7) feet and the total of both side yards shall equal at least twenty (20) feet	8.69 FT & 8.25 FT	EXISTING	NO CHANGE	
Minimum Rear Setback (feet)	30 ft.	42.88FT	EXISTING	NO CHANGE	

LEGEND:

EX HARDSCAPE TO REMAIN

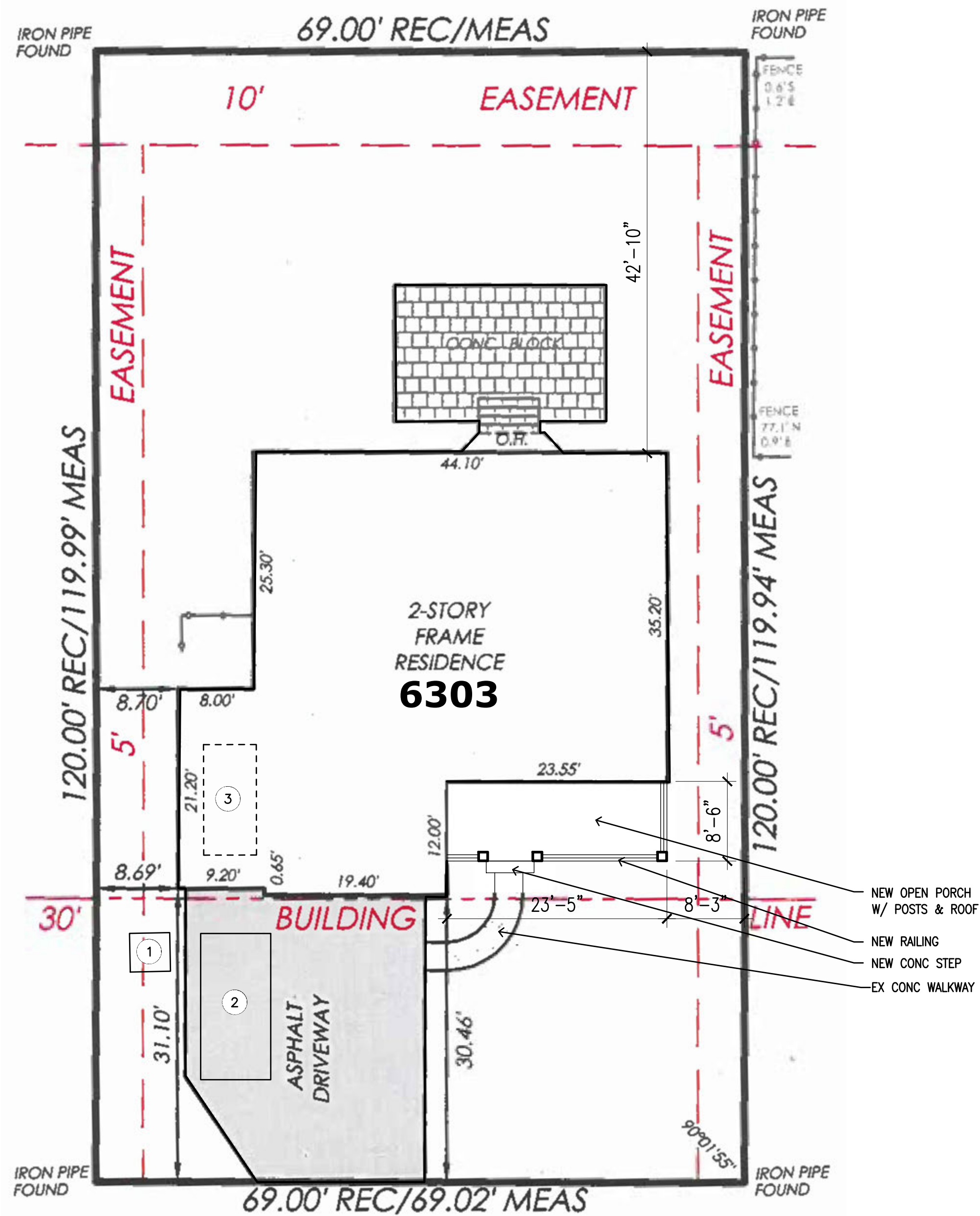
EX. TO BE REMOVED

EX BUILDINGS FOOTPRINT

PROPOSED FOOTPRINT FOR NEW SECOND STORY ADDITION

NEW CONC./MASONRY HARDSCAPE

EX. FIRST FLOOR PLAN FOR REFERENCE ONLY



BRUNSWICK DR

**2 NEW SITE PLAN**  
1" = 20'-0"

- PROVIDE TEMP. SANITARY FACILITY FOR WORKERS DURING CONSTRUCTION. MINIMUM 10'-0" FROM NEIGHBORING LOTS IF POSSIBLE. VIF LOCATION ON SITE W/ BUYER.
- SUPERINTENDENT TO REVIEW ON SITE LOCATION FOR DUMPSTER TO REMOVE DEBRIS UPON COMPLETION OF CONSTRUCTION W/ BUYER.
- BUYER TO PROVIDE TEMPORARY STAGING AND DISCUSS WITH SUPERINTENDENT ON SITE. POSSIBLY IN FRONT OF DUMPSTER, REAR PATIO OR OTHER.

0 5' 10' 20'  
SCALE: 1" = 10'-0"

DEPARTMENT APPROVAL:

READY

10/21/2025

AIROOM ARCHITECTS & BUILDERS

SINCE 1958

Airoom Architects Corp.

6825 N. Lincoln Avenue

Lincolnwood, Illinois 60712

Phone: (847) 763-1100 Fax: (847) 679-0446

Website: www.airoom.com Email: info@airoom.com

ISSUE DATES	DESCRIPTION
08/05/2025	PUBLISHED FOR ECD
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	PUBLISHED FOR OKFC

THESE DRAWINGS AND THE CONSTRUCTION SPECIFICATION GUIDE ARE THE PROPRIETARY WORK PRODUCT AND PROPERTY OF AIROOM ARCHITECTS CORP. PREPARED AND DEVELOPED SOLELY FOR THE EXCLUSIVE USE OF AIROOM ARCHITECTS CORP. IN CONNECTION WITH THE SALES CONTRACT BETWEEN AIROOM ARCHITECTS CORP. AND BUYERS.

USE OF THESE PLANS AND THE CONCEPTS CONTAINED THEREIN WITHOUT THE PRIOR WRITTEN PERMISSION OF AIROOM ARCHITECTS CORP. IS PROHIBITED AND MAY SUBJECT YOU TO A CLAIM FOR DAMAGES FROM AIROOM ARCHITECTS CORP. AIROOM ARCHITECTS CORP. IS A SUBCONTRACTOR OF AIROOM LLC.

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**CERTIFICATION STATEMENT:**

I hereby certify that these drawings and specifications were prepared under my direct supervision and to the best of my knowledge comply with all the current zoning and building codes and ordinances in effect at the time of application. I also certify that I am a certified and registered energy professional and that these plans comply with the State of Illinois Conservation Code (as required by State Legislation and/or the local jurisdiction Energy code in force as stated in the Building Code Information section, see sheet G1.0.

6303 BRUNSWICK DRIVE  
PLAINFIELD, IL 60586  
LICENSE NO. 001-018620  
ARCHITECT NAME: MARK J. PELLETIERI  
EXPIRATION DATE: 11-30-2026

DATE SIGNED:

I/WE, THE BUYER(S), HAVE EXAMINED THE AIROOM ARCHITECTS CORP. DOCUMENTS & AIROOM ARCHITECTS CORP. CONSTRUCTION SPEC GUIDE.

I/WE, THE BUYER(S), UNDERSTAND AND AGREE TO THE TERMS, CONDITIONS AND SELECTIONS CONTAINED WITHIN THE AIROOM ARCHITECTS CORP. DOCUMENTS AND APPROVE THE CORRECTIONS NOTED.

BUYER \_\_\_\_\_ DATE \_\_\_\_\_

BUYER \_\_\_\_\_ DATE \_\_\_\_\_

AIROOM REPRESENTATIVE \_\_\_\_\_ DATE \_\_\_\_\_

PROJECT INFORMATION:

**BRIGHTWELL**  
**MARCUS & LESLIE**  
**6303 BRUNSWICK DRIVE**  
**PLAINFIELD, IL 60586**  
**MARCUS - (847) 917 - 3434**  
**MWBRIGHTWELL@GMAIL.COM**

PROJECT TEAM:

PROJECT COORDINATOR: LAURA DRATHS

PROJECT MANAGER: RICK BOLICH

PROJECT ARCHITECT: MARK PELLETIERI

PROJECT DEV MANAGER: REED KEMP

ARCHITECT TEAM: JINYONG LEE

PCC TEAM: NA

KITCHEN & BATH TEAM: NA

SUPERINTENDENT: NAME

PROJECT NO: 250074

SHEET TITLE: DEMO & NEW SITE PLANS & ZONING INFO

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APD REFERENCE: C96502-L73405

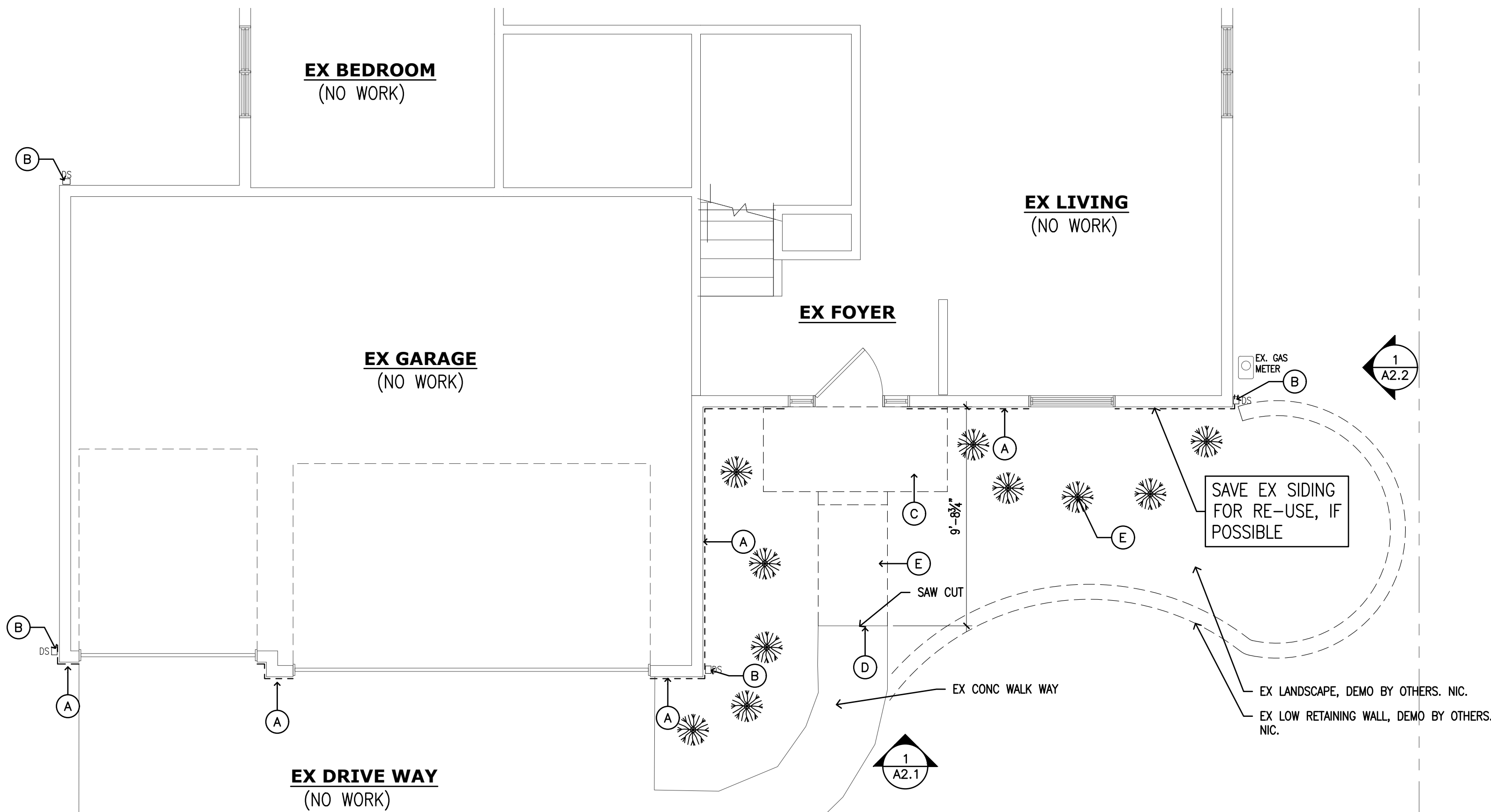
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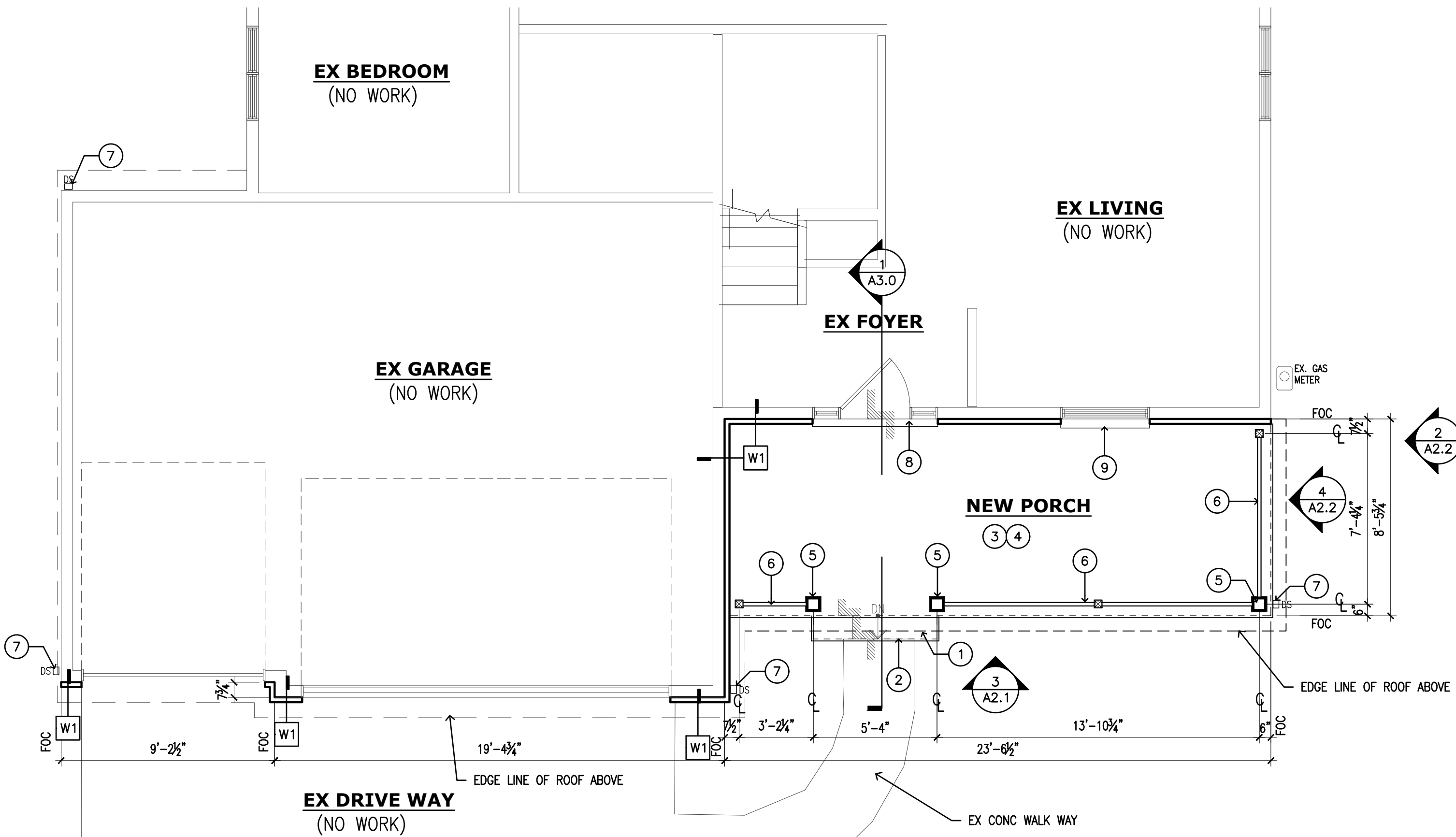
BUYER'S NOTE:

OWNER NOTE: IF REPLACEMENT OF EXISTING SHEATHING UNDERNEATH OF EX VINYL SIDING IS REQUIRED RELATED MATERIALS AND LABOR IS N.I.C. AIROOM TO DETERMINE EXISTING MATERIAL TYPE AND CONDITION UPON REMOVAL OF SIDING.



1 DEMO FIRST FLOOR PLAN  
1/4" = 1'-0"

- LEGEND:
- WALL TO BE REMOVED
  - EX WALL TO REMAIN
  - NEW FRAMED WALL
  - FLOOR TO BE REMOVED
  - EX CEILING GYP. BD. TO BE REMOVED
  - NEW GYP. BD. CEILING
  - EX WINDOW TO REMAIN
  - WINDOW TO BE REMOVED
  - NEW WINDOW
  - EX DOOR TO REMAIN
  - DOOR TO BE REMOVED
  - NEW DOOR
  - F.O.S. FACE OF SHEATHING
  - F.O.B. FACE OF BRICK
  - F.O.C. FACE OF CONCRETE
  - FIN FACE OF FINISH
  - R. & R. REMOVE & REPLACE FOF FACE OF FRAME
  - DETAIL KEY TAG. SEE A3.0 DETAIL KEY LEGENDS



2 NEW FIRST FLOOR PLAN  
1/4" = 1'-0"

- DEMO NOTES
- UN-INSTALL EX SIDING DOWN TO SHEATHING PER ELEVATIONS ON A2 SERIES DRAWINGS. SAVE SIDINGS IF POSSIBLE FOR PATCH WORK.
  - DEMO & HAUL AWAY EX DOWNSPOUT.
  - DEMO & HAUL AWAY EX CONC STOOP AS NEEDED.
  - SAW CUT EX CONC WALK WAY & DEMO EX PER PLAN & HAUL AWAY.
  - BUYER TO REMOVE PLANTINGS AND STUMP GRIND.

- NEW NOTES
- NEW STAMPED W/ STAINED BORDER & CUT STONE FORM LINER AT FACE STEP PER SECTION A3.0 & S1 DWGS.
  - SEAL 1/2" W JOINT W/ POLYURETHANE SEALANT.
  - NEW STAMPED W/ STAINED BORDER & CUT STONE FORM LINER AT FACE CONC SLAB PER PER SECTION A3.9 & S1 DWG.
  - 3 1/8" WIDE (SPBC4) EXTERIOR T&G BEADED CLG BY WINDSORNE, PRIMED & PAINT BY OTHERS.
  - PRE-FABRICATED BASE & COLUMN WRAP. SEE S1 AND A3.0 FOR MORE INFO.
  - GUARD RAIL. SEE INDICATED ELEVATIONS.
  - NEW DOWN SPOUT. LINK TO EX UNDERGROUND PIPE IF EXIST. OTHERWISE RELEASE RAIN WATER ONTO GROUND.
  - LIMESTONE SILL @ ENTRY DOOR PER A2.2.
  - WINDOW SILL PER CULTURED STONE MANUFACTURER.

DEPARTMENT APPROVAL:

**READY**

10/21/2025

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EXPIRATION DATE: 11-30-2026

MARK J. PELLETIER  
001-018620  
STATE OF ILLINOIS

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ARCHITECT TEAM:	INYONG LEE
PCC TEAM:	NA
KITCHEN & BATH TEAM	NA
SUPERINTENDENT:	NAME

PROJECT NO :  
**250074**

SHEET TITLE :  
**DEMO & NEW FIRST FLOOR PLANS**

**A1.1**  
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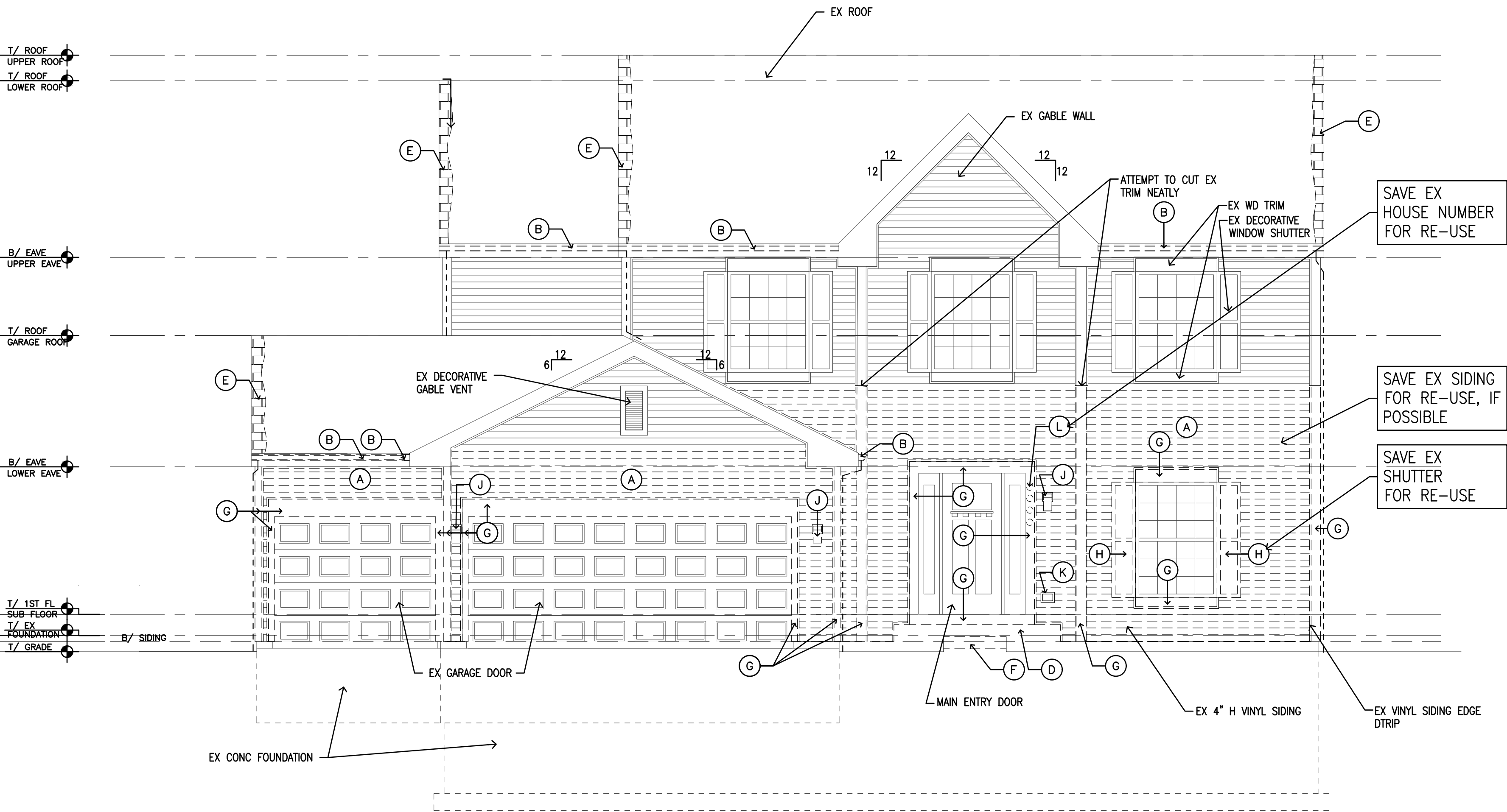




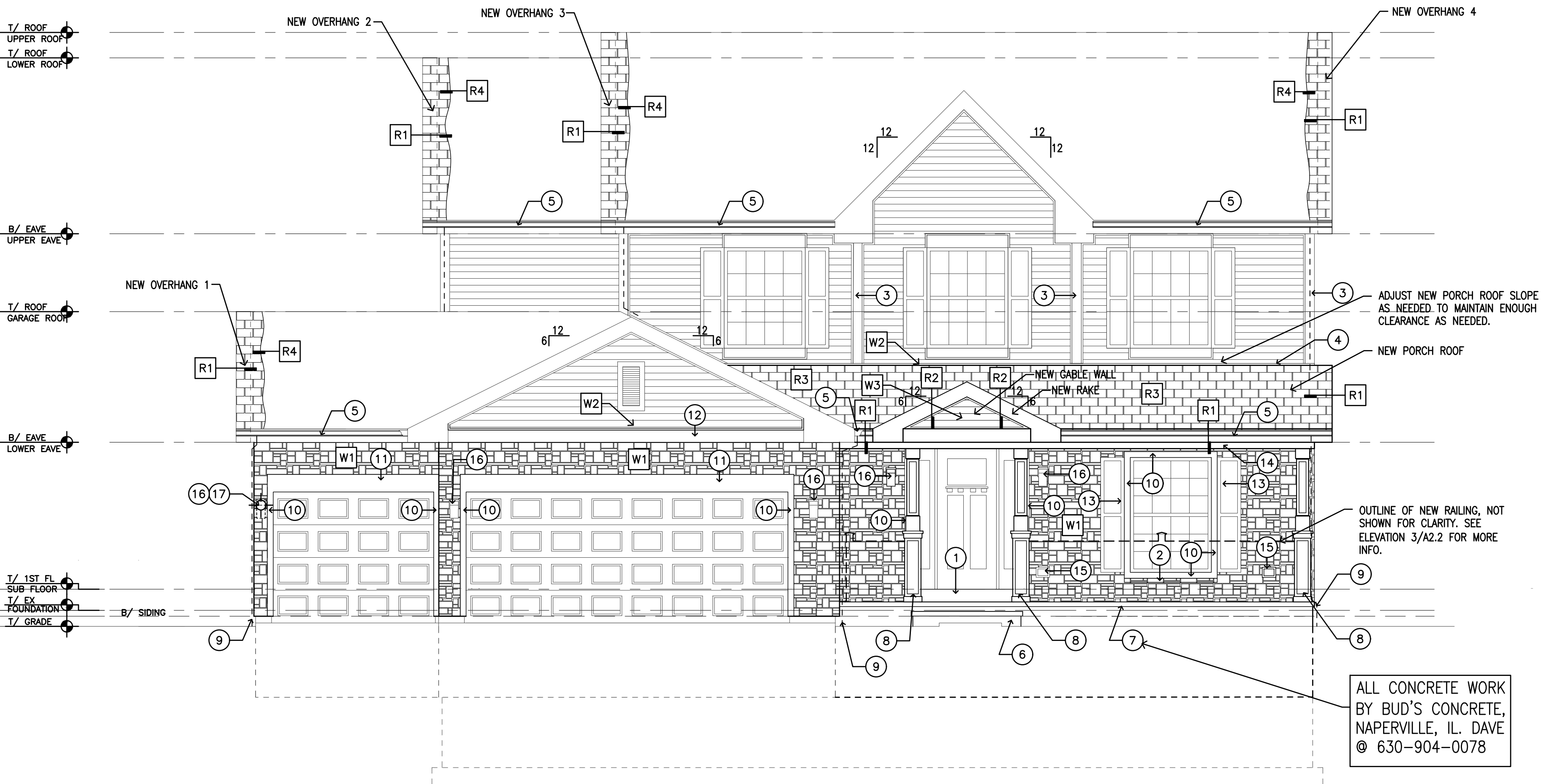
BUYER'S NOTE:

NEW VINYL SIDING MATERIAL NOTE:  
AIROOM CANNOT GUARANTEE THAT NEW MATERIALS WILL BE AN EXACT MATCH TO EXISTING. ALL MATERIALS PROVIDED FROM LOCALLY STOCKED, AVAILABLE, NON-CUSTOM MATERIALS.

NEW VINYL SIDING MATERIAL NOTE:  
PCC NOTE: REVIEW OPTIONS FOR STONE VENEER WITH OWNER. CULTURED STONE OR THIN SET STONE POSSIBLE. CANNOT USE REAL FULL SIZE STONE DUE TO EXISTING CONDITIONS AND REQUIRED ADDITIONAL STEEL ANGLES



1 DEMO SOUTH ELEVATIONS  
1/4" = 1'-0"



2 NEW SOUTH ELEVATIONS  
1/4" = 1'-0"

DEMO NOTES

- UN-INSTALL EX SIDING DOWN TO SHEATHING PER ELEVATIONS. SAVE SIDINGS IF POSSIBLE FOR PATCH WORK.
- DEMO & HAUL AWAY EX GUTTER & DOWNSPOUT.
- NOT USED.
- DEMO & HAUL AWAY EX CONC STOOP AS NEEDED.
- DEMO & HAUL AWAY EX ASPHALT SHINGLE DOWN TO SHEATHING AS NEEDED FOR NEW RAKE.
- DEMO & HAUL AWAY EX CONC STEP.
- DEMO & HAUL AWAY EX TRIM.
- UN-INSTALL EX DECORATIVE WINDOW SHUTTERS AND SAVE FOR POTENTIAL RE-USE.
- DEMO & HAUL AWAY EX LIGHTING. EX LIGHT OPENINGS TO BE MODIFIED PER E1 DWG.
- UN-INSTALL EX OUTLET & DISCARD. EX OUTLET OPENING TO BE MODIFIED PER E1 DWG.
- UN-INSTALL AND SAVE EXISTING HOUSE NUMBERS FOR POTENTIAL RE-USE.

NEW NOTES

- 6" W LIMESTONE SILL @ ENTRY DOOR.
- SPECIFIED STONE WINDOW SILL.
- PROVIDE NEW TRIM IF EX CANNOT BE SAVED
- PATCH EX VINYL SIDING W/ 1" SIDING EDGE STRIP & FLASHING.
- NEW GUTTER & DOWNSPOUT.
- NEW STAMPED W/ STAINED BORDER & CUT STONE FORM LINER AT FACE STEP PER SECTION A3.0 & S1 DWGS.
- NEW STAMPED W/ STAINED BORDER & CUT STONE FORM LINER AT FACE CONC SLAB PER PER SECTION A3.0 & S1 DWG.
- 6 X 6 TREATED PORCH COLUMN W/ PRE-FABRICATED COVER.
- NEW DOWN SPOUT. LINK TO EX UNDERGROUND PIPE IF EXIST. OTHERWISE RELEASE RAIN WATER ONTO GROUND.
- HARDIE 1 X 3-1/2 SMOOTH TRIM, FACTORY PAINTED 'ARCTIC WHITE'.
- HARDIE 1 X 7-1/4 SMOOTH TRIM, FACTORY PAINTED 'ARCTIC WHITE'.
- HARDIE 1 X 7-1/4 SMOOTH TRIM, FACTORY PAINTED 'ARCTIC WHITE' W/ ALUM DRIP CAP.
- RE-INSTALL SAVED DECORATIVE WINDOW SHUTTER AS NEEDED. VERIFY WITH BUYER BEFORE RE-INSTALLING
- 1X HARDIE BD CADDIED BEAM.
- NEW ELEC OUTLET PER E1 DWG.
- INSTALL NEW LIGHTING FIXTURES PER E1 DWG.
- NEW ELECTRICAL OPENING FOR ADDITIONAL COACH LIGHT.

LEGEND:

W# DETAIL ASSEMBLY KEY. SEE A3.0.

DEPARTMENT APPROVAL:

READY

10/21/2025

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— SINCE 1958 —

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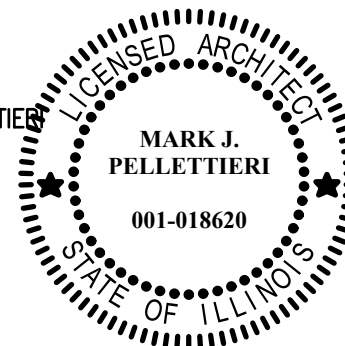
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PCC TEAM:	NA
KITCHEN & BATH TEAM	NA
SUPERVISOR:	NAME

PROJECT NO : <b>250074</b>	
SHEET TITLE : <b>DEMO &amp; NEW SOUTH ELEVATIONS</b>	
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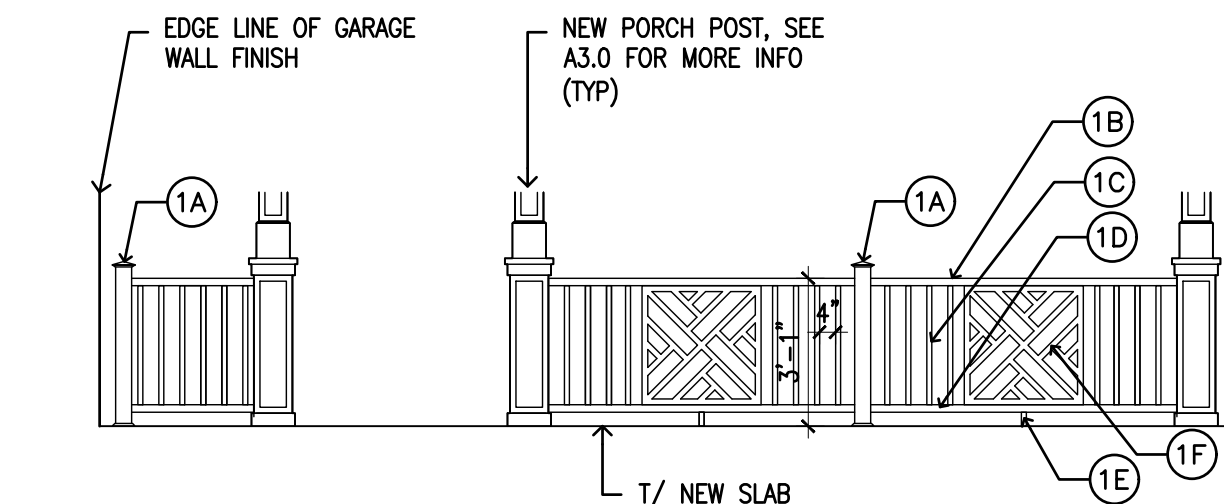


BUYER'S NOTE:

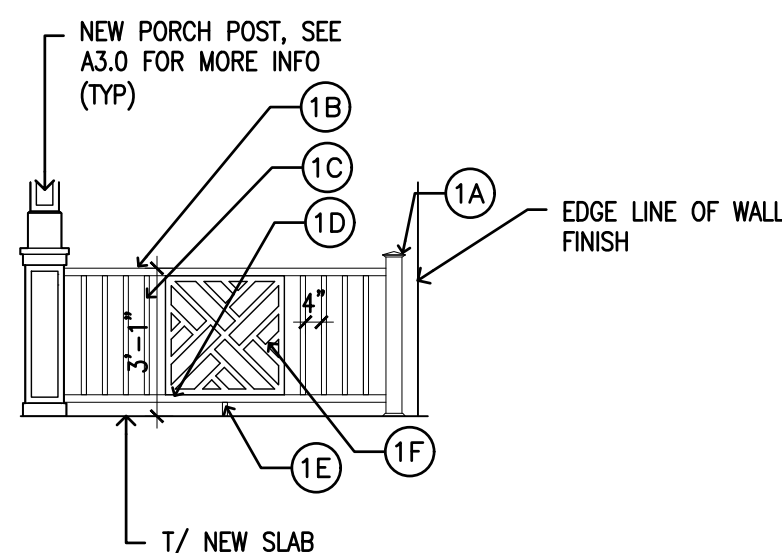
RAILING NOTE:  
OWNER NOTE: SOME TIMBER TECH PRODUCTS MAY NOT BE AVAILABLE AT THE TIME OF INSTALLATION DUE TO CHANGES BY THE MANUFACTURE IN THE PRODUCT LINE. IN THIS CASE COMPARABLE AND EQUAL PRODUCT WILL BE SPECIFIED. ANY PRODUCTS SPECIFIED BY AIRROOM WILL BE REVIEWED WITH THE OWNER FOR APPROVAL PRIOR TO ORDERING.

LIST OF RAIL PART

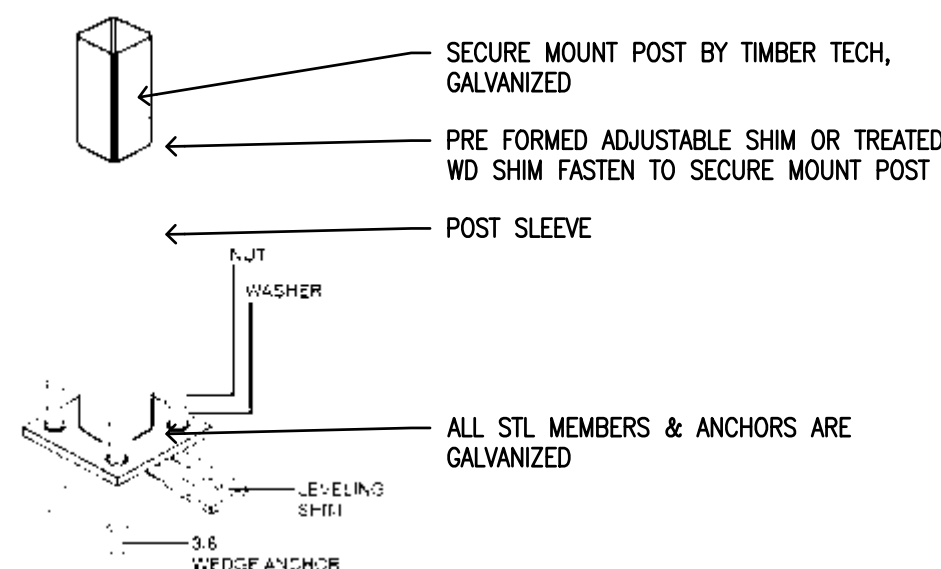
- 1 GUARD POST, RAILING, DECK, STAIR & ACCESSORIES.  
1A) GUARD POST SLEEVES, CAP & BASE SKIRT RING: TIMBERTECH PVC PINNACLE WHITE W/ SECURE MOUNT POST ANCHORED TO CONC SLAB. SEE BELOW DETAIL 5 FOR ANCHORING.  
1B) TOP RAIL: TIMBERTECH PVC PINNACLE TOP RAIL, WHITE  
1C) BOTTOM RAIL: TIMBERTECH PVC PINNACLE BOTTOM RAIL, WHITE  
1D) BALUSTRADE: TIMBERTECH PVC PINNACLE COMPOSITE SQUARE BALUSTERS, WHITE  
1E) INTERMEDIATE SUPPORT: TIMBERTECH PVC PINNACLE RAIL, WHITE  
1F) DECORATIVE PANEL: CHIPPEDALE TYPE 1 DECORATIVE PANEL 36"



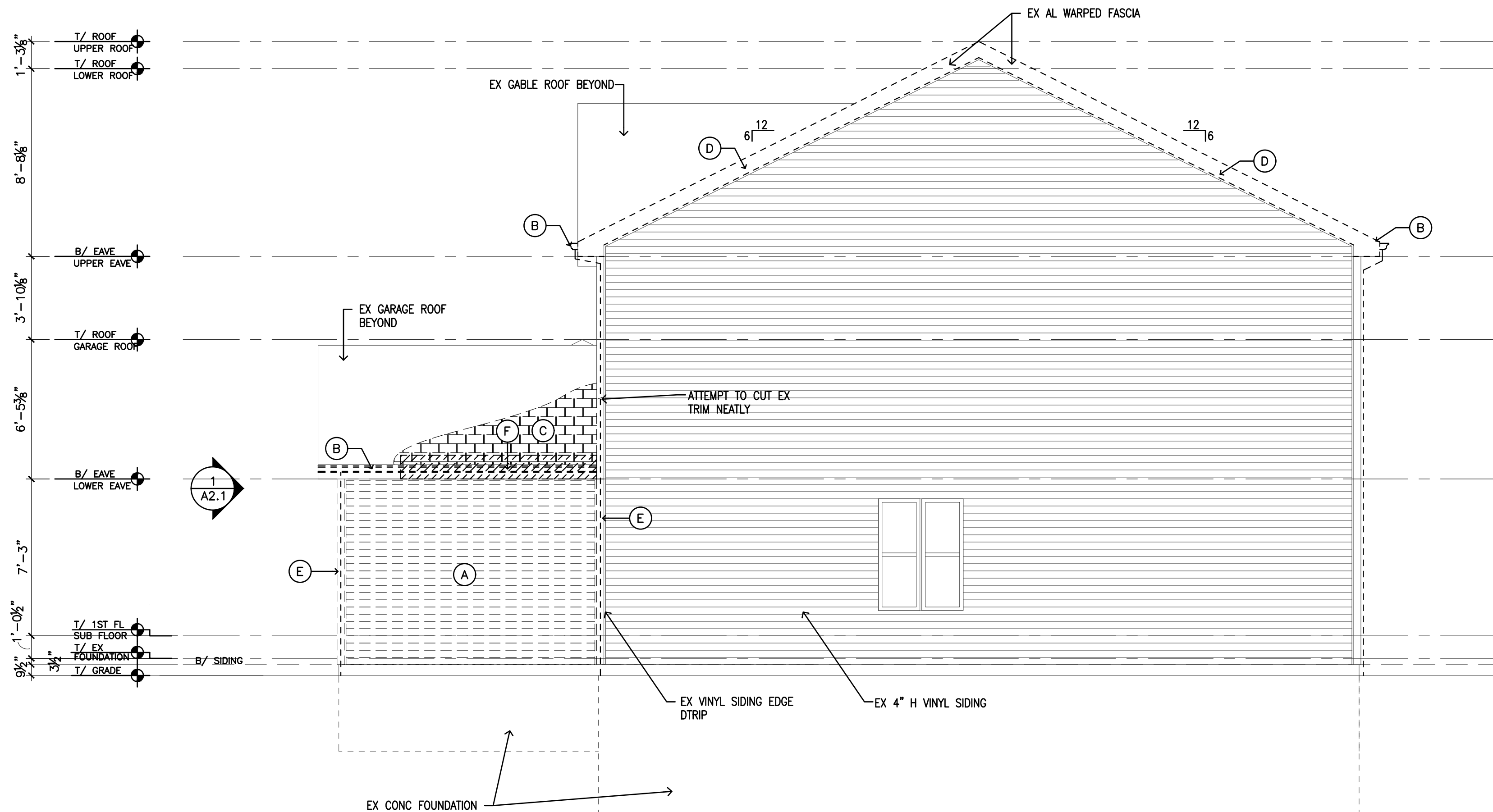
3 NEW RAILING ELEV @ SOUTH  
1/4" = 1'-0"



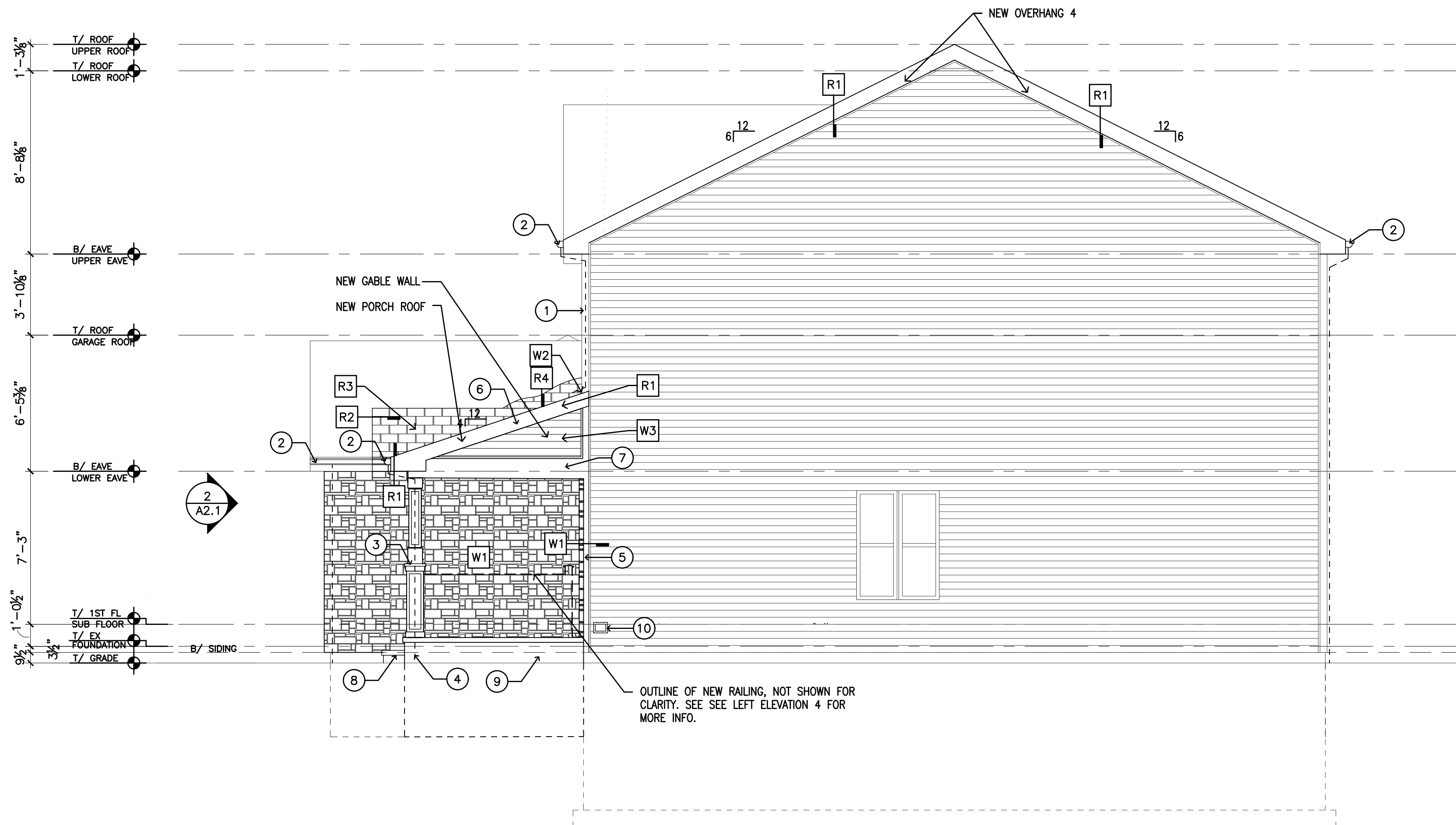
4 NEW RAILING ELEV @ EAST  
1/4" = 1'-0"



5 SECURE MOUNT POST DETAIL  
NTS



1 DEMO EAST ELEVATION  
1/4" = 1'-0"



2 NEW EAST ELEVATION  
1/4" = 1'-0"

DEMO NOTES

- A UN-INSTALL EX SIDING DOWN TO SHEATHING PER ELEVATION. SAVE SIDINGS IF POSSIBLE FOR PATCH WORK.  
B DEMO & HAUL AWAY EX GUTTER & DOWNSPOUT.  
C DEMO & HAUL AWAY EX ASPHALT SHINGLES DOWN TO EX SHEATHING AS NEEDED.  
D DEMO & HAUL AWAY EX FASCIA & FASCIA WRAP DOWN TO SHEATHING.  
E DEMO & HAUL AWAY EX TRIM. SAVE VINYL J-MOLD IF POSSIBLE FOR REUSE.  
F DEMO & HAUL AWAY EX OVERHANG AS NEEDED.

NEW NOTES

- 1 PROVIDE NEW TRIM IF EX CANNOT BE SAVED  
2 NEW GUTTER & DOWNSPOUT.  
3 PORCH COLUMN W/ PRE-FABRICATED COVER. SEE S1 AND A3.0 FOR MORE INFO.  
4 NEW DOWN SPOUT. LINK TO EX UNDERGROUND PIPE IF EXIST. OTHERWISE RELEASE RAIN WATER ONTO GROUND.  
5 1 X 3-1/2 HARDIE SMOOTH TRIM, FACTORY PAINTED 'ARCTIC WHITE'. INSTALL VINYL J-MOLD REUSE EXISTING IF POSSIBLE - MATCH EXISTING ACAP  
6 HARDIE 1 X 7-1/4 SMOOTH TRIM, FACTORY PAINTED 'ARCTIC WHITE'.  
7 HARDIE 1 X 7-1/4 SMOOTH TRIM, FACTORY PAINTED 'ARCTIC WHITE'. W/ ALUM DRIP CAP PRIMED.  
8 NEW STAMPED W/ STAINED BORDER & CUT STONE FORM LINER AT FACE STEP PER SECTION A3.0 & S1 DWGS.  
9 NEW STAMPED W/ STAINED BORDER & CUT STONE FORM LINER AT FACE CONC SLAB PER PER SECTION A3.0 & S1 DWG.  
10 NEW ELEC OUTLET PER E1 DWG. VIF FINAL LOC.

LEGEND:

W# DETAIL ASSEMBLY KEY. SEE A3.0.

DEPARTMENT APPROVAL:

READY

10/21/2025

AIRROOM  
ARCHITECTS & BUILDERS  
SINCE 1958

Airroom Architects Corp.  
6825 N. Lincoln Avenue  
Lincolnwood, Illinois 60712  
Phone: (847) 763-1100 Fax: (847) 679-0446  
Website: www.airroom.com Email: info@airroom.com

ISSUE DATES	DESCRIPTION
08/05/2025	PUBLISHED FOR ECD
08/05/2025	PUBLISHED FOR PREDRAW
09/10/2025	PUBLISHED FOR PRE-PCC
09/10/2025	PUBLISHED FOR PERMIT
	PUBLISHED FOR PERMIT REVISION #1
	PUBLISHED FOR PERMIT REVISION #2
	PUBLISHED FOR READY
	PUBLISHED FOR OKFC

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USE OF THESE PLANS AND THE CONCEPTS CONTAINED THEREIN WITHOUT THE PRIOR WRITTEN PERMISSION OF AIRROOM ARCHITECTS CORP. IS PROHIBITED AND MAY SUBJECT YOU TO A CLAIM FOR DAMAGES FROM AIRROOM ARCHITECTS CORP. AIRROOM ARCHITECTS CORP. IS A SUBCONTRACTOR OF AIRROOM LLC.

UNLESS THESE PLANS ARE APPROVED BY THE BUYERS, CONSTRUCTION CANNOT BE SCHEDULED, AND MATERIALS CANNOT BE ORDERED. THESE ARCHITECTURAL PLANS, PREPARED BY AIRROOM ARCHITECTS CORP., ARE HEREBY FINALLY APPROVED AND AGREED UPON BY BOTH THE BUYERS AND AIRROOM ARCHITECTS CORP. BUYER UNDERSTANDS AND ACKNOWLEDGES THAT ANY ITEM NOT INCLUDED IN THE CONTRACT SPECS OR SHOWN IN THESE PLANS IS NOT INCLUDED IN THE CONTRACT.

CERTIFICATION STATEMENT:

I hereby certify that these drawings and specifications were prepared under my direct supervision and to the best of my knowledge comply with all the current zoning and building codes and ordinances in effect at the time of application. I also certify that I am a certified and registered energy professional and that these plans comply with the State of Illinois Conservation Code (as required by State Legislation and/or the local jurisdiction Energy code in force as stated in the Building Code Information section, see sheet G1.0.

6303 BRUNSWICK DRIVE  
PLAINFIELD, IL 60586  
LICENSE NO: 001-018620  
ARCHITECT NAME: MARK J. PELLETIER  
EXPIRATION DATE: 11-30-2026



DATE SIGNED:

I/WE, THE BUYER(S), HAVE EXAMINED THE AIRROOM ARCHITECTS CORP. DOCUMENTS & AIRROOM ARCHITECTS CORP. CONSTRUCTION SPEC GUIDE.

I/WE, THE BUYER(S), UNDERSTAND AND AGREE TO THE TERMS, CONDITIONS AND SELECTIONS CONTAINED WITHIN THE AIRROOM ARCHITECTS CORP. DOCUMENTS AND APPROVE THE CORRECTIONS NOTED.

BUYER	DATE
BUYER	DATE
AIRROOM REPRESENTATIVE	DATE

PROJECT INFORMATION:  
**BRIGHTWELL**  
**MARCUS & LESLIE**  
6303 BRUNSWICK DRIVE  
PLAINFIELD, IL 60586  
MARCUS - (847) 917 - 3434  
MWBRIGHTWELL@GMAIL.COM

PROJECT TEAM:	
PROJECT COORDINATOR	LAURA DRATHS
PROJECT MANAGER	RICK BOLICH
PROJECT ARCHITECT	MARK PELLETIER
PROJECT DEV MANAGER	REED KEMP
ARCHITECT TEAM:	INYONG LEE
PCC TEAM:	NA
KITCHEN & BATH TEAM	NA
SUPERINTENDENT:	NAME

PROJECT NO :

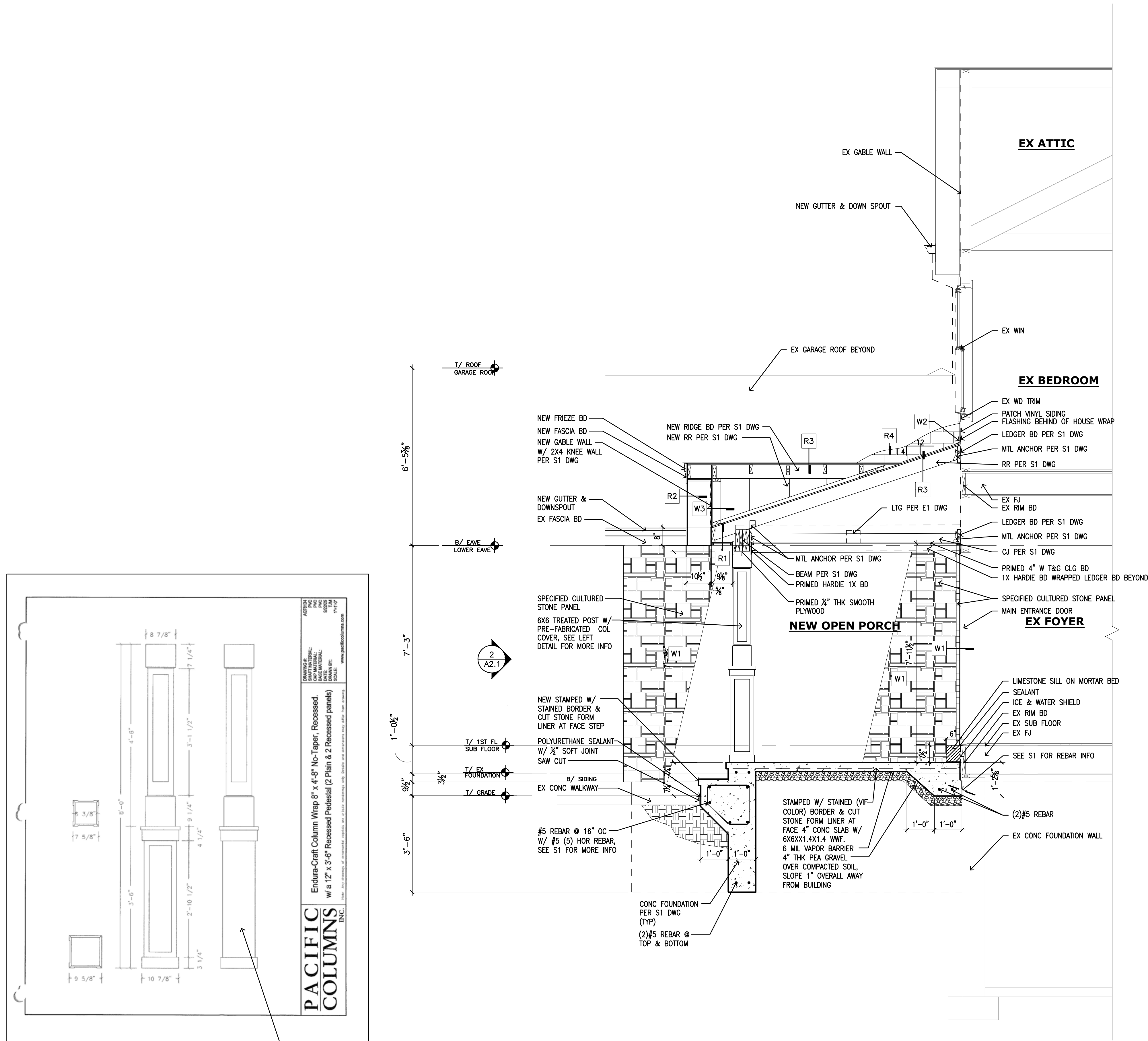
250074

SHEET TITLE :  
**DEMO & NEW EAST ELEVATIONS**

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A3.0 REFERENCE  
C96502-L73405

A2.2  
10 OF 13





**NOTE:**

EXISTING SHEATHING IS UNKNOWN. IF PLYWOOD OR OSB SHEATHING IS NOT PRESENT IT WILL BE REQUIRED TO BE INSTALLED TO SUPPORT THE NEW CLADDING. CURRENTLY NOT IN CONTRACT.

## DETAIL KEYS

- [R1] ROOF OVERHANG NOTES:**

  - INSTALL OVERHANG TO MATCH EXISTING. SEE SECTIONS ON A3.0. ALIGN TO EX & MATCH EX ACAP.
  - ALUMINUM DRIP EDGE & GUTTER APRON.
  - ALSIDE 5" WHITE ALUMINUM GUTTER & DOWNSPOUTS ONTO OPEN SPLASH. SEE ROOF PLAN A1.1 FOR LOCATIONS.
  - 1X8 PINE FASCIA WRAPPED W/ AL FLASHING WRAP MATCH TO EX ACAP.
  - HARDIE CONTINUOUS VENTING SOFFIT SMOOTH.

**[R2] ROOF RAKE @ FRONT OF MAIN ENTRANCED NOTES:**

  - 10 1/2" OVERALL PROJECTED RAKE.
  - 2X4 LADDER FRAME W/ 1/2" CDX PLYWOOD SHEATHING ON TOP & 1X8 PINE FASCIA DR WRAPPED W/ AL FLASHING WRAP MATCH TO EX ACAP.
  - ALUMINUM DRIP EDGE.
  - HARDIE NON VENTED SOFFIT SMOOTH.

**[R3] ASPHALT SHINGLE SLOPED NEW ROOF NOTES:**

  - INSTALL ASPHALT SHINGLES, ATLAS PINNACLE PRISTINE WITH SCOTCHGARD. EXISTING COLOR IS "HICKORY" FROM 2017. ROOFER TO VERIFY NEW SELECTION/ PRODUCT WITH EX SHINGLES AND BUYER. MATCH TO EX ACAP.
  - 30LB FELTS.
  - ICE & WATER SHIELD AT PERIMETER, OVERHANGS, VALLEYS & OTHER REQUIRED AREAS.
  - ALUMINUM FLASHING WHERE REQUIRED.
  - 1/2" CDX PLYWOOD SHEATHING.
  - ROOF FRAMING PER FRAMING PLAN ON S1.
  - CEILING PANEL PER SECTION A3.0.

**[R4] ASPHALT SHINGLE ON SLOPED EX ROOF NOTES:**

  - SEE ABOVE R3 FOR ASPHALT SHINGLE INFO.
  - 30LB FELTS.
  - ICE & WATER SHIELD AT PERIMETER, OVERHANGS, VALLEYS & OTHER REQUIRED AREAS.
  - ALUMINUM FLASHING (COLOR TBD) WHERE REQD.
  - REPAIRING DAMAGED EX ROOF PATCH INCLUDING SHEATHING IS NOT IN CONTRACT.

**[W1] CULTURED STONE CLADDING NOTES:**

  - INSTALL SELECTED CULTURED STONE WOLF CREEK BY BRICKWORKS DESIGN STUDIO PER MANUFACTURER'S RECOMMENDATIONS.
  - MORTAR SETTING BED ON MORTAR SCRATCH COAT W/ METAL LATH.
  - RAIN SCREEN MAT AS REQUIRED BY MANUFACTURER.
  - (2) LAYERS OF HOUSE WRAP
  - EX EXTERIOR SHEATHING.
  - SELECTED SMOOTH WINDOW SILL COMPATIBLE TO THE SELECTED CULTURED STONE W/ SUPPORT ANGLE AS REQUIRED BY THE MANUFACTURER.
  - LIMESTONE SILL AT ENTRY DOOR AT 2.2 DWG.
  - WEEP SCREED AT BOTTOM OF CLADDING AS REQUIRED.
  - WEEP SCREED AT BOTTOM OF WINDOW HEAD AS REQUIRED.
  - SEAL TRANSITIONS, CORNERS & OTHER REQUIRED AREA W/ EXTERIOR GRADE SEALANT.
  - HARDIE ARCTIC WHITE SMOOTH 1X TRIMS FACTORY PAINTED.

**[W2] EXTERIOR VINYL WALL SIDING PATCH NOTES:**

  - ATTEMPT TO USE EX UN-INSTALLED AND SAVED SIDING & EDGE STRIP IF POSSIBLE, OTHERWISE PROVIDE NEW SIDING & EDGE STRIP. ATTEMPT TO MATCH TO EX ACAP.
  - HOME GUARD PREMIUM HOUSE WRAP W/ 3" RED TAPE @ ALL SEAMS.
  - EX PLYWOOD SHEATHING. AIRMOH IS NOT RESPONSIBLE TO CONDITION OF EX SHEATHING.
  - FLASHING AT TOP OF NEW PORCH ROOF
  - HARDIE ARCTIC WHITE SMOOTH 1X8 EAVE BAND FACTORY PAINTED.
  - ALUMINUM DRIP CAP @ EAVE BAND.

**[W3] EXTERIOR VINYL WALL SIDING CLABE WALL NOTES:**

  - ATTEMPT TO USE EX UN-INSTALLED AND SAVED SIDING & EDGE STRIP IF POSSIBLE, OTHERWISE PROVIDE NEW SIDING & EDGE STRIP. ATTEMPT TO MATCH TO EX ACAP.
  - HOME GUARD PREMIUM HOUSE WRAP W/ 3" RED TAPE @ ALL SEAMS.
  - 1/2" PLYWOOD SHEATHING.
  - 2X4 @ 16" OC KNEE WALL WITH OR WITHOUT RIPPED 2X FURRING PER S1 DWG.
  - HARDIE ARCTIC WHITE SMOOTH 1X8 EAVE BAND & 1X TRIMS FACTORY PAINTED.
  - ALUMINUM DRIP CAP @ EAVE BAND.

DEPARTMENT APPROVAL:

# READY

10/21/2025

**AIRROOM**   
ARCHITECTS & BUILDERS

- SINCE 1958

Airoom Architects Corp

6825 N. Lincoln Avenue

Lincolnwood, Illinois 6071

Phone: (847) 763-1100 Fax: (847) 679-044

Website: [www.airoom.com](http://www.airoom.com) Email: [info@airoom.com](mailto:info@airoom.com)

ISSUE DATES	DESCRIPTION
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6303 BRUNSWICK DRIVE

PLAINFIELD, IL 60586

LICENSE NO: 001-018620  
ARCHITECT NAME: MARK L

EXPIRATION DATE: 11-30-2026

---

DATE SIGNED:

I/WE, THE BUYER(S), HAVE EXAMINED THE AIROOM ARCHITECTS CORP. DOCUMENTS & AIROOM ARCHITECTS CORP. CONSTRUCTION SPEC GUIDE.

I/WE, THE BUYER(S), UNDERSTAND AND AGREE TO THE TERMS, CONDITIONS AND SELECTIONS CONTAINED WITHIN THE A ROOM ARCHITECTS CORP. DOCUMENTS AND APPROVE THE CORRECTIONS NOTED.

BUYER	DATE
BUYER	DATE
AIRROOM REPRESENTATIVE	DATE

## PROJECT INFORMATION:

BRIGHTWELL

MARCUS &amp; LESLIE

6.30.3 BRUNSWICK DRIVE

PLAINEFIELD II 60586

MARCUS = (847) 917 - 3434

MWBRIGHTWELL@GMAIL.COM

PROJECT TEAM:	
PROJECT COORDINATOR:	LAURA DRATHS
PROJECT MANAGER:	RICK BOLICH
PROJECT ARCHITECT:	MARK PELLETTIERI
PROJECT DEV MANAGER:	REED KEMP
ARCHITECT TEAM:	INYONG LEE
POC TEAM:	NA
KITCHEN & BATH TEAM:	NA
SUPPLEMENTENDENT:	NAME

PROJECT NO :	
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**250074**

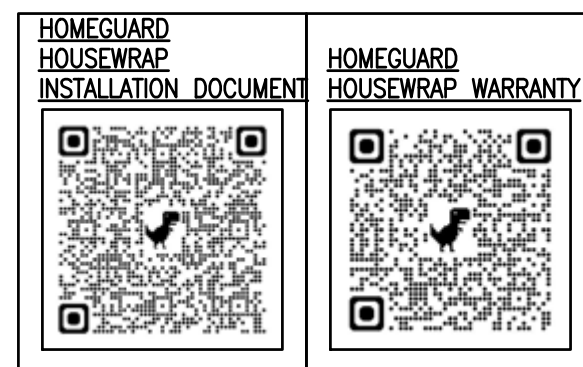
SHEET TITLE : **BUILDING  
SECTION, DETAIL  
KEYS & QRC**

### A3.0

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AFD REFERENCE  
C96502-L73405

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AFD REFERENCE  
C96502-L73405





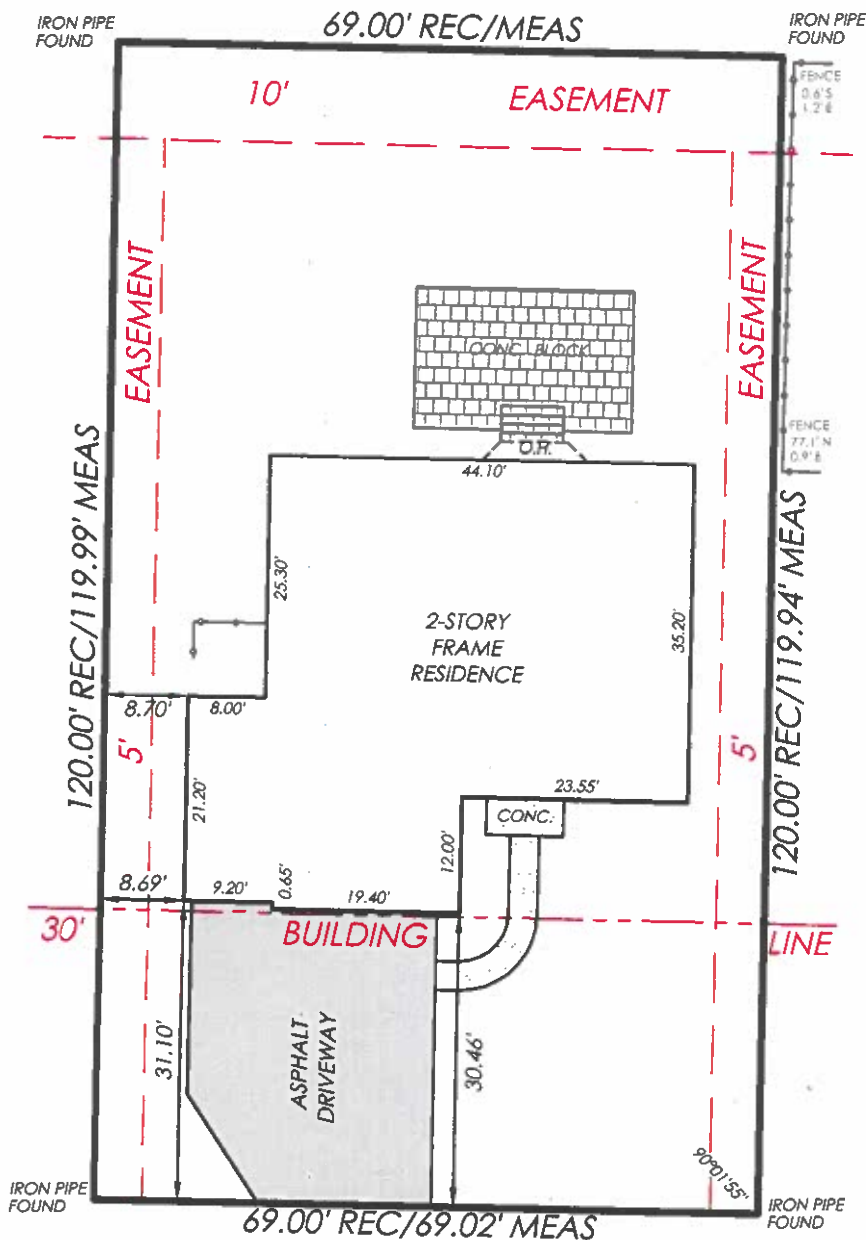


PLAT OF SURVEY

E

18148 S. MARTIN AVE. HOMEWOOD, IL 60430 708-1-SURVEY (478-7839) 708-478-4076 FAX

LOT 116 IN PHEASANT RIDGE UNIT 2, BEING A SUBDIVISION OF PART OF THE SOUTH HALF OF THE NORTHWEST QUARTER OF SECTION 32, TOWNSHIP 36 NORTH, RANGE 9 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JANUARY 18, 2002 AS DOCUMENT NO. R2002-10613, IN WILL COUNTY, ILLINOIS.



BRUNSWICK DRIVE

LOT AREA:  
8,279.9 SQ. FT.  
0.19 ACRES

☐ AS PER CLIENT/AGENT, MONUMENTS NOT RECOVERED AT THE TIME OF THIS SURVEY WERE NOT RESET.

STATE OF ILLINOIS)  
B.S.  
COUNTY OF COOK)

STATE OF ILLINOIS REG. # 184-002702

ON BEHALF OF STREAMLINE SURVEY, INC., I HEREBY CERTIFY THAT THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.

STREAMLINE SURVEY, INC.

BY: REGISTERED ILLINOIS LAND SURVEYOR

DATED: 10-20-15

DATE OF LICENSE EXPIRATION: NOVEMBER 30, 2016

DATE OF FIELD WORK COMPLETION: OCTOBER 20, 2015

REVIEW YOUR DESCRIPTION AND PHYSICAL EVIDENCE WITH THIS PLAT AND REPORT ANY DIFFERENCES YOU MAY FIND.

ALL DISTANCES AS SHOWN ARE IN FEET AND DECIMAL PARTS THEREOF. NO ANGLES OR DISTANCES ARE TO BE DETERMINED BY SCALING.

SCALE: 1"=20'

JOB NO.: 15-1675

ADDRESS: 6303 BRUNSWICK DR.

PLAINFIELD, IL

P.I.N.: 03-32-105-067

TOWNSHIP: PLAINFIELD

ORDERED BY: JAMES FLANAGAN



S







FOR OFFICE USE ONLY

\*\*\*Verified by Planner (please initial): \_\_\_\_\_\*\*\*

Payment received from:

Petition #: \_\_\_\_\_

Common Address: \_\_\_\_\_

Date filed: \_\_\_\_\_

Meeting date assigned: \_\_\_\_\_

ZONING BOARD OF APPEALS

JOLIET, ILLINOIS

**PETITION FOR VARIATION/APPEAL**

City of Joliet Planning Division, 150 W. Jefferson St., Joliet, IL 60432  
Ph (815)724-4050 Fax (815)724-4056

ADDRESS FOR WHICH VARIATION IS REQUESTED: 6303 BRUNSWICK DRIVE

PETITIONER'S NAME: AIROOM LLC C/O MARK PELLETTIERI, ARCHITECT

HOME ADDRESS: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

BUSINESS ADDRESS: 6825 N LINCOLN AVE, LINCOLNWOOD, IL ZIP CODE: 60712

PHONE: (Primary) \_\_\_\_\_ (Secondary) \_\_\_\_\_

EMAIL ADDRESS: \_\_\_\_\_ FAX: \_\_\_\_\_

PROPERTY INTEREST OF PETITIONER: OWNER'S REPRESENTATIVE / ARCHITECT

OWNER OF PROPERTY: MARCUS W BRIGHTWELL & DEVERA LESLIE A

HOME ADDRESS: 6303 BRUNSWICK DRIVE, PLAINFIELD IL ZIP CODE: 60586

BUSINESS ADDRESS: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

EMAIL ADDRESS: \_\_\_\_\_

**Any use requiring a business license shall concurrently apply for a business license and submit a copy with this petition.** Additionally, if this request is for operation of a business, please provide the following information:

BUSINESS REFERENCES (*name, address, phone or email*):

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

OTHER PROJECTS AND/OR DEVELOPMENTS:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_



PERMANENT INDEX NUMBER (TAX NO. OR P. I. N.): 06-03-32-105-067-0000;  
\_\_\_\_\_; \_\_\_\_\_; \_\_\_\_\_.

*\*\*Property Index Number/P.I.N. can be found on tax bill or Will County Supervisor of Assessments website\*\**

LEGAL DESCRIPTION OF PROPERTY (an attached copy preferred):

SEE ATTACHED SURVEY

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

LOT SIZE: WIDTH: 69.00 DEPTH: 120.00 AREA: 8279.9

PRESENT USE(S) OF PROPERTY: RESIDENTIAL

PRESENT ZONING OF PROPERTY: R2

VARIATION/APPEAL REQUESTED: PROPOSED FRONT PORCH SETBACK REDUCE

TO 8'-0" FROM REQUIRED 12' ON EAST SIDE PROPERTY LINE

\_\_\_\_\_

### **RESPONSE TO VARIATION CRITERIA**

The Zoning Board of Appeals is authorized to grant or recommend relief only when it has received adequate evidence to establish a practical difficulty or hardship. The evidence must support each of the following three conditions:

- (a) The property in question cannot yield a reasonable return by use permitted and subject to the conditions allowed by the regulations in the particular district or zone.
- (b) The plight of the owner is due to unique circumstances.
- (c) The variation, if granted, will not alter the essential character of the locality.

**Please describe how this request meets the criteria by responding to the following questions in your own words.**

*1. How do the applicable zoning regulations prevent the property in question from yielding a reasonable return?*

THE EXISTING HOUSE TOTAL COMBINED SIDE YARD IS NON-CONFORMING TO CURRENT ZONING  
MOST OF THE HOMES IN THIS SUBDIVISION WITH FRONT PORCHES ARE THE SAME WIDTH AS THE SIDE  
OF THE HOUSE. WE ARE ASKING THE PROPOSED FRONT PORCH TO ALIGN WITH THE EXISTING  
EAST SIDE OF THE HOUSE SO THAT IT IS CONSISTENT WITH THE NEIGHBORHOOD.

2. *What unique circumstances exist which mandate a variance?*

EXISTING HOMES IN THIS SUBDIVISION HAVE NON CONFORMING COMBINED SIDE YARDS.  
REQUIRED COMBINED SIDE YARD IS 20' BUT EXISTING IS APPROXIMATELY 16'. THE FRONT PORCH  
WILL NOT BE ATTRACTIVE OR CONSISTANT WITH PORCHES IN THE SUBDIVISION IF IT WAS TO MEET THE  
CURRENT COMBINED SETBACK OF 20' WHICH WOULD OFFSET THE PORCH 4' FROM THE CORNER OF THE HOUSE.

3. *What impact would the granting of this variance have upon the essential character of the general area? Please include both positive and negative impacts.*

THERE WOULD BE NO IMPACT UPON THE CHARACTER OF THE GENERAL AREA.  
KEEPING THE PORCH IN LINE WITH THE EXISTING HOUSE ON EAST SIDE WILL BE IN KEEPING WITH  
ALL OTHER HOMES WITH PORCHES.

**REQUIRED SUPPORTING ATTACHMENTS**

- ☐ Site plan / concept plan / floor plan / building elevation plan
- ☐ Joliet Ownership Disclosure form
- ☐ Business license application (if applicable)

**NOTARIZATION OF PETITION**

STATE OF ILLINOIS) ss  
COUNTY OF WILL)

I, [REDACTED], depose and say that the above statements are true and correct to the best of  
my knowledge to be present in person or by representation when this petition is heard before  
the Zoning Board of Appeals.

MARK PELLETTIERI, ARCHITECT

Subscribed and sworn to before me  
this 10<sup>th</sup> day of November, 2025



15B9988E7BF541B...



# CITY OF JOLIET OWNERSHIP DISCLOSURE FORM

The City of Joliet requires that applicants for zoning relief, subdivision approval, building permits and business licenses disclose the identity of all persons having an ownership interest in the business and the real property associated with the application. A copy of this form must be completed and submitted with other application materials. Failure to properly complete and submit this form may result in the denial of the application.

**I. INFORMATION ABOUT THE APPLICATION**

This form is submitted as part of an application for the following (check all that apply):

- ☒ **Rezoning, Special Use Permit, Variation, or Other Zoning Relief** (Complete Sections II and III)
- ☐ **Preliminary Plat, Final Plat, or Record Plat of Subdivision** (Complete Sections II and III)
- ☐ **Building Permit** (Complete Sections II and III)
- ☐ **Business License** (Complete All Sections)

## II. INFORMATION ABOUT THE PROPERTY

The address and PIN(s) of the real property associated with this application are:

MARCUS W BRIGHTWELL &amp; DEVERA LESLIE A

PIN(s): 06-03-32-105-067-0000

### III. PROPERTY OWNERSHIP

Select the type of owner of the real property associated with this application and fill in the appropriate contact information below:

- |   |  |
|---|--|
| <input checked="" type="checkbox"/> <b>Individual:</b>      | State the names, addresses, and phone #'s of the individual owner(s)   |
| <input type="checkbox"/> <b>Corporation:</b>                | State the names, addresses, and phone #'s of all persons holding 3% or more of the stock of the corporation and the percentage of shares held by such stockholders                 |
| <input type="checkbox"/> <b>Limited Liability Company:</b>  | State the names, addresses, and phone #'s of all members of the company along with the percentage of ownership held by each member   |
| <input type="checkbox"/> <b>Land Trust:</b>                 | State the names, addresses, and phone #'s of the trustee(s) and all beneficiaries  |
| <input type="checkbox"/> <b>Partnership:</b>                | State the names, addresses, and phone #'s of all partners  |
| <input type="checkbox"/> <b>Other type of organization:</b> | State the names, addresses, and phone #'s of all persons having a legal or equitable ownership interest in the organization or the right to direct the affairs of the organization |

FAX: \_\_\_\_\_



#### **IV. BUSINESS OWNERSHIP**

If the owner of the business is different than the owner of the real property associated with the application, then the following information must be provided:

Select the type of business owner associated with this application and fill in the contact information below:

- |   |  |
|---|--|
| <input type="checkbox"/> <b>Individual:</b>                 | State the names, addresses, and phone #'s of the individual owner(s)   |
| <input type="checkbox"/> <b>Corporation:</b>                | State the names, addresses, and phone #'s of all persons holding 3% or more of the stock of the corporation and the percentage of shares held by such stockholders |
| <input type="checkbox"/> <b>Limited Liability Company:</b>  | State the names, addresses, and phone #'s of all members of the company along with the percentage of ownership held by each member                                 |
| <input type="checkbox"/> <b>Partnership:</b>                | State the names, addresses, and phone #'s of all partners  |
| <input type="checkbox"/> <b>Other type of organization:</b> | State the names, addresses, and phone #'s of all persons having a legal or equitable ownership interest in the organization  |

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---

---

---

**E-MAIL:** \_\_\_\_\_ **FAX:** \_\_\_\_\_

**NOTE:**

If a stockholder, member, beneficiary or partner disclosed in Section III or Section IV is not an individual, then the individuals holding the legal or equitable title to the real property or business associated with the application must also be disclosed. For example, if the real property associated with an application is owned by a land trust, and the beneficiary of the land trust is a limited liability company, then the members of the limited liability company must be disclosed. If one of the members of the limited liability company is a partnership, then the identity of the partners must be disclosed. If one of the partners is a corporation, then all persons owning 3% or more of the issued stock must be disclosed.

**SIGNED:** \_\_\_\_\_

**DATE:** 11/10/2025 \_\_\_\_\_

**Name, Title, and Telephone Numbers of Person Completing and Submitting This Form:**

MARK PELLETTIERI, \_\_\_\_\_  
\_\_\_\_\_

**PRINT**



**ZONING BOARD OF APPEALS**  
**CRITERIA FOR VARIATIONS**

Section 47-19.8 of the Zoning Ordinance states:

A variation shall not be granted in any case unless the Board shall find and clearly state in its record of the case that:

	Does the evidence presented sustain this criteria?	Comments
(1) Reasons sustaining the contention that strict enforcement of the Ordinance would involve practical difficulties or impose exceptional hardship were found as follows: (a) _____ (b) _____ (c) _____ (list of reasons)		
(2) Adequate evidence was submitted to establish practical difficulties or particular hardship so that, in the judgment of the Board, a variation is permitted because the evidence sustained the existence of each of the three following conditions:  (a) The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in the particular district or zone.  (b) The plight of the owner is due to unique circumstances.  (c) The variation, if granted, will not alter the essential character of the locality.		
(3) A public hearing was held on such variation of which at least 15 days and not more than 30 days notice was published in the _____ (name of newspaper) on _____ (date).		