

DATE: March 14, 2025  
TO: Joliet Plan Commission  
FROM: Planning Staff  
SUBJECT: PUD-13-24: Final Planned Unit Development of Prairie Landing Subdivision

GENERAL INFORMATION:

APPLICANT: DR Horton  
STATUS OF APPLICANT: Contract Purchaser / Developer  
OWNER: Westside Joliet RE LLC  
REQUESTED ACTION: Approval of the final planned unit development of Prairie Landing  
PURPOSE: To allow development of a 120-lot residential subdivision  
EXISTING ZONING: R-2 (single-family residential), R-4 (multi-family residential), and B-3 (general business)  
LOCATION: 2200 Essington Road (06-03-36-100-033-0000)  
SIZE: 44 acres  
EXISTING LAND USE: Undeveloped

SURROUNDING LAND USE & ZONING:

NORTH: Residential (Picardy subdivision), R-2 (single-family residential)  
SOUTH: Residential (Warwick Five subdivision), R-2 (single-family residential)  
EAST: Agricultural / undeveloped, unincorporated Will County A-1 (agricultural)  
WEST: Commercial (self-storage facility, car dealership), B-3 (general business)

SITE HISTORY: The 44-acre subject site is located on the east side of Essington Road, with the bulk of the site to the east of the businesses at 2000 – 2100 Essington Road. A strip of the property at its northwest corner connects the site to Essington Road across from the intersection with Old Castle Road in the Wexford subdivision.

The site was annexed in 1973 along with the surrounding land east of Essington Road and north of Theodore Street. In 1993, the property was reclassified to its current R-2 and R-4 zoning for a proposed single- and multiple-family subdivision that was never recorded or built. Recently, the subject property was included as Lots 4 and 5 of the preliminary plat for Westside Joliet Real Estate LLC Subdivision, approved in 2021. Unit 1 of that subdivision was recorded in 2021 and includes the three commercial lots (Lots 1, 2, and 3) adjacent to the northwest side of the site. Lots 4 and 5 were never recorded and the preliminary plat has since expired. Storm detention for the three lots in Unit 1 is located on the subject parcel, and stormwater management easements for this were recorded in September 2021.

At their meeting on December 19, 2024, the Plan Commission recommended approval of the preliminary Planned Unit Development of Prairie Landing Subdivision and the associated zoning reclassification of the existing R-4 (multi-family residential) and B-3 (general business) zoning to R-2 (single-family residential) zoning. These petitions are scheduled to be reviewed by City Council at their March 18, 2025 meeting. If the reclassification is approved, the entire site will have R-2 (single-family residential) zoning.

SPECIAL INFORMATION: The final Planned Unit Development of Prairie Landing Subdivision consists of 120 single-family lots on approximately 44 acres. The proposed lots will be built to R-2 zoning requirements, which include a minimum lot area of 7,500 square feet. The lots are organized around a main road which is accessed from Essington Road. The subdivision includes a small park lot and multiple storm detention areas.

The proposed house plans include three models with ten total elevations. The houses will be two-stories and approximately 2,000 to 2,600 square feet with four to five bedrooms, two-and-a-half bathrooms, and two-car attached garages. The petitioner is requesting a variation from the residential design standards which require 50 percent of the front elevations of at least 50 percent of the detached single-family dwelling units to be comprised of brick or stone. The proposed elevations will have at least 25 percent brick or stone on 100 percent of the dwelling units. The attached elevations include between 25 percent and 41 percent brick or stone, with an average of 34 percent. Staff supports this variance given the design of the proposed elevations, which are comparable to existing houses in nearby subdivisions.

The subdivision will have a main access road (Road A) off Essington Road along with interior streets that feed back into the main street. Road A, which runs east-west across the site, is designed to connect to the undeveloped site to the east if that were ever

developed. Road A will intersect Essington Road in alignment with Old Castle Road on the west side. A traffic signal at this intersection is not warranted at this time. The intersection will be designed to accommodate a traffic signal if that were ever needed in the future. All streets within the subdivision will be public streets to be dedicated to the City. The petitioner is requesting a variance from the Public Works construction ordinance to allow local streets with a 60-foot right-of-way instead of a 66-foot right-of-way. The developer has proposed a 15-foot public utility easement in the front yard of all lots so that the main utilities, such as gas, electric, and communications, can locate in this area instead of within the right-of-way. The main road (Road A) will have the required right-of-way width of 66 feet.

The petitioner has submitted a landscape plan and tree survey and preservation plan for the site. The landscaping plan includes plant materials around the storm detention ponds, parkway trees along the streets, and additional landscaping near the entrance sign. The tree survey shows that some of the existing trees on site will remain, but most will be removed. The developer will need to replace or pay into the tree bank for any trees of acceptable species that are removed, as required in the Unified Tree Ordinance.

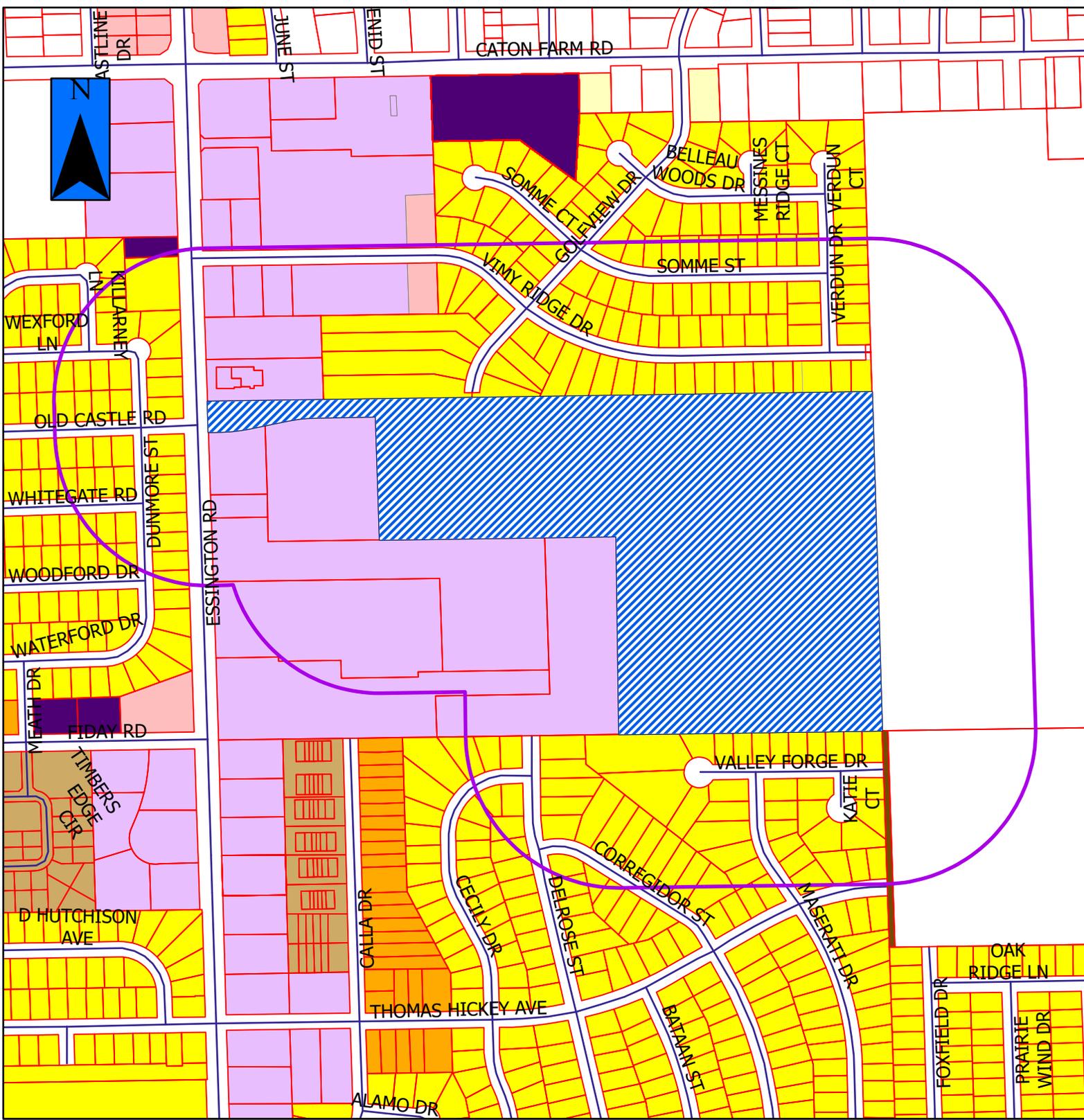
The engineering plans for the development will meet the requirements of the City's stormwater ordinance and will adequately address the stormwater for the entire subject site. At the Plan Commission meeting on December 19, 2024, residents from the Picardy subdivision to the north of the development site presented information on existing flooding issues on Vimy Ridge Drive at the southeast corner of Picardy, which is adjacent to the northeast corner of the subject site. This existing condition is not due to any existing conditions on the subject site nor due to the proposed subdivision. City staff requested that the developer explore possible modifications to their proposed stormwater infrastructure that could help alleviate this issue. The developer is agreeable to this and has updated their plans accordingly to include additional stormwater infrastructure on the unincorporated Herron farm parcel adjacent to the subject site and Picardy. The developer does not own that adjacent parcel and would need to obtain approval from the Herron farm property owner. The developer will continue to work with City staff and the Herron farm owner and will install the additional infrastructure if they are able to obtain the necessary approvals and easements.

The attached project narrative outlines the phasing, financial, and marketing plan for the development. The development will be completed in one phase with full buildout projected to be completed within approximately three years. The development includes a 0.6-acre park site, located across from Road B, to be dedicated to the Plainfield Park District. The developer will also provide the park district with a cash contribution in lieu

of land dedication in the amount of \$260,443.75 per their agreement. The local school district, Plainfield Community Consolidated School District 202, has indicated that their schools are presently capable of accommodating potential enrollment from the proposed development. Public improvements, water and sewer connection fees, school donation fees, and development impact fees will be required for this subdivision.

The developer presented this subdivision proposal to the City's Land Use and Economic Development Committee on November 25, 2024. The developer also held a neighborhood meeting for residents of adjacent subdivisions on December 16, 2024.

ANALYSIS: Approval of the final Planned Unit Development of Prairie Landing Subdivision will allow the development of a 120-lot residential subdivision with R-2 (single-family residential) zoning. The development will be built in conformance with the proposed elevations and landscaping plan.



## PUD-13-24



= Property in Question  
 = 600' Public Notification Boundary

Legend			
	B-1		R-2
	B-2		I-TA
	B-3		I-TB
	I-1		R-1
	I-2		R-1A
	I-T		R-1B
	R-2		R-2A
	R-3		R-4
	R-4		R-5
	R-5		R-B



## PUD-13-24a



-  = Property in Question / Propiedad en cuestión
-  = 600' Public Notification Boundary / Límite de notificación pública de 600 ft (180 m)

**FINAL PLAT**

OWNER:  
WESTSIDE JOLIET RE LLC  
3501 REGENT DRIVE  
PALATINE, IL 60067

DEVELOPER:  
DR HORTON  
1750 E GOLF ROAD, SUITE 925  
SCHAUMBURG, IL 60173

# FINAL PLAT OF PRAIRIE LANDING SUBDIVISION PLANNED UNIT DEVELOPMENT

THIS PLAT IS NOT FOR RECORD

## FLOOD HAZARD NOTE:

THE FEDERAL EMERGENCY MANAGEMENT AGENCY FIRM COMMUNITY PANEL NUMBER 17197C0141G WITH AN EFFECTIVE DATE OF 2/15/2019 INDICATES THAT THE ABOVE DESCRIBED PROPERTY LIES WITHIN AREAS DESIGNATED AS ZONE X. ZONE X IS DEFINED AS AREA OF MINIMAL FLOOD HAZARD PER THE FLOOD INSURANCE RATE MAPS.

### National Flood Hazard Layer FIRMette



**Legend**  
SEE HIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

**SPECIAL FLOOD HAZARD AREAS**

- Without Base Flood Elevation (BFE)
- With BFE or Depth Zone AE, AO, AH, VE, AR
- Regulatory Floodway

**OTHER AREAS OF FLOOD HAZARD**

- 0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile
- Future Conditions 1% Annual Chance Flood Hazard
- Area with Reduced Flood Risk due to Levees. See Notes.
- Area with Flood Risk due to Levee

**OTHER AREAS**

- Area of Minimal Flood Hazard
- Effective LOMs
- Area of Undetermined Flood Hazard

**GENERAL STRUCTURES**

- Channel, Culvert, or Storm Sewer
- Levee, Dike, or Floodwall

**OTHER FEATURES**

- Cross Sections with 1% Annual Chance
- Water Surface Elevation
- Coastal Transect
- Base Flood Elevation Line (BFE)
- Limit of Study
- Jurisdiction Boundary
- Coastal Transect Baseline
- Profile Baseline
- Hydrographic Feature

**MAP PANELS**

- Digital Data Available
- No Digital Data Available
- Unmapped

This map complies with FEMA's standards for the use of digital flood maps. If it is not valid as described below. The basemap shown complies with FEMA's basemap accuracy standards.

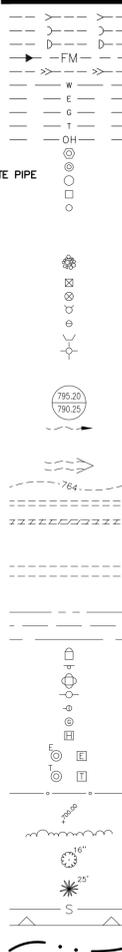
The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on 03/28/2024 at 2:43 PM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is valid if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmapped areas cannot be used for regulatory purposes.

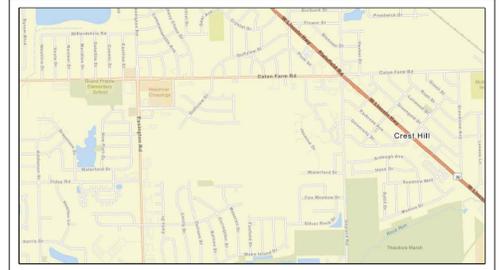
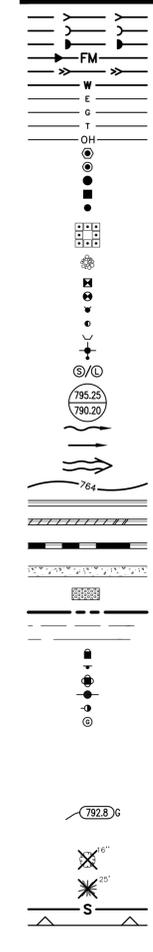
## ABBREVIATIONS

ADJ	ADJUST	F/L	FLOW LINE	R	RADIUS
AGG.	AGGREGATE	FM	FORCE MAIN	R.O.W.	RIGHT-OF-WAY
ARCH	ARCHITECT	G	GROUND	REP	REINFORCED CONCRETE PIPE
B.A.M.	BITUMINOUS AGGREGATE MIXTURE	G/F	GRADE AT FOUNDATION	REM	REMOVAL
B-B	BACK TO BACK	GW	GUY WIRE	REV	REVERSE
B/C	BACK OF CURB	HDWL	HEADWALL	RR	RAILROAD
B/P	BACK OF PIPE	HH	HANDHOLE	RT	RIGHT
B/W	BACK OF WALK	HHL	HIGH WATER LEVEL	SAN	SANITARY
B-BOX	BUFFALO BOX	HYD	HYDRANT	SF	SANITARY FOOT
BIT.	BITUMINOUS	INL	INLET	SHLD.	SHOULDER
BM	BENCHMARK	INV	INVERT	SL	STREET LIGHT
B.O.	BY OTHERS	IP	IRON PIPE	SMH	SANITARY MANHOLE
C.E.	COMMERCIAL ENTRANCE	LT	LEFT	ST	STATION
CB	CATCH BASIN	MAX.	MAXIMUM	STD	STANDARD
C	CENTERLINE	MB	MAILBOX	SW	SIDEWALK
CMP	CORRUGATED METAL PIPE	MEET	MEET EXISTING	SY	SQUARE YARDS
CNTRL	CONTROL	MH	MANHOLE	TBR	TO BE REMOVED
CO	CLEANOUT	MIN.	MINIMUM	T	TELEPHONETYPE A
CONC.	CONCRETE	NWL	NORMAL WATER LEVEL	T/A	TOP OF CURB
CY	CUBIC YARD	PCC	POINT OF CURVATURE	T/C	TOP OF FOUNDATION
D	DITCH	PCL	POINT OF COMPOUND CURVE	T/F	TOP OF PIPE
DIA.	DIAMETER	PI	POINT OF INTERSECTION	T/W	TOP OF WALK
DIP	DUCTILE IRON PIPE	PL	PROPERTY LINE	T/WALL	TOP OF WALL
DIWM	DUCTILE IRON WATER MAIN	PP	PROPOSED	TEMP	TEMPORARY
DS	DRAIN TILE	PROP.	PROPOSED	TRANS	TRANSFORMER
E	ELECTRIC	PT	POINT OF TANGENCY	V.B.	VALVE BOX
E-E	EDGE TO EDGE	PVC	POLYVINYL CHLORIDE PIPE	VCP	VITRIFIED CLAY PIPE
ELEV.	ELEVATION	PVI	POINT OF VERTICAL CURVATURE	V.V.	VALVE VAULT
EX.	EXISTING	PVT	POINT OF VERTICAL TANGENCY	WL	WATER LEVEL
F.O.	FACE TO FACE	P	PAVEMENT	WM	WATER MAIN
F-F	FINISHED FLOOR	P.U.D.E.	PUBLIC UTILITY & DRAINAGE EASEMENT		
F.FS	FLARED END SECTION				

## EXISTING



## PROPOSED



## LOCATION MAP NOT TO SCALE

## SITE DATA

LAND USE	UNITS	AREA
SINGLE FAMILY (60'x125')	120	33.3 AC
OPEN SPACE / DETENTION		10.7 AC
<b>TOTAL</b>	<b>120</b>	<b>44.0 AC</b>

## PROPERTY ADDRESS

2200 ESSINGTON ROAD  
JOLIET, IL 60435

## PIN'S

06-03-36-100-033-0000

## PROPERTY AREA

1,915,097 SQUARE FEET (43.964 ACRES)

## ZONING SUMMARY

- CURRENT ZONING - (B3) GENERAL BUSINESS DISTRICT
- CURRENT ZONING - (R2) SINGLE FAMILY RESIDENTIAL DISTRICT
- CURRENT ZONING - (R4) LOW DENSITY MULTI-FAMILY RESIDENTIAL DISTRICT
- PROPOSED ZONING - (R2) SINGLE FAMILY RESIDENTIAL DISTRICT
- EXISTING ZONING EAST - (A1) AGRICULTURE
- EXISTING ZONING SOUTH - (R2) SINGLE FAMILY
- EXISTING ZONING WEST - (B3) GENERAL BUSINESS DISTRICT
- EXISTING ZONING NORTH - (R2) SINGLE FAMILY

## REQUESTED VARIANCES

- VARIANCE FROM RESIDENTIAL DESIGN STANDARDS TO ALLOW 25% OF THE FRONT ELEVATIONS OF 100% OF THE SINGLE-FAMILY DWELLING UNITS TO BE COMPRISED OF BRICK OR STONE.
- VARIANCE FROM PUBLIC WORKS CONSTRUCTION ORDINANCE TO ALLOW 60' ROW WITH 15' FRONT UTILITY EASEMENTS ON LOCAL ROADS.

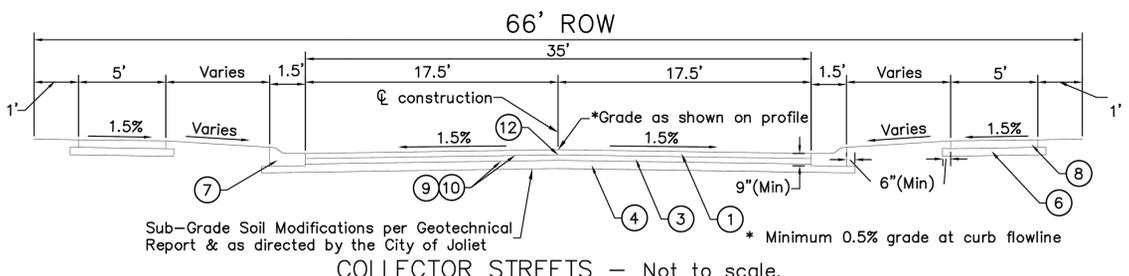
## LEGAL DESCRIPTION

(PER MEMORANDUM OF LAND CONTRACT RECORDED AS DOCUMENT R2023051136)

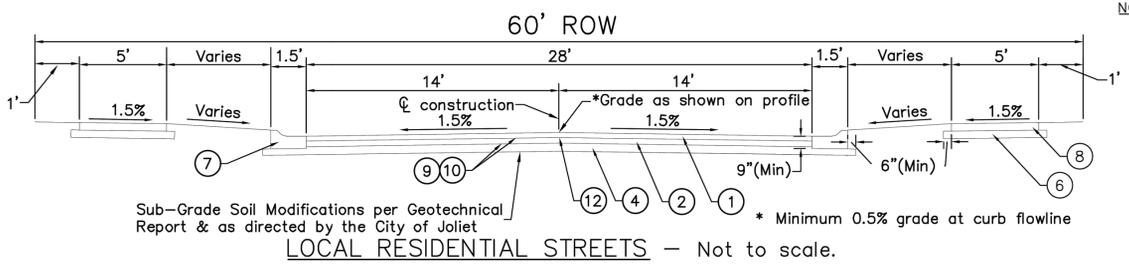
THE SOUTH HALF OF THE NORTHWEST QUARTER (EXCEPTING THEREFROM THE WEST 45 FEET THEREOF AND ALSO EXCEPTING THE WEST 1301.00 FEET OF THE SOUTH 620.00 FEET OF THE SOUTH HALF OF THE NORTHWEST QUARTER OF SECTION 36, TOWNSHIP 36 NORTH, RANGE 9 AND ALSO EXCEPTING THAT PART FALLING IN UNIT 1 OF WESTSIDE JOLIET REAL ESTATE LLC SUBDIVISION ACCORDING TO THE PLAT RECORDED AS DOCUMENT NUMBER R2021089147 AND ALSO EXCEPTING THAT PART FALLING IN DARCY ESTATES UNIT TWO ACCORDING TO THE PLAT RECORDED AS DOCUMENT NUMBER R2021100615) OF SECTION 36, TOWNSHIP 36 NORTH, RANGE 9 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN WILL COUNTY, ILLINOIS.

## OUTLOT OWNERSHIP & MAINTENANCE

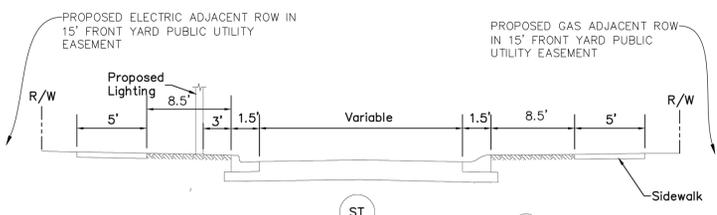
- HOA WILL BE RESPONSIBLE FOR OWNERSHIP AND MAINTENANCE OF OUTLOTS AND COMMON AREAS
- DETENTION PONDS WILL BE PRIVATELY OWNED WITH AN AGREEMENT FOR MAINTENANCE



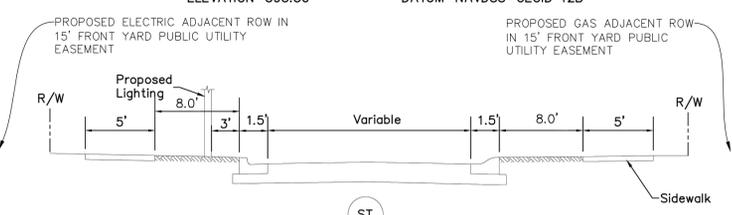
COLLECTOR STREETS - Not to scale.



LOCAL RESIDENTIAL STREETS - Not to scale.



TYPICAL UTILITY SECTION  
LOCAL STREETS Not to scale.



TYPICAL UTILITY SECTION  
COLLECTOR STREETS Not to scale.

ELECTRIC NOTE:  
LOCATE ELECTRIC DUCT A MINIMUM 6' FROM PUBLIC WATER MAIN

Proposed Storm Sewer\*  
\* Storm sewer location for all streets to be determined by Director of Public Works

\*ALL PRIVATE UTILITIES TO BE LOCATED OUTSIDE PUBLIC RIGHT-OF-WAY WITHIN 15' FRONT YARD PUBLIC UTILITY EASEMENT (EXCEPT AS REQUIRED TO CROSS R.O.W.)

Proposed Storm Sewer\*  
\* Storm sewer location for all streets to be determined by Director of Public Works

TYPICAL UTILITY SECTION  
COLLECTOR STREETS Not to scale.

## EXISTING CONDITIONS/SITE TOPOGRAPHY NOTE:

- EXISTING TOPOGRAPHY SHOWN REPRESENTS SITE CONDITIONS AS PREPARED BY MANHARD CONSULTING ON MARCH 29, 2024. CONTRACTOR SHALL FIELD CHECK EXISTING ELEVATIONS AND CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY ARCHITECT AND ENGINEER OF ANY DISCREPANCIES PRIOR TO STARTING CONSTRUCTION.

**SIGN LEGEND**

①	R1-1 STOP SIGN
②	CITY OF JOLIET STREET NAME SIGN



Manhard CONSULTING  
Civil Engineers • Surveyors • Water Resources Engineers • Wetland & Wetland Assessment • Environmental Scientists • Landscape Architects • Planners

2200 ESSINGTON ROAD, JOLIET, ILLINOIS 60435

FINAL PUD PLAT

PROJ. MGR.: CJS  
PROJ. ASSOC.: DMR  
DRAWN BY: DMR  
DATE: 11/01/24  
SCALE: 1" = 60'

SHEET 1 OF 8  
DRHJ0104

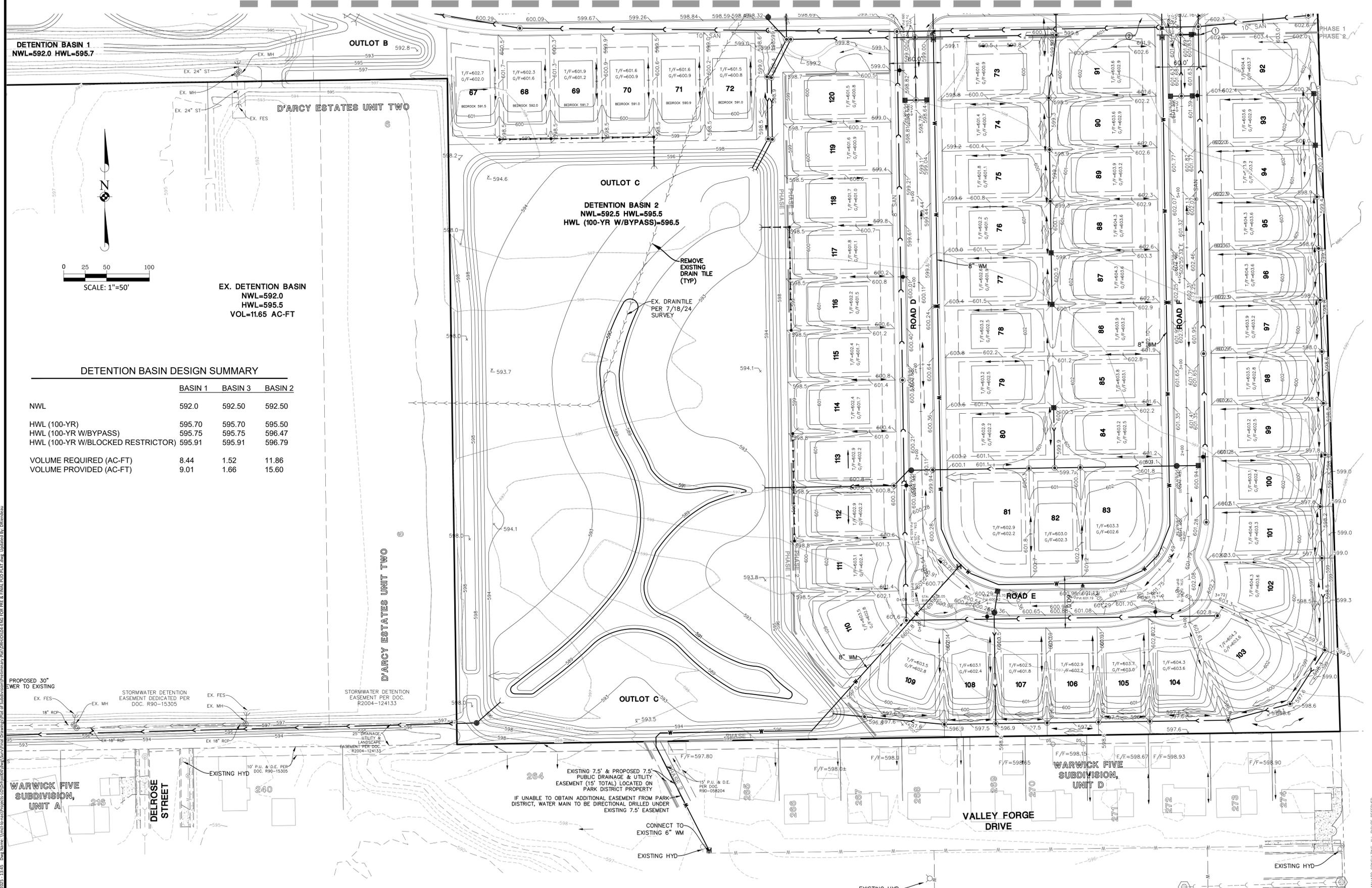




# FINAL PLAT OF PRAIRIE LANDING SUBDIVISION PLANNED UNIT DEVELOPMENT

THIS PLAT IS NOT FOR RECORD

FOR CONTINUATION - SEE SHEET 3



**DETENTION BASIN 1**  
NW=592.0 HWL=595.7

**OUTLET B**  
592.5

**D'ARCY ESTATES UNIT TWO**

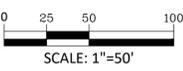
**OUTLET C**

**DETENTION BASIN 2**  
NW=592.5 HWL=595.5  
HWL (100-YR W/BYPASS)=596.5

REMOVE EXISTING DRAIN TILE (TYP)

EX. DRAINTILE PER 7/18/24 SURVEY

**EX. DETENTION BASIN**  
NW=592.0  
HWL=595.5  
VOL=11.65 AC-FT



**DETENTION BASIN DESIGN SUMMARY**

	BASIN 1	BASIN 3	BASIN 2
NWL	592.0	592.50	592.50
HWL (100-YR)	595.70	595.70	595.50
HWL (100-YR W/BYPASS)	595.75	595.75	596.47
HWL (100-YR W/BLOCKED RESTRICTOR)	595.91	595.91	596.79
VOLUME REQUIRED (AC-FT)	8.44	1.52	11.86
VOLUME PROVIDED (AC-FT)	9.01	1.66	15.60

PROPOSED 30" EWER TO EXISTING

STORMWATER DETENTION EASEMENT DEDICATED PER DOC. R90-15305

STORMWATER DETENTION EASEMENT PER DOC. R2004-124133

**WARWICK FIVE SUBDIVISION, UNIT A**

**DELROSE STREET**

EXISTING 7.5' & PROPOSED 7.5' PUBLIC DRAINAGE & UTILITY EASEMENT (15' TOTAL) LOCATED ON PARK DISTRICT PROPERTY

IF UNABLE TO OBTAIN ADDITIONAL EASEMENT FROM PARK DISTRICT, WATER MAIN TO BE DIRECTIONAL DRILLED UNDER EXISTING 7.5' EASEMENT

CONNECT TO EXISTING 6" WM

EXISTING HYD

**WARWICK FIVE SUBDIVISION, UNIT D**

**VALLEY FORGE DRIVE**

MANHARD CONSULTING

388 East Randolph Street, Joliet, IL 60435

312.709.8800

www.manhardconsulting.com

Manhard  
CONSULTING

Civil Engineers • Surveyors • Water Resource Engineers • Water & Wastewater Engineers  
Construction Managers • Environmental Scientists • Landscape Architects • Planners

DRAWN BY: \_\_\_\_\_

DATE: \_\_\_\_\_

REVISIONS:

NO.	DESCRIPTION	DATE

PROJ. MGR.: CJS

PROJ. ASSOC.: DMR

DRAWN BY: DMR

DATE: 11/01/24

SCALE: 1" = 60'

SHEET

4 OF 8

DRHJ0104

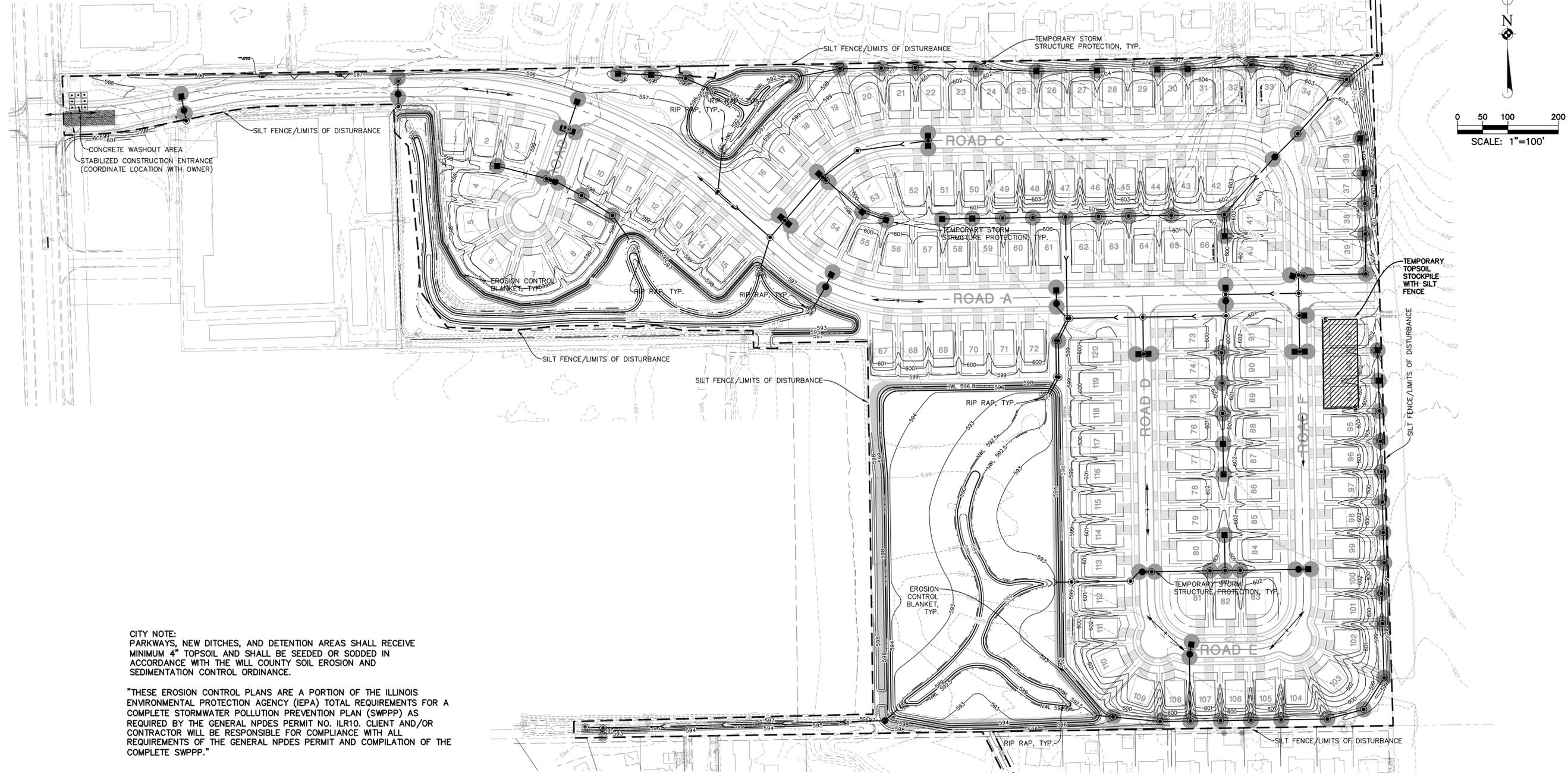
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PRAIRIE LANDING SUBDIVISION PLANNED UNIT DEVELOPMENT

2200 ESSINGTON ROAD, JOLIET, ILLINOIS 60435

FINAL PUD PLAT

# FINAL PLAT OF PRAIRIE LANDING SUBDIVISION PLANNED UNIT DEVELOPMENT



**CITY NOTE:**  
PARKWAYS, NEW DITCHES, AND DETENTION AREAS SHALL RECEIVE MINIMUM 4" TOPSOIL AND SHALL BE SEEDED OR SODDED IN ACCORDANCE WITH THE WILL COUNTY SOIL EROSION AND SEDIMENTATION CONTROL ORDINANCE.

"THESE EROSION CONTROL PLANS ARE A PORTION OF THE ILLINOIS ENVIRONMENTAL PROTECTION AGENCY (EPA) TOTAL REQUIREMENTS FOR A COMPLETE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) AS REQUIRED BY THE GENERAL NPDES PERMIT NO. ILR10. CLIENT AND/OR CONTRACTOR WILL BE RESPONSIBLE FOR COMPLIANCE WITH ALL REQUIREMENTS OF THE GENERAL NPDES PERMIT AND COMPILATION OF THE COMPLETE SWPPP."

**SOIL EROSION AND SEDIMENTATION CONTROL GENERAL NOTES:**

- ALL VEGETATIVE AND STRUCTURAL EROSION CONTROL PRACTICES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE MINIMUM STANDARDS AND SPECIFICATIONS OF THE "ILLINOIS URBAN MANUAL".
- MAINTENANCE AND REPLACEMENT OF EROSION CONTROL ITEMS, WHEN DIRECTED BY THE OWNER, SHALL BE CONSIDERED AS INCIDENTAL TO THE CONTRACT.
- THE CONTRACTOR SHALL INSPECT ALL EROSION CONTROL MEASURES AT LEAST ONCE EVERY SEVEN (7) CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM THAT IS 0.5 INCHES OR GREATER, OR EQUIVALENT SNOWFALL, WHEN THE SNOW MELTS AND THERE IS POTENTIAL FOR EROSION. ANY NECESSARY REPAIRS OR CLEANUP TO MAINTAIN THE EFFECTIVENESS OF SAID MEASURES SHALL BE MADE IMMEDIATELY. FOR SITES DISCHARGING DEWATERING WATER, AN INSPECTION MUST BE CONDUCTED DURING THE DISCHARGE, ONCE PER DAY ON WHICH THE DISCHARGE OCCURS AND DOCUMENTED AND KEPT IN THE SWPPP BOOKLET.
- INSTALL ALL PERIMETER SILT FENCING PRIOR TO ANY CLEARING OR GRADING. ONSITE SEDIMENT CONTROL MEASURES AS SHOWN AND SPECIFIED BY THIS EROSION AND SEDIMENTATION CONTROL PLAN SHALL BE CONSTRUCTED AND FUNCTIONAL PRIOR TO INITIATING CLEARING, GRADING, STRIPPING, EXCAVATION OR FILLING ACTIVITIES ON THE SITE.
- STORM WATERS FALLING ON THE ENTIRE SITE SHALL BE DIVERTED INTO THE DETENTION BASIN, PRIOR TO BEGINNING MASS EXCAVATION, THE CONTRACTOR SHALL CONSTRUCT DITCHES, SWALES, SEDIMENTATION TRAPS AND SILTATION CONTROL MEASURES AS REQUIRED TO INTERCEPT SURFACE WATERS BEFORE THEY FLOW ONTO ADJACENT PROPERTY AND CONVEY THEM TO THE DETENTION BASIN.
- IF STORMWATER DETENTION IS NOT REQUIRED THE CONTRACTOR SHALL CONSTRUCT DITCHES, SWALES, SEDIMENT TRAPS AND SILTATION CONTROL MEASURES AS REQUIRED TO INTERCEPT SURFACE WATERS BEFORE THEY FLOW ONTO ADJACENT PROPERTY.
- STABILIZATION OF DISTURBED AREAS MUST BE INITIATED IMMEDIATELY WHENEVER ANY CLEARING, GRADING, EXCAVATING OR OTHER EARTH DISTURBING ACTIVITIES HAVE PERMANENTLY CEASED ON ANY PORTION OF THE SITE, OR TEMPORARILY CEASED ON ANY PORTION OF THE SITE AND WILL NOT RESUME FOR A PERIOD EXCEEDING 14 CALENDAR DAYS. STABILIZATION OF DISTURBED AREAS MUST BE INITIATED WITHIN 1 WORKING DAY OF PERMANENT OR TEMPORARY CESSATION OF EARTH DISTURBING ACTIVITIES AND SHALL BE COMPLETED AS SOON AS POSSIBLE BUT NOT LATER THAN 14 DAYS FROM THE INITIATION OF STABILIZATION WORK IN AN AREA.
- TEMPORARY SEED MIXTURE SHALL BE APPLIED AT 64 LBS./ACRE.
- INLET PROTECTION SHALL BE INSTALLED UNDER THE GRATING OF EACH DRAINAGE STRUCTURE.
- STABILIZATION OF TOPSOIL STOCKPILES SHALL BE INITIATED IMMEDIATELY UPON COMPLETION UNLESS THEY WILL BE DISTURBED WITHIN FOURTEEN (14) CALENDAR DAYS. STABILIZATION OF STOCKPILES MUST BE INITIATED WITHIN 1 WORKING DAY OF PERMANENT OR TEMPORARY CESSATION OF EARTH DISTURBING ACTIVITIES AND SHALL BE COMPLETED AS SOON AS POSSIBLE BUT NOT LATER THAN 14 DAYS FROM THE INITIATION OF STABILIZATION WORK IN AN AREA. ALL SOIL STORAGE PILES SHALL BE PROTECTED FROM EROSION WITH SILT FENCE ON THE DOWN SLOPE SIDE OF THE PILES.
- DEWATERING DISCHARGES SHALL BE ROUTED THROUGH A SEDIMENT CONTROL (e.g. SEDIMENT TRAP OR BASIN, PUMPED WATER FILTER BAG) DESIGNED TO MINIMIZE DISCHARGES WITH VISUAL TURBIDITY. THE DISCHARGE SHALL NOT INCLUDE VISIBLE FLOATING SOLIDS OR FOAM. THE DISCHARGE MUST NOT CAUSE THE FORMATION OF A VISIBLE SHEEN ON THE WATER SURFACE, OR VISIBLE OILY DEPOSITS ON THE BOTTOM OR SHORELINE OF THE RECEIVING WATER. AN OIL-WATER SEPARATOR OR SUITABLE FILTRATION DEVICE SHALL BE USED TO TREAT OIL, GREASE, OR OTHER SIMILAR PRODUCTS IF DEWATERING WATER IS FOUND TO OR EXPECTED TO CONTAIN THESE MATERIALS. TO THE EXTENT FEASIBLE, USE WELL VEGETATED (e.g. GRASSY OR WOODED), UPLAND AREAS OF THE SITE TO INFILTRATE DEWATERING WATER BEFORE DISCHARGE. USING RECEIVING WATERS AS PART OF THE TREATMENT AREA IS PROHIBITED. TO MINIMIZE DEWATERING RELATED EROSION AND RELATED SEDIMENT DISCHARGES, USE STABLE, EROSION RESISTANT SURFACES (e.g. WELL-VEGETATED GRASSY AREAS, CLEAN FILTER STONE, GEOTEXTILE UNDERLAYMENT) TO DISCHARGE FROM DEWATERING CONTROLS. DO NOT PLACE DEWATERING CONTROLS, SUCH AS PUMPED WATER FILTER BAGS ON STEEP SLOPES (15% OR GREATER) IN GRADE. BACKWASH WATER (WATER USED TO BACKWASH/CLEAN ANY FILTERS USED AS PART OF STORMWATER TREATMENT) MUST BE PROPERLY TREATED OR HAULED OFF-SITE FOR DISPOSAL. DEWATERING TREATMENT DEVICES SHALL BE PROPERLY MAINTAINED.
- DUST CONTROL SHALL BE PERFORMED ON A DAILY BASIS USING WATER DISPERSED FROM A TRUCK MOUNTED TANK WITH STANDARD DISCHARGE HEADER TO PROVIDE A UNIFORM RATE OF APPLICATION.
- TEMPORARY GRAVEL CONSTRUCTION ENTRANCES SHALL BE MAINTAINED, ADJUSTED OR RELOCATED AS NECESSARY TO PREVENT SEDIMENT FROM BEING TRACKED ONTO PUBLIC ROADWAYS. ANY SEDIMENT REACHING A PUBLIC ROAD SHALL BE REMOVED BY SHOVELING OR STREET CLEANING BEFORE THE END OF EACH WORKING DAY.
- ANY LOOSE MATERIAL THAT IS DEPOSITED IN THE FLOW LINE OF ANY GUTTER OR DRAINAGE STRUCTURE DURING CONSTRUCTION OPERATIONS SHALL BE REMOVED AT THE CLOSE OF EACH WORKING DAY.
- OVERLAND FLOW SHALL BE DIRECTED TO THE DETENTION BASIN PRIOR TO LEAVING THE SITE.
- THE EROSION CONTROL MEASURES INDICATED ON THE PLANS ARE THE MINIMUM REQUIREMENTS. ADDITIONAL MEASURES MAY BE REQUIRED, AS DIRECTED BY THE CLIENT OR OTHER JURISDICTIONAL GOVERNMENTAL ENTITIES.
- ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE REMOVED AND DISPOSED OF IN ACCORDANCE WITH ALL JURISDICTIONAL GOVERNMENTAL AGENCY REQUIREMENTS WITHIN 30 DAYS OF FINAL STABILIZATION.

**SOIL PROTECTION CHART**

STABILIZATION CHART	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC
PERMANENT SEEDINGS			A									
DORMANT SEEDINGS	B											
TEMPORARY SEEDINGS			C									
TEMPORARY SEEDINGS				D								
SODDING					E							
MULCHING						F						

KENTUCKY BLUEGRASS, 90 LBS./AC. MIXED WITH PERENNIAL RYEGRASS 30 LBS./AC.  
 KENTUCKY BLUEGRASS, 135 LBS./AC. MIXED WITH PERENNIAL RYEGRASS 45 LBS./AC. 2 TONS STRAW MULCH PER ACRE  
 C - SPRING OATS  
 D - WHEAT OR CENICAL RYE  
 E - SOD (NURSERY GROWN KENTUCKY BLUEGRASS)  
 F - STRAW MULCH 2 TONS PER ACRE  
 \* IRRIGATION NEEDED DURING JUNI, JULY AND SEPTEMBER  
 \*\* IRRIGATION NEEDED FOR 2-3 WEEKS AFTER SODDING

NOTE: THIS CHART IS A GUIDE TO ASSIST THE CONTRACTOR IN UNDERSTANDING OPTIONS FOR SOIL STABILIZATION. THE LANDSCAPE PLAN SHALL TAKE PRECEDENCE OVER THIS CHART. ANY CONFLICT SHALL BE DISCUSSED WITH THE LANDSCAPE ARCHITECT PRIOR TO THE START OF CONSTRUCTION.

**LEGEND**

- S-S- TEMPORARY SILT FENCE (PERIMETER EROSION BARRIER)
- SD-SD- TEMPORARY SILT DIKE
- EROSION CONTROL BLANKET (NORTH AMERICAN GREEN DS 75) (SEEDING PER LANDSCAPE PLAN)
- TEMPORARY GRAVEL CONSTRUCTION ENTRANCE
- TEMPORARY STORM STRUCTURE PROTECTION
- TEMPORARY CULVERT INLET PROTECTION
- TEMPORARY PERFORATED RISER
- PAVEMENT DRAINAGE FLOW
- SWALE DRAINAGE FLOW
- LIMITS OF DISTURBANCE/CONSTRUCTION

- CONSTRUCTION SEQUENCE:**
- INSTALL SILT FENCE AT LOCATIONS AS INDICATED ON THE PLANS.
  - PROVIDE STABILIZED CONSTRUCTION ENTRANCE.
  - CONSTRUCT TEMPORARY DITCHES, SWALES, SEDIMENT TRAPS AND/OR BASINS.
  - STRIP EXISTING TOPSOIL FROM PROPOSED LIMITS OF DISTURBANCE AND STOCKPILE WHERE SHOWN ON PLANS.
  - PROVIDE SILT FENCE AROUND THE BASE OF THE STOCKPILES.
  - CONSTRUCT STORMWATER MANAGEMENT (DETENTION) FACILITIES TO SUB-GRADE AND INSTALL OUTLET PIPES.
  - COMPLETE TOPSOIL PLACEMENT AND PERMANENT SEEDING AND SODDING OF STORMWATER MANAGEMENT FACILITIES.
  - CUT AND FILL SITE TO PLAN SUB-GRADE.
  - CONSTRUCT UNDERGROUND IMPROVEMENTS, I.e. SANITARY SEWER WATERMAIN AND STORM SEWER\*\*, ETC.
  - CONSTRUCT PAVEMENT IMPROVEMENTS PER PLAN.
  - COMPLETE CONSTRUCTION OF SITE WITH PERMANENT STABILIZATION.
  - REMOVE TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES.
  - \*\* INSTALL INLET PROTECTION AROUND DRAINAGE STRUCTURES AS CONSTRUCTED.

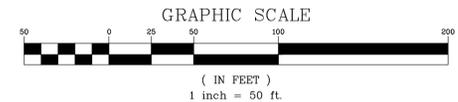
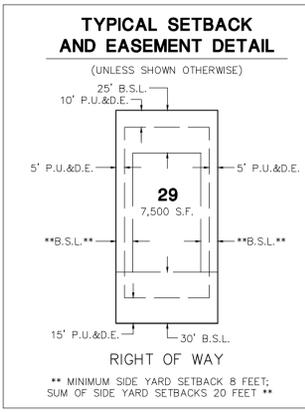
DRAWN BY: [ ]  
 REVISIONS: [ ]  
 DATE: [ ]  
 PROJECT: PRAIRIE LANDING SUBDIVISION PLANNED UNIT DEVELOPMENT  
 2200 ESSINGTON ROAD, JOLIET, ILLINOIS 60435  
 FINAL PUD PLAT  
 SHEET 5 OF 8  
 DRH/JOL04  
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**Manhard CONSULTING**  
 2200 Essington Road, Joliet, IL 60435  
 Civil Engineers • Surveyors • Water Resource Engineers • Water & Wastewater Engineers  
 Construction Managers • Environmental Scientists • Landscape Architects • Planners



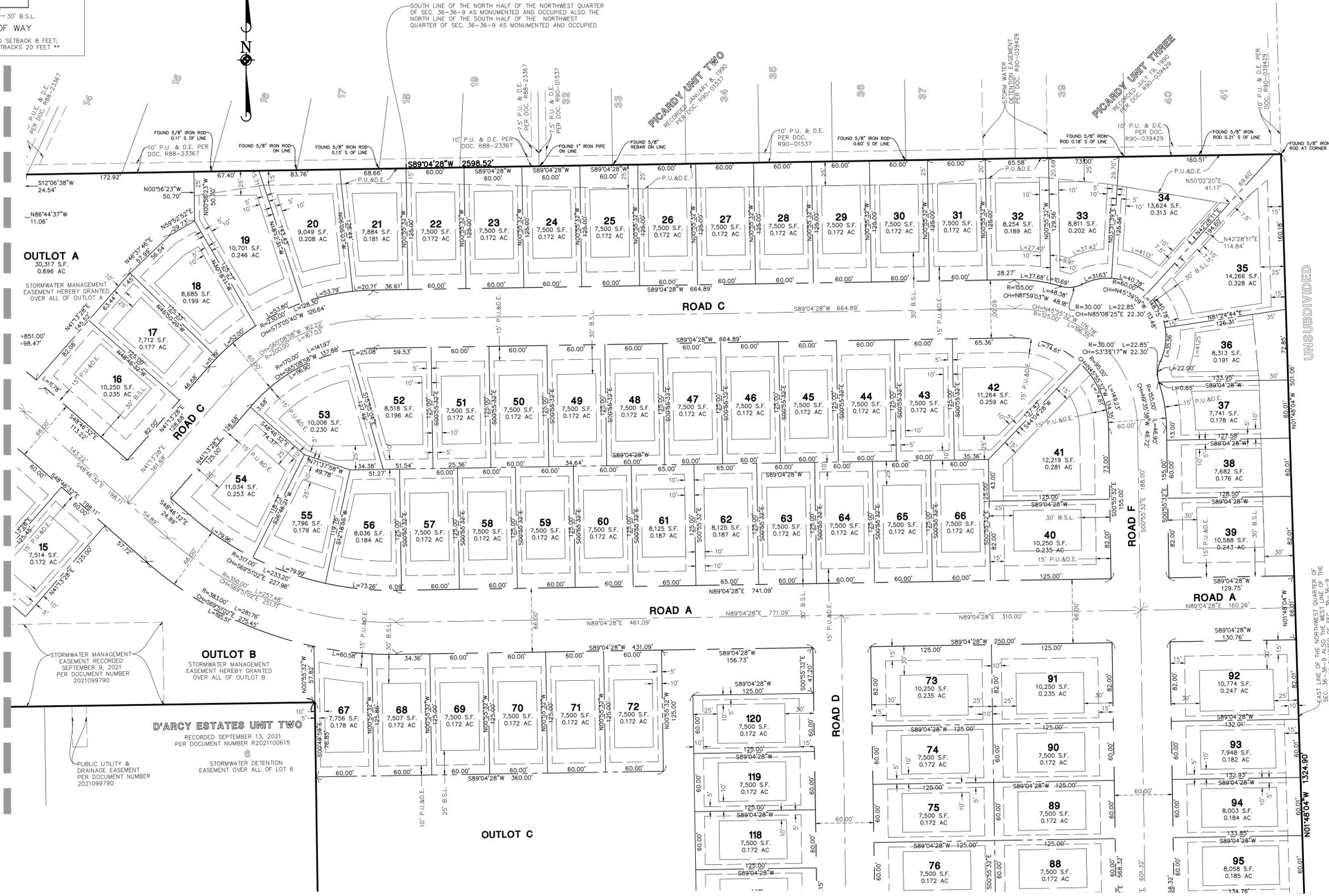
# FINAL PLAT OF PRAIRIE LANDING SUBDIVISION PLANNED UNIT DEVELOPMENT

BEING A SUBDIVISION OF THAT PART OF THE WEST HALF OF THE NORTHWEST QUARTER OF SECTION 16,  
TOWNSHIP 36 NORTH, RANGE 9, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN WILL COUNTY, ILLINOIS.



FOR CONTINUATION - SEE SHEET 6

UNSUBDIVIDED



**OUTLOT A**  
30,317 S.F.  
0.696 AC  
STORMWATER MANAGEMENT EASEMENT HEREBY GRANTED OVER ALL OF OUTLOT A

**OUTLOT B**  
STORMWATER MANAGEMENT EASEMENT HEREBY GRANTED OVER ALL OF OUTLOT B

**D'ARCY ESTATES UNIT TWO**  
RECORDED SEPTEMBER 13, 2021  
PER DOCUMENT NUMBER R2021100615

PUBLIC UTILITY & DRAINAGE EASEMENT PER DOCUMENT NUMBER 2021099790

STORMWATER DETENTION EASEMENT OVER ALL OF LOT 6

**OUTLOT C**

March 6, 2025 - 13:21 Dog Name: \\vncbe-out\Projects\01\Projects\01\Drawings\Final\Plat\02-out\01\01\04-PS.dwg Updated by: CSular

FOR CONTINUATION - SEE SHEET 8

DATE	REVISIONS	BY	CHK
07/03/25	REVISED PER CITY REVIEW	CS	CS
07/24/25	REVISED PER CITY REVIEW	LB	LB

**Manhard CONSULTING**

2200 ESSINGTON ROAD, JOLIET, ILLINOIS 60435

Civil Engineers • Surveyors • Water Resource Engineers • Wetland & Wetland Assessment • Construction Managers • Environmental Scientists • Landscape Architects • Planners

**PRAIRIE LANDING SUBDIVISION PLANNED UNIT DEVELOPMENT**

2200 ESSINGTON ROAD, JOLIET, ILLINOIS 60435

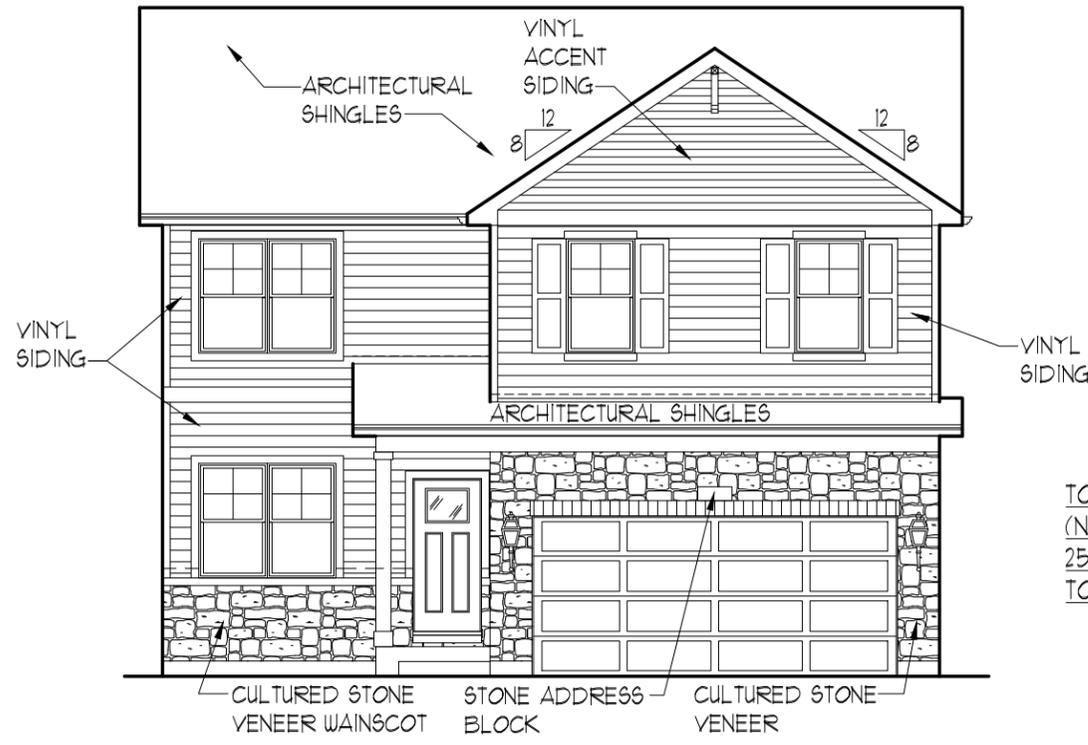
**FINAL PUD PLAT**

PROJ. MGR.:	CS
PROJ. ASSOC.:	CS
DRAWN BY:	LB
DATE:	10/18/24
SCALE:	1" = 50'

SHEET  
**7** OF **8**  
DRHJ0104

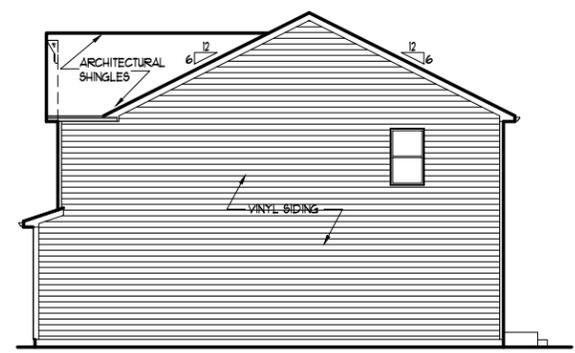


# ELEVATIONS AND FLOOR PLANS

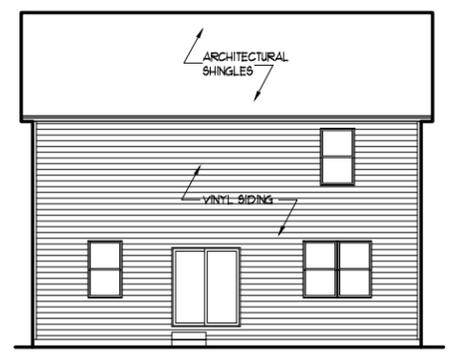


TOTAL FRONT ELEVATION SIDEABLE AREA  
 (NOT INCLUDING WINDOWS, DOORS, & ROOF AREA) = 459.16 SQ. FT.  
 25% OF SIDEABLE AREA = 114.79 SQ. FT.  
 TOTAL MASONRY AREA = 133.00 SQ. FT. (29.0%)

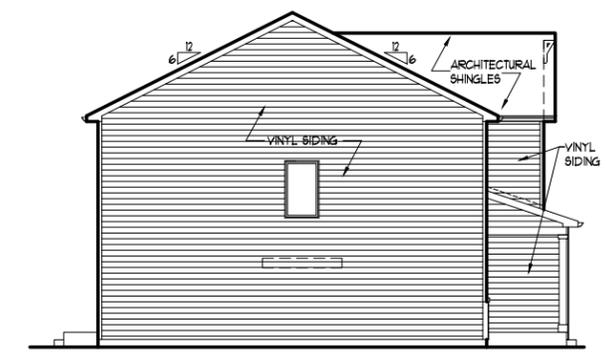
**ELEVATION "A5"**



TYPICAL RIGHT ELEVATION

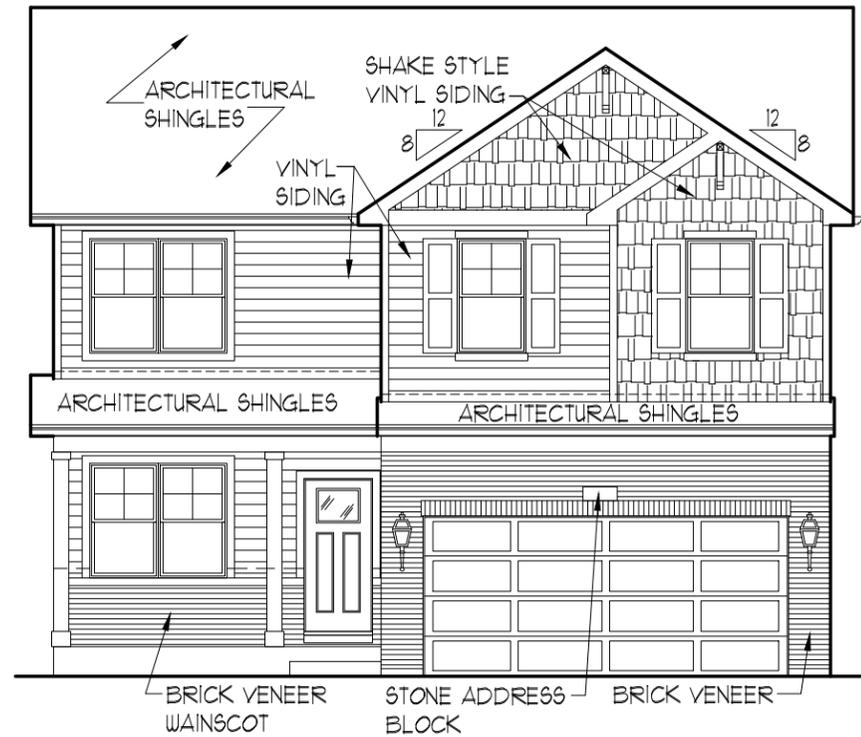


TYPICAL REAR ELEVATION



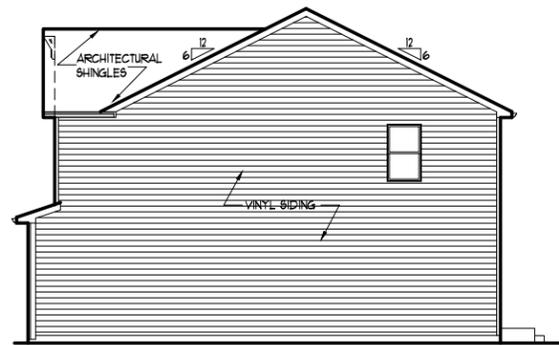
TYPICAL LEFT ELEVATION

**x424**  
PRAIRIE LANDING  
JOLIET, IL.  
**X-SERIES**

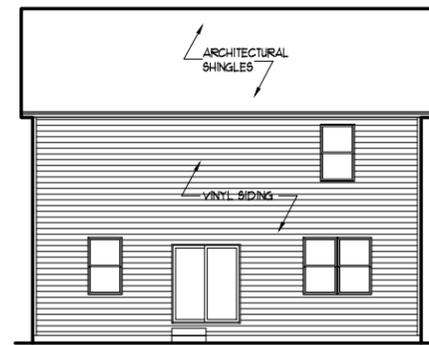


TOTAL FRONT ELEVATION SIDEABLE AREA  
 (NOT INCLUDING WINDOWS, DOORS, & ROOF AREA) = 428.99 SQ. FT.  
 25% OF SIDEABLE AREA = 107.25 SQ. FT.  
 TOTAL MASONRY AREA = 128.39 SQ. FT. (29.9%)

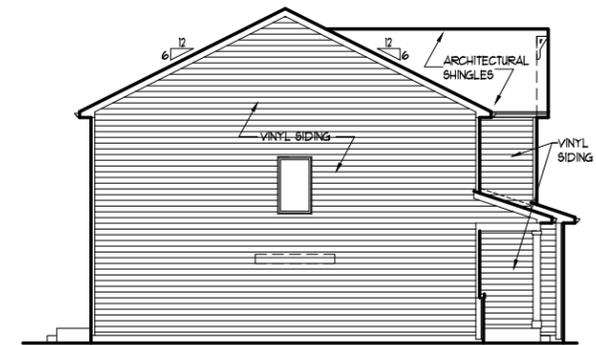
## ELEVATION "B4"



TYPICAL RIGHT ELEVATION

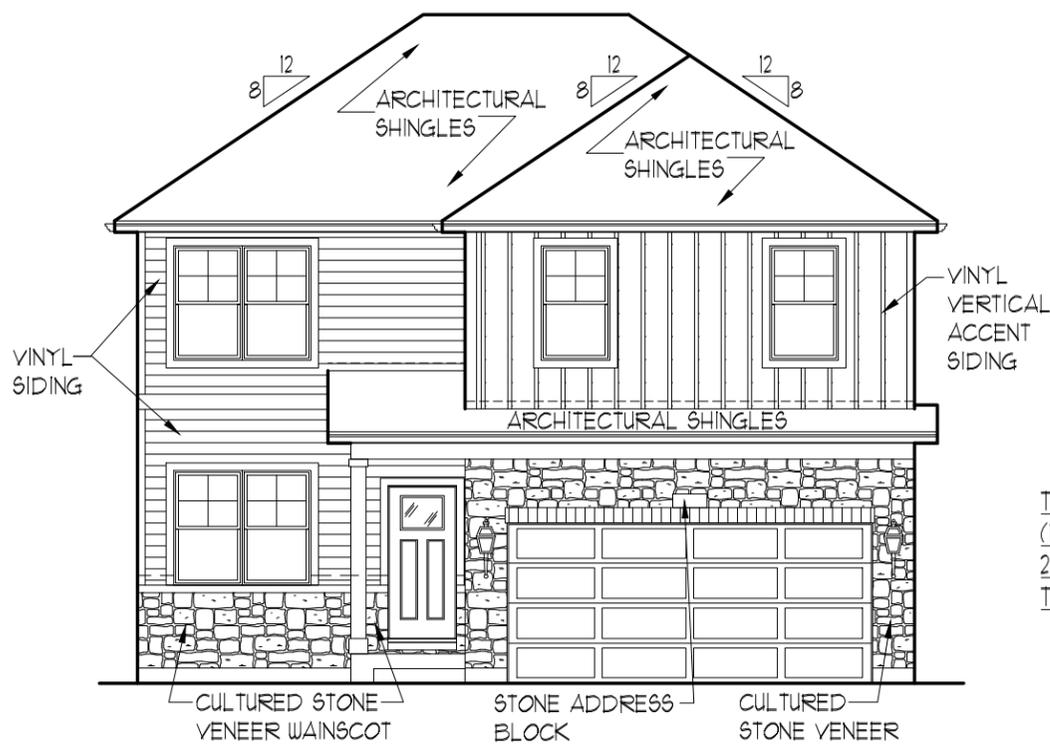


TYPICAL REAR ELEVATION



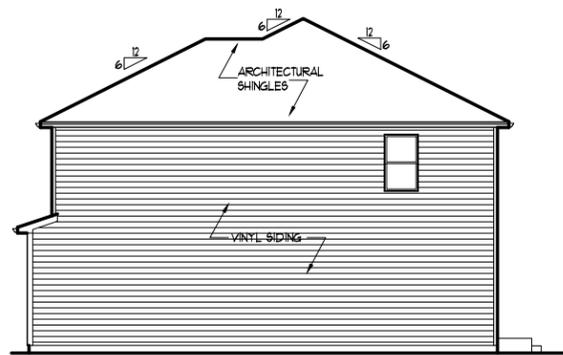
TYPICAL LEFT ELEVATION

x424  
PRAIRIE LANDING  
JOLIET, IL.  
X-SERIES

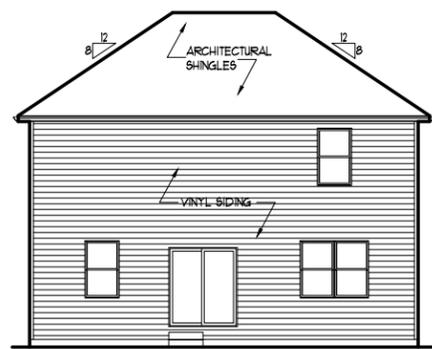


TOTAL FRONT ELEVATION SIDEABLE AREA  
 (NOT INCLUDING WINDOWS, DOORS, & ROOF AREA) = 386.40 SQ. FT.  
 25% OF SIDEABLE AREA = 96.60 SQ. FT.  
 TOTAL MASONRY AREA = 133.00 SQ. FT. (34.4%)

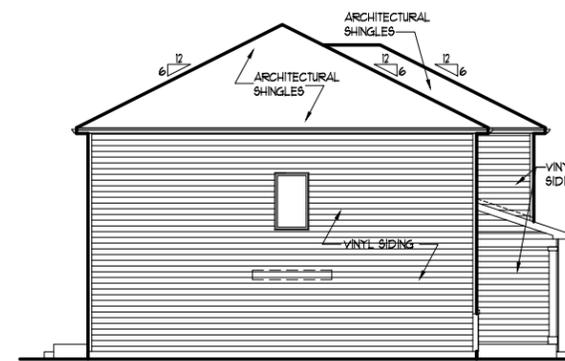
ELEVATION "C5"



TYPICAL RIGHT ELEVATION

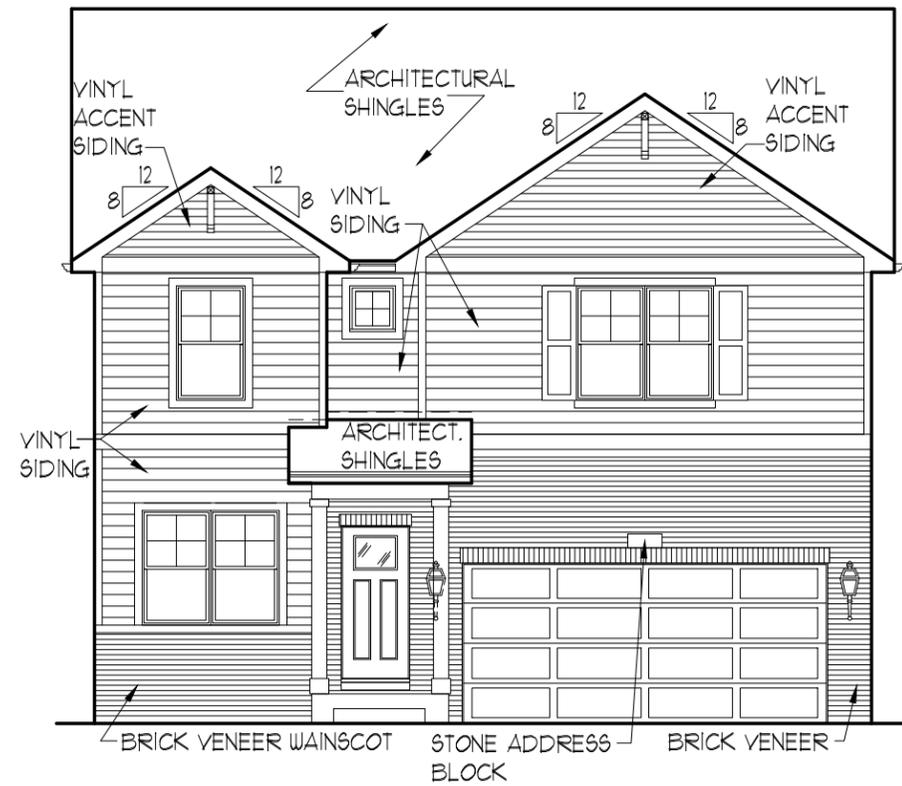


TYPICAL REAR ELEVATION



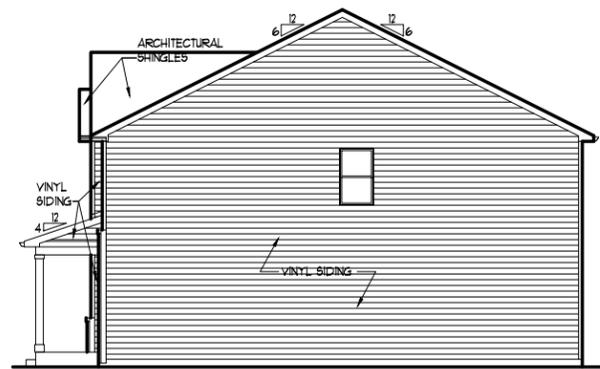
TYPICAL LEFT ELEVATION

x424  
PRAIRIE LANDING  
JOLIET, IL.  
X-SERIES

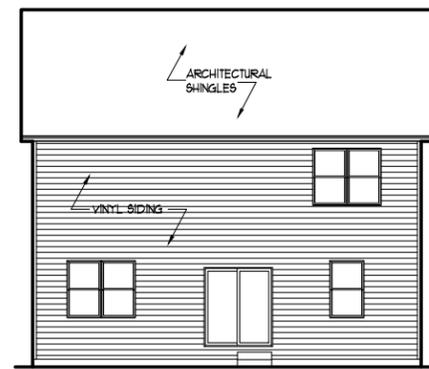


TOTAL FRONT ELEVATION SIDEABLE AREA  
 (NOT INCLUDING WINDOWS, DOORS, & ROOF AREA) = 521.05 SQ. FT.  
 25% OF SIDEABLE AREA = 130.26 SQ. FT.  
 TOTAL MASONRY AREA = 197.00 SQ. FT. (37.8%)

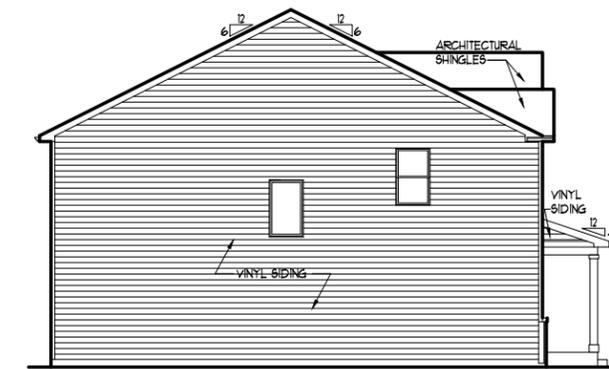
## ELEVATION "A4"



TYPICAL RIGHT ELEVATION



TYPICAL REAR ELEVATION



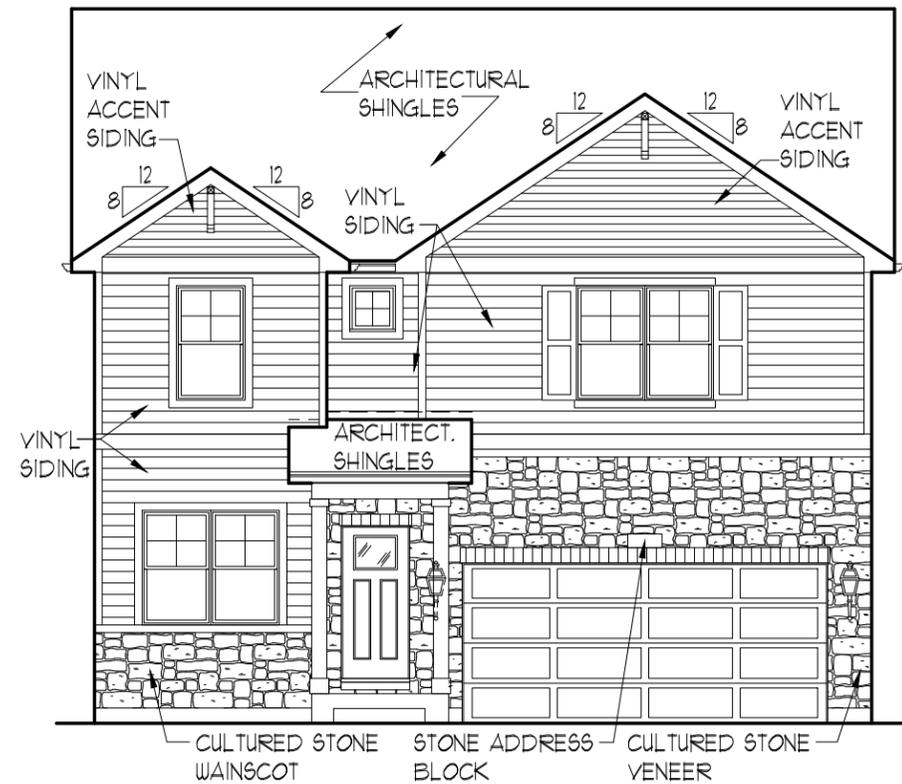
TYPICAL LEFT ELEVATION

# x427

## PRAIRIE LANDING

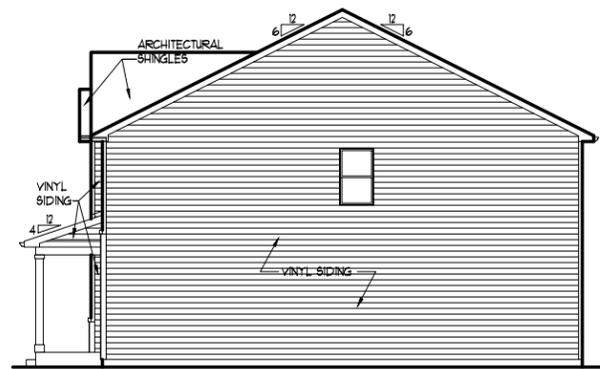
### JOLIET, IL.

# X-SERIES

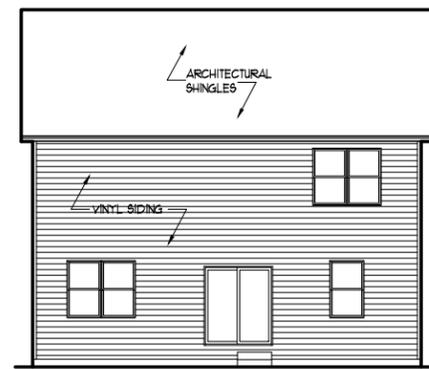


TOTAL FRONT ELEVATION SIDEABLE AREA  
 (NOT INCLUDING WINDOWS, DOORS, & ROOF AREA) = 521.05 SQ. FT.  
 25% OF SIDEABLE AREA = 130.26 SQ. FT.  
 TOTAL MASONRY AREA = 193.00 SQ. FT. (31.0%)

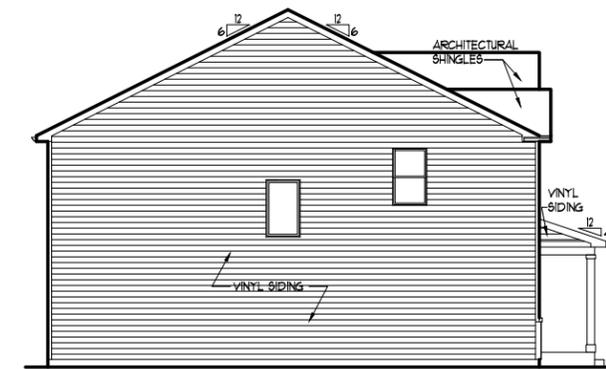
ELEVATION "A5"



TYPICAL RIGHT ELEVATION

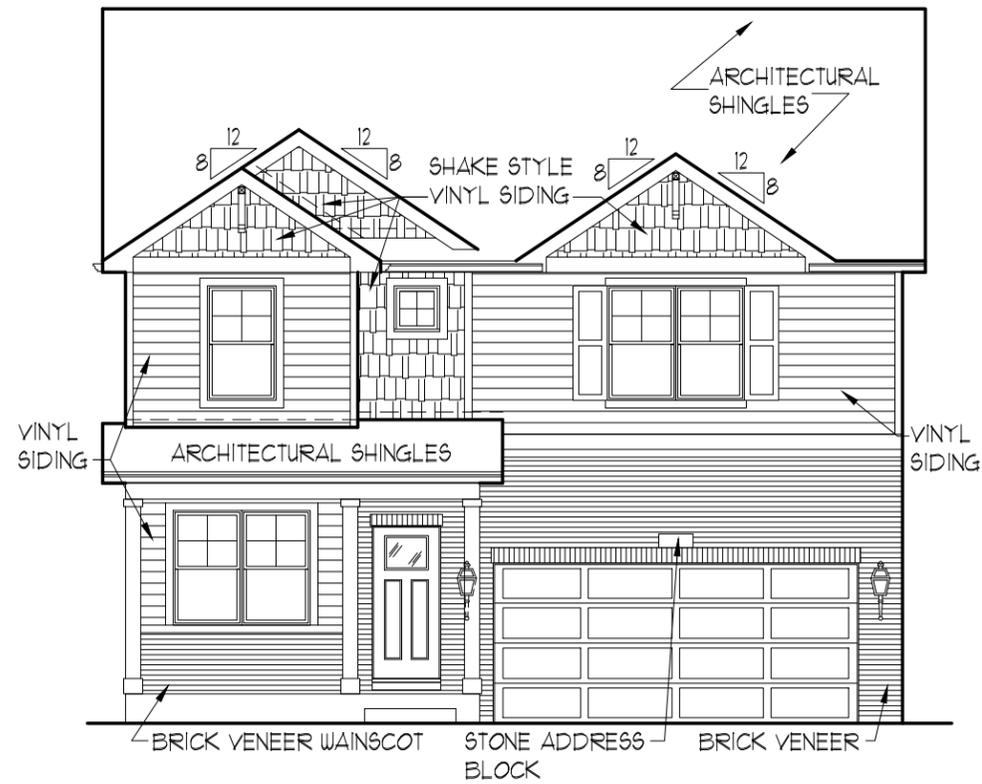


TYPICAL REAR ELEVATION



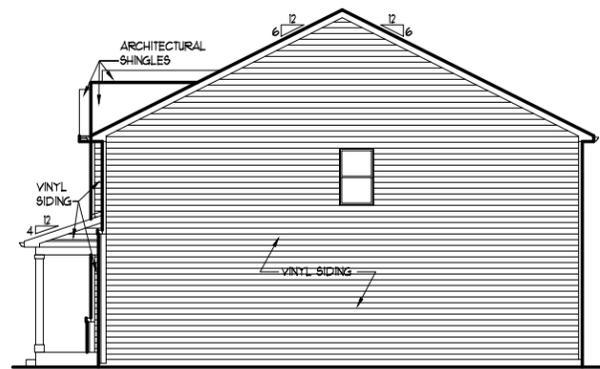
TYPICAL LEFT ELEVATION

x427  
PRAIRIE LANDING  
JOLIET, IL.  
X-SERIES

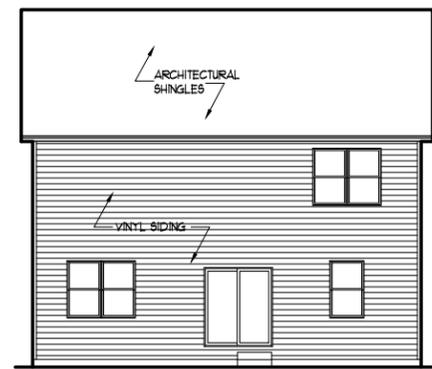


TOTAL FRONT ELEVATION SIDEABLE AREA  
 (NOT INCLUDING WINDOWS, DOORS, & ROOF AREA) = 459.84 SQ. FT.  
 25% OF SIDEABLE AREA = 114.96 SQ. FT.  
 TOTAL MASONRY AREA = 187.90 SQ. FT. (40.9%)

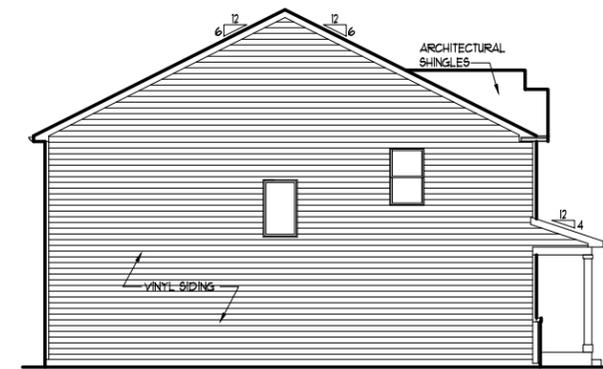
## ELEVATION "B4"



TYPICAL RIGHT ELEVATION

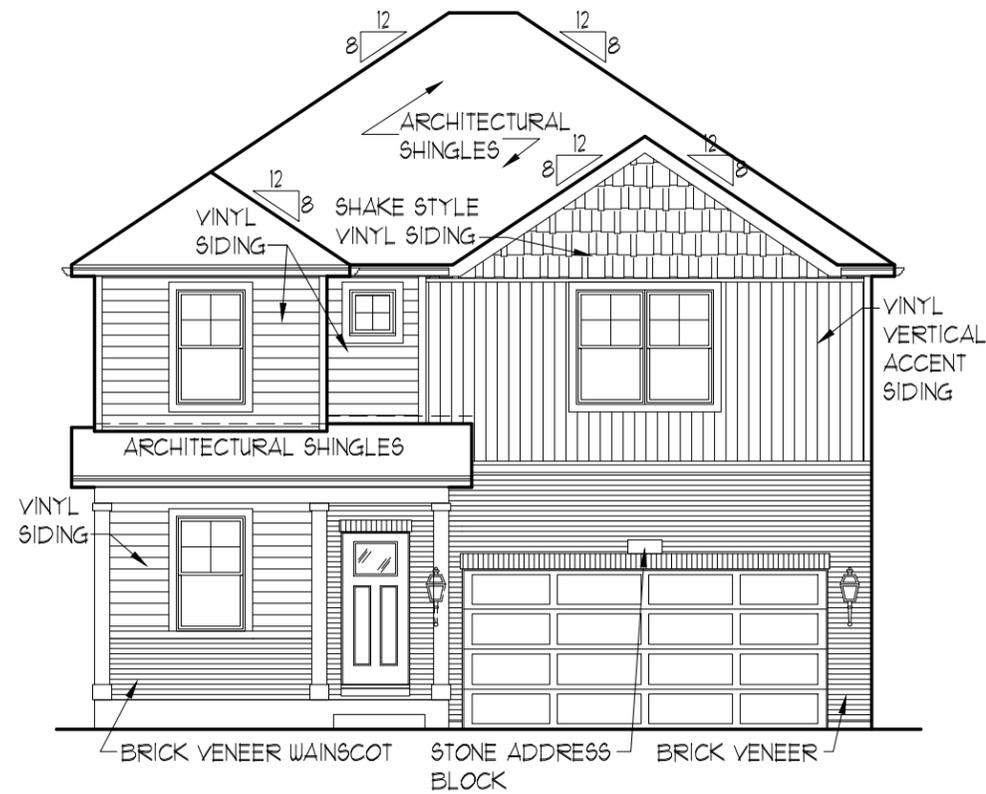


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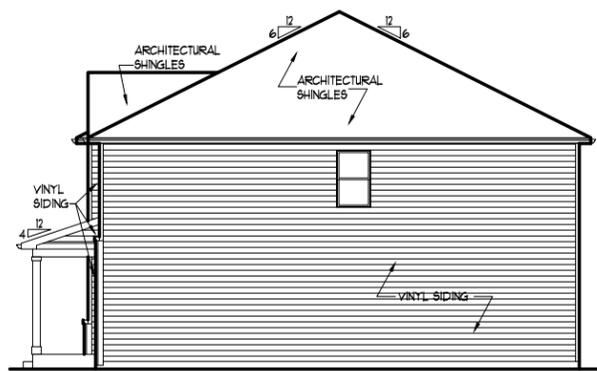
TYPICAL LEFT ELEVATION

x427  
PRAIRIE LANDING  
JOLIET, IL.  
X-SERIES

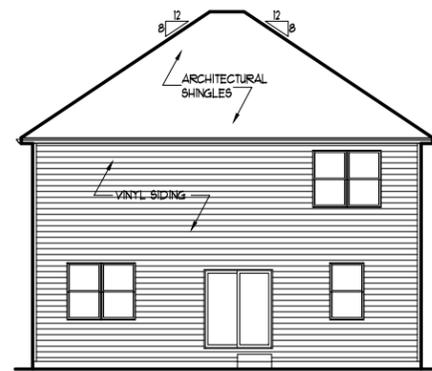


TOTAL FRONT ELEVATION SIDEABLE AREA  
 (NOT INCLUDING WINDOWS, DOORS, & ROOF AREA) = 457.85 SQ. FT.  
 25% OF SIDEABLE AREA = 114.46 SQ. FT.  
 TOTAL MASONRY AREA = 187.90 SQ. FT. (41.0%)

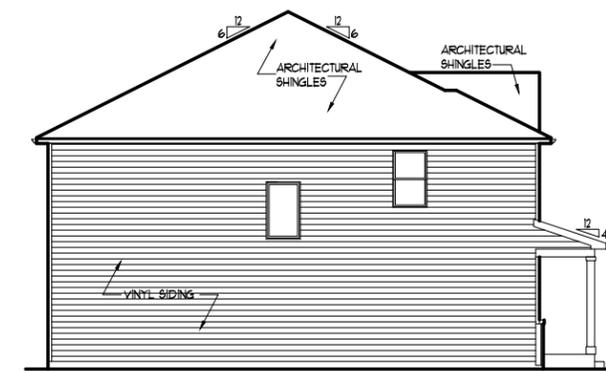
## ELEVATION "D4"



TYPICAL RIGHT ELEVATION



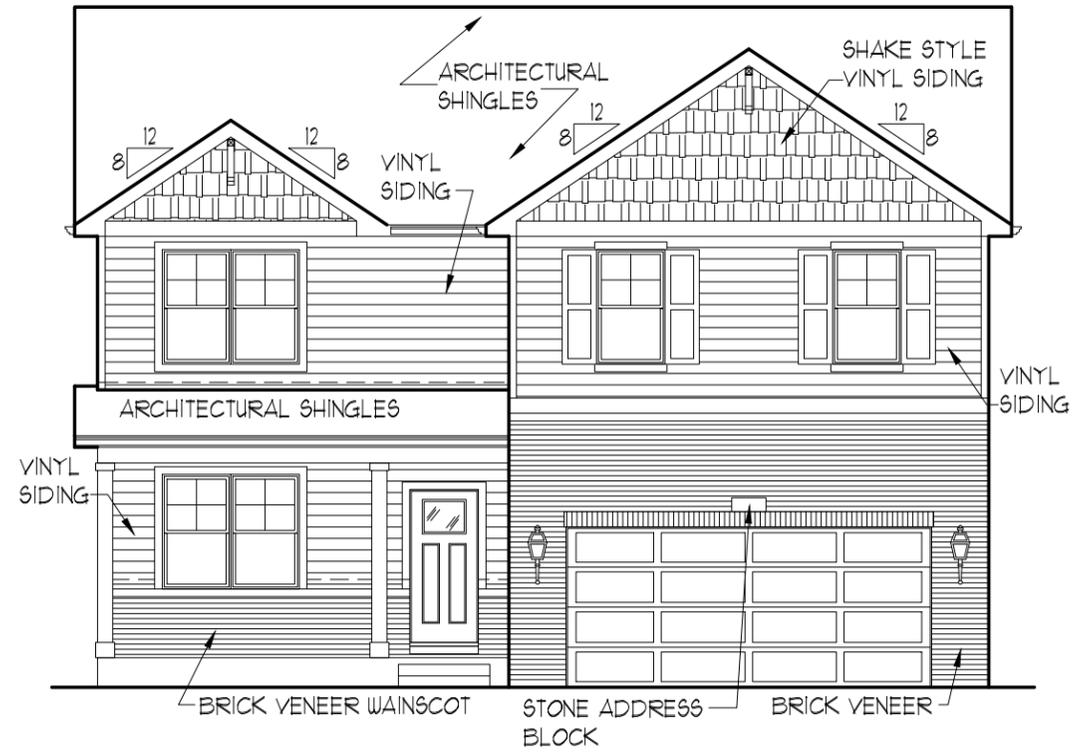
TYPICAL REAR ELEVATION



TYPICAL LEFT ELEVATION

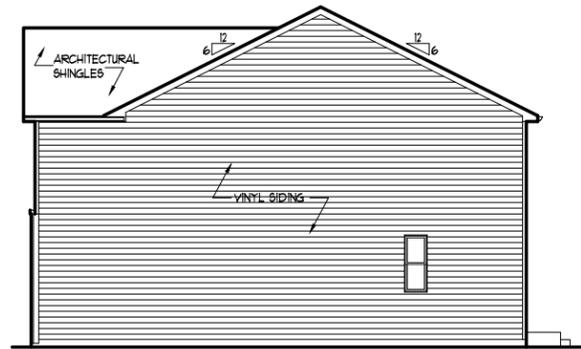
x427  
PRAIRIE LANDING  
JOLIET, IL.  
X-SERIES



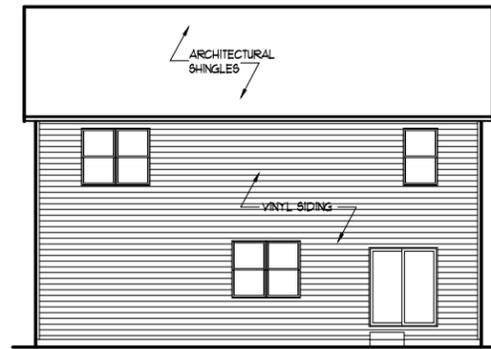


TOTAL FRONT ELEVATION SIDEABLE AREA  
 (NOT INCLUDING WINDOWS, DOORS, & ROOF AREA) = 583.53 SQ. FT.  
 25% OF SIDEABLE AREA = 145.88 SQ. FT.  
 TOTAL MASONRY AREA = 183.96 SQ. FT. (31.5%)

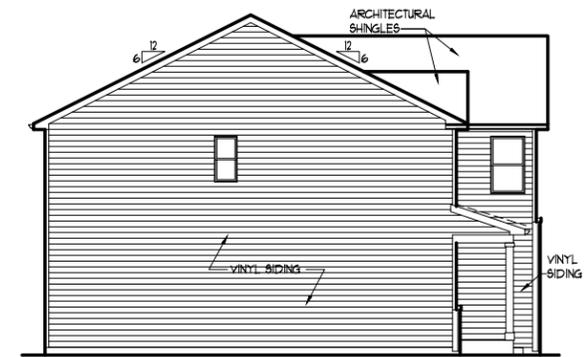
**ELEVATION "B4"**



TYPICAL RIGHT ELEVATION



TYPICAL REAR ELEVATION



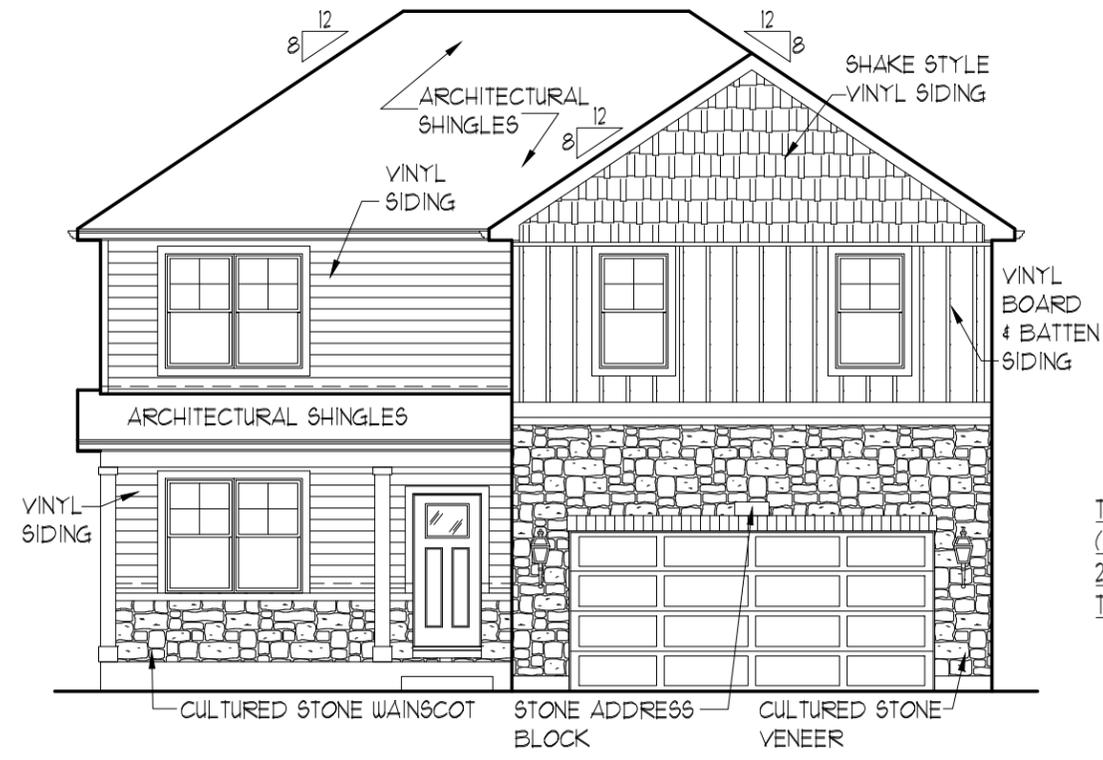
TYPICAL LEFT ELEVATION

x429

PRAIRIE LANDING

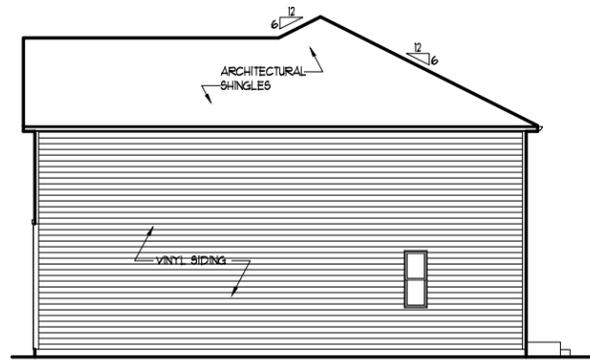
JOLIET, IL.

X-SERIES

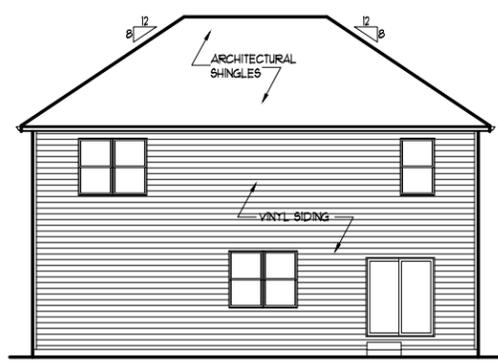


TOTAL FRONT ELEVATION SIDEABLE AREA  
 (NOT INCLUDING WINDOWS, DOORS, & ROOF AREA) = 556.09 SQ. FT.  
 25% OF SIDEABLE AREA = 139.02 SQ. FT.  
 TOTAL MASONRY AREA = 182.29 SQ. FT. (32.8%)

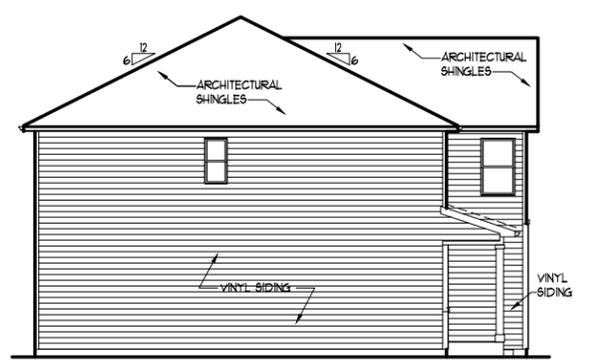
ELEVATION "D5"



TYPICAL RIGHT ELEVATION

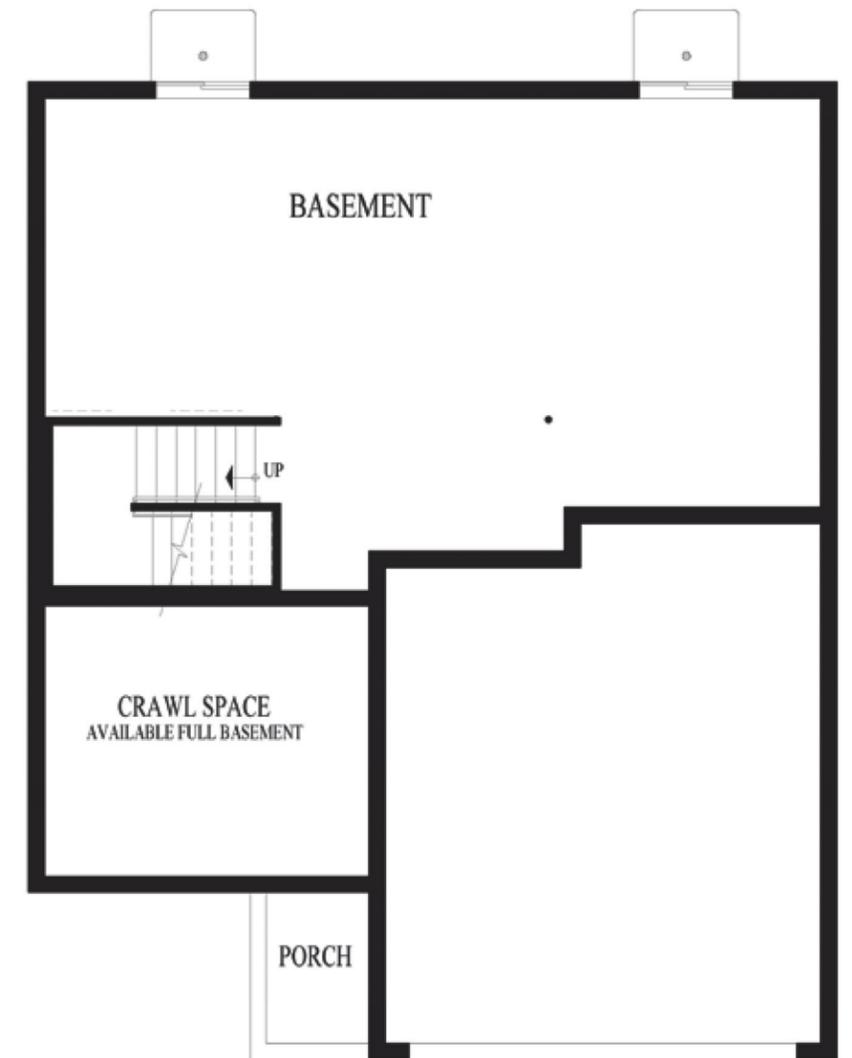
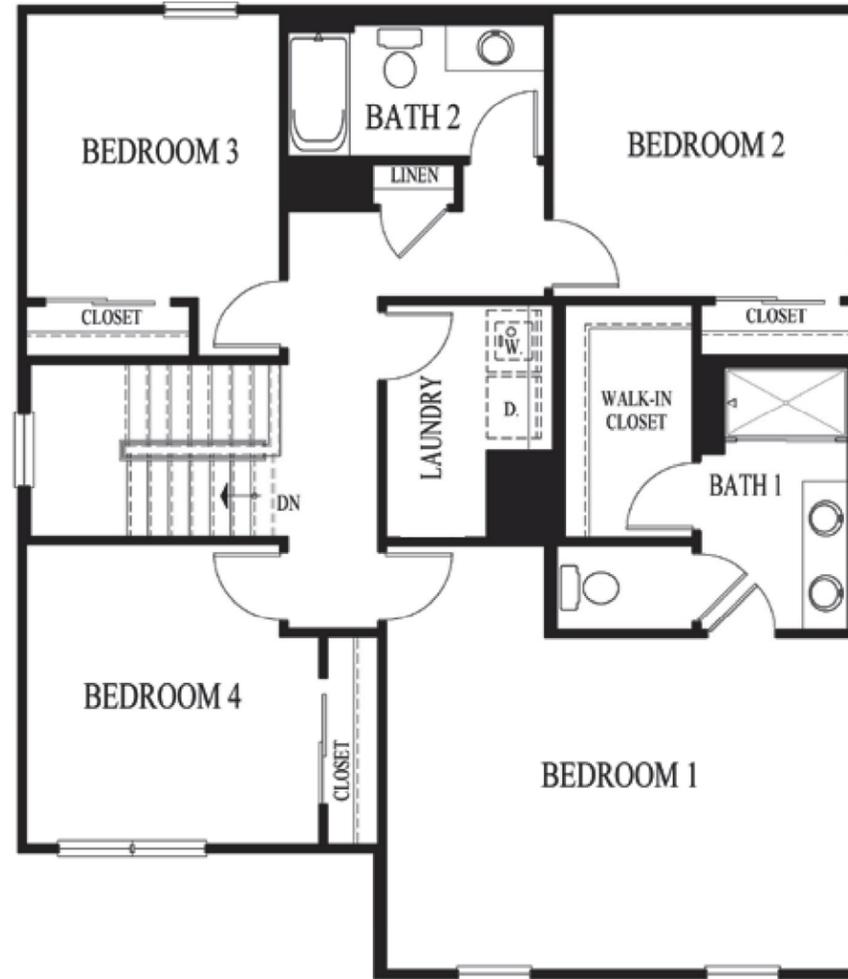


TYPICAL REAR ELEVATION



TYPICAL LEFT ELEVATION

x429  
PRAIRIE LANDING  
JOLIET, IL.  
X-SERIES



Main Level

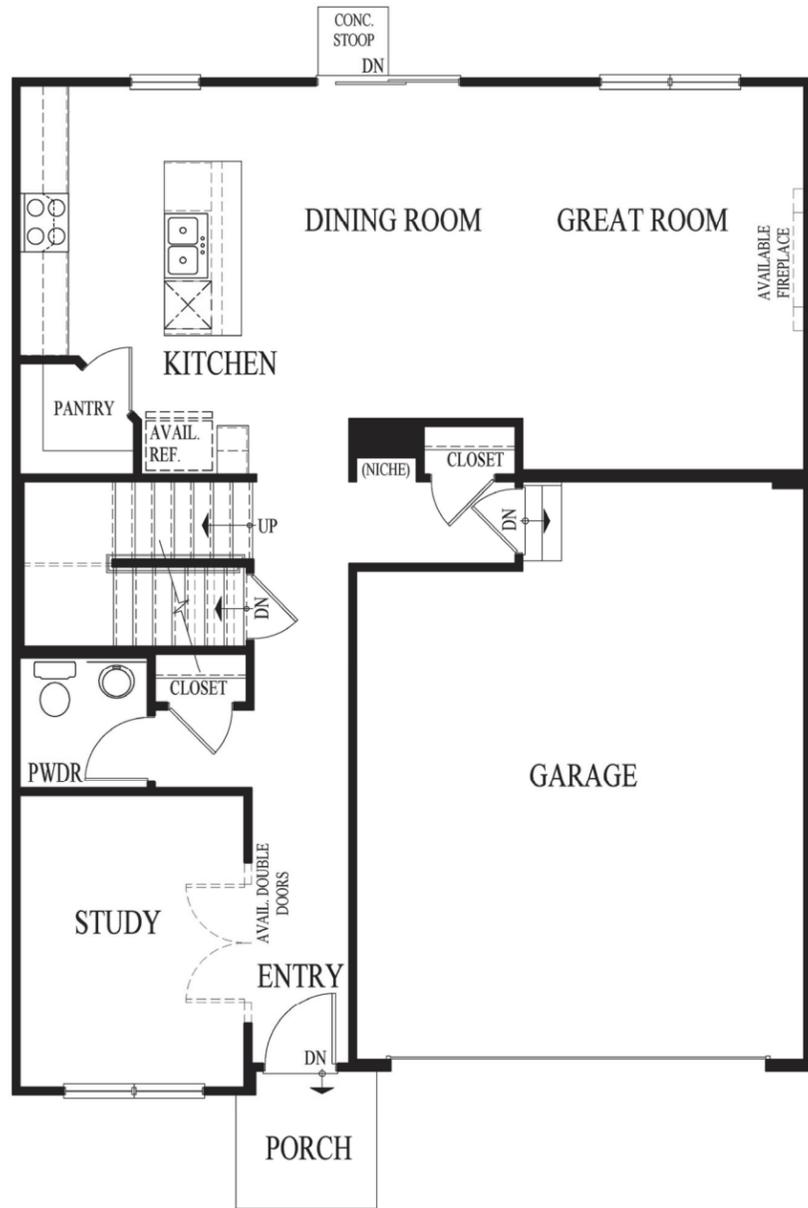
Upper Level

Partial Basement\*

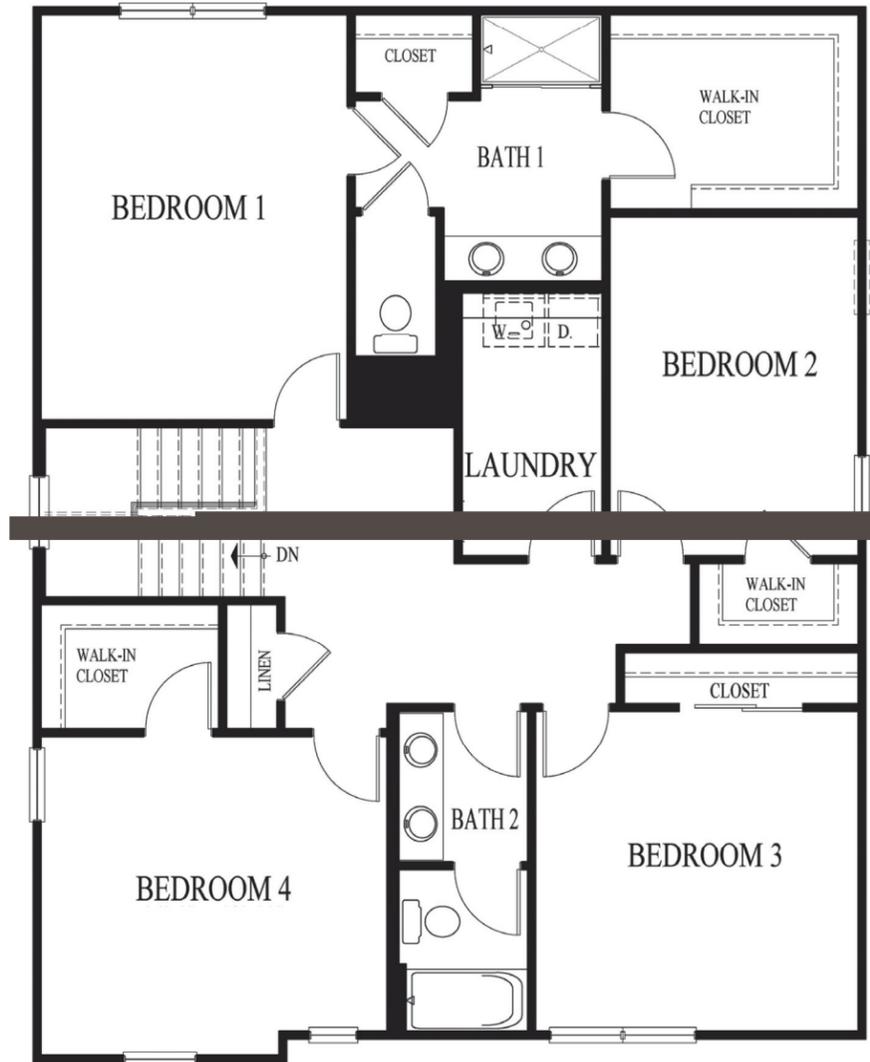
\*Mechanical and window locations may vary. See a sales representative for details.



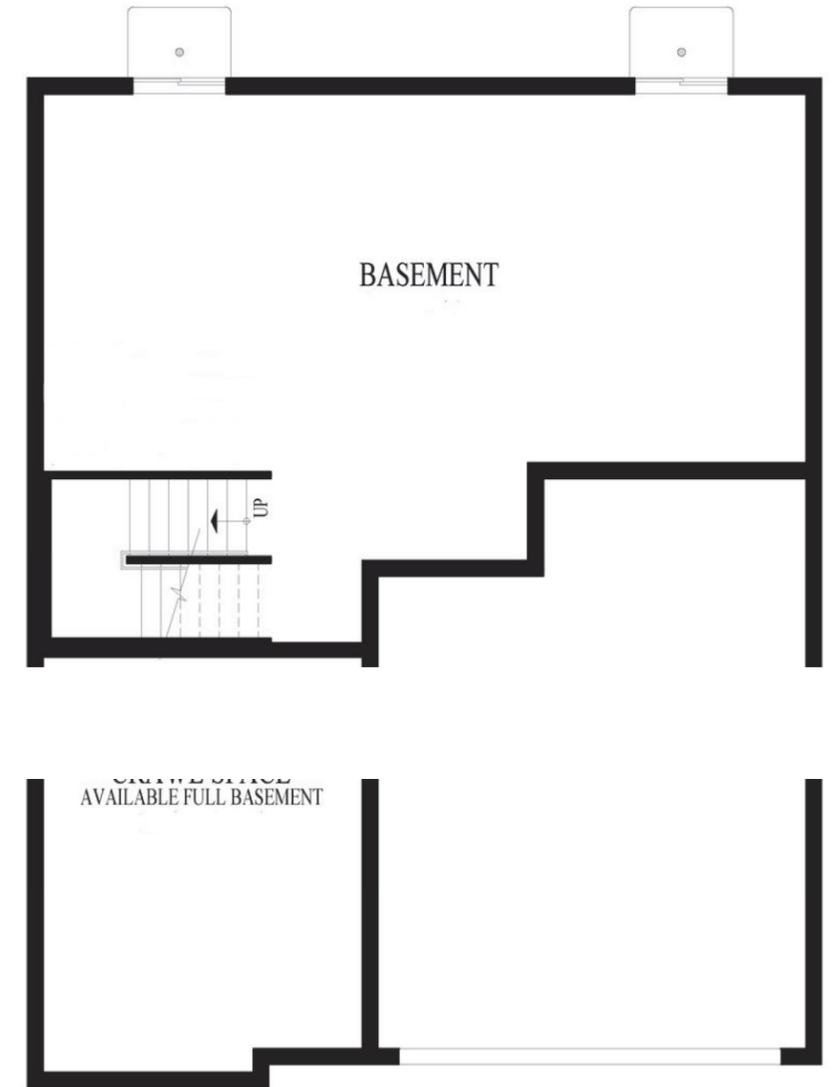
D.R. Horton is an equal housing opportunity builder. With basement foundations, water heaters and HVAC systems will be relocated to the first or second floors, as specified. All pricing, included features, terms, availability and amenities, are subject to change at any time without notice or obligation. Elevations and exterior materials may vary. Square footages, measurements and dimensions are approximate and will vary based on foundation type and options selected. Pictures, artist renderings, photographs, colors, features, and sizes are for illustration purposes only and will vary from the homes as built. Options and upgrades are available at an additional cost and are subject to availability and construction cut-off dates. REV 240716



Main Level



Upper Level



Partial Basement\*

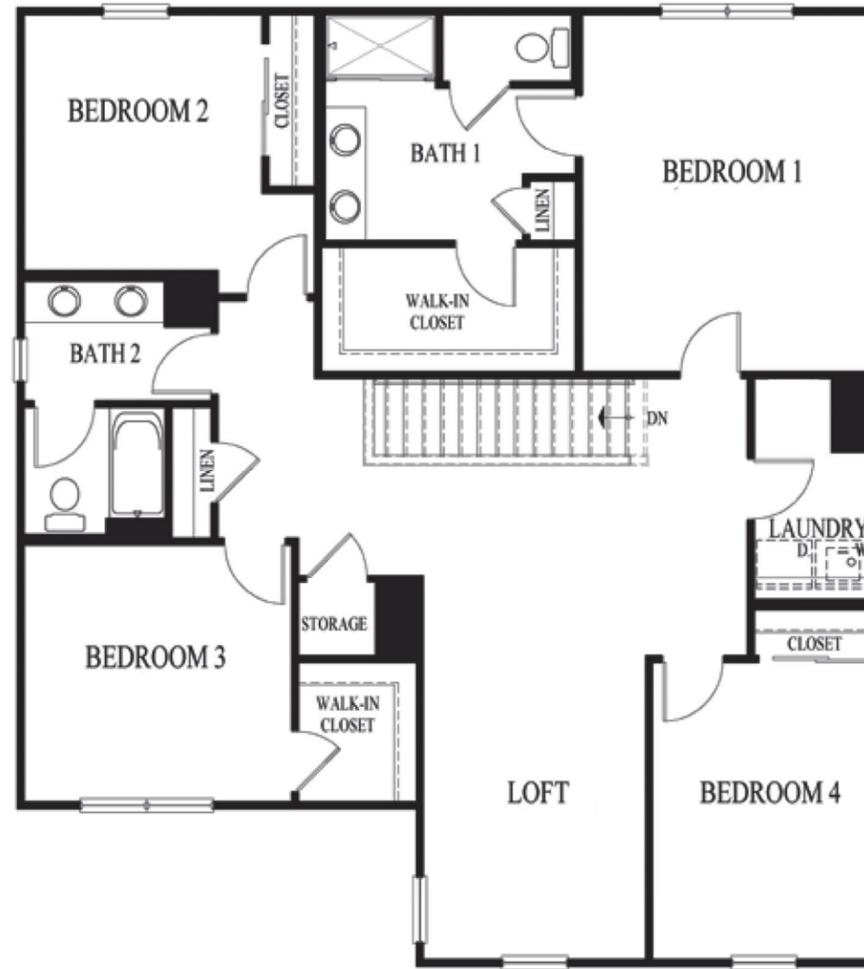
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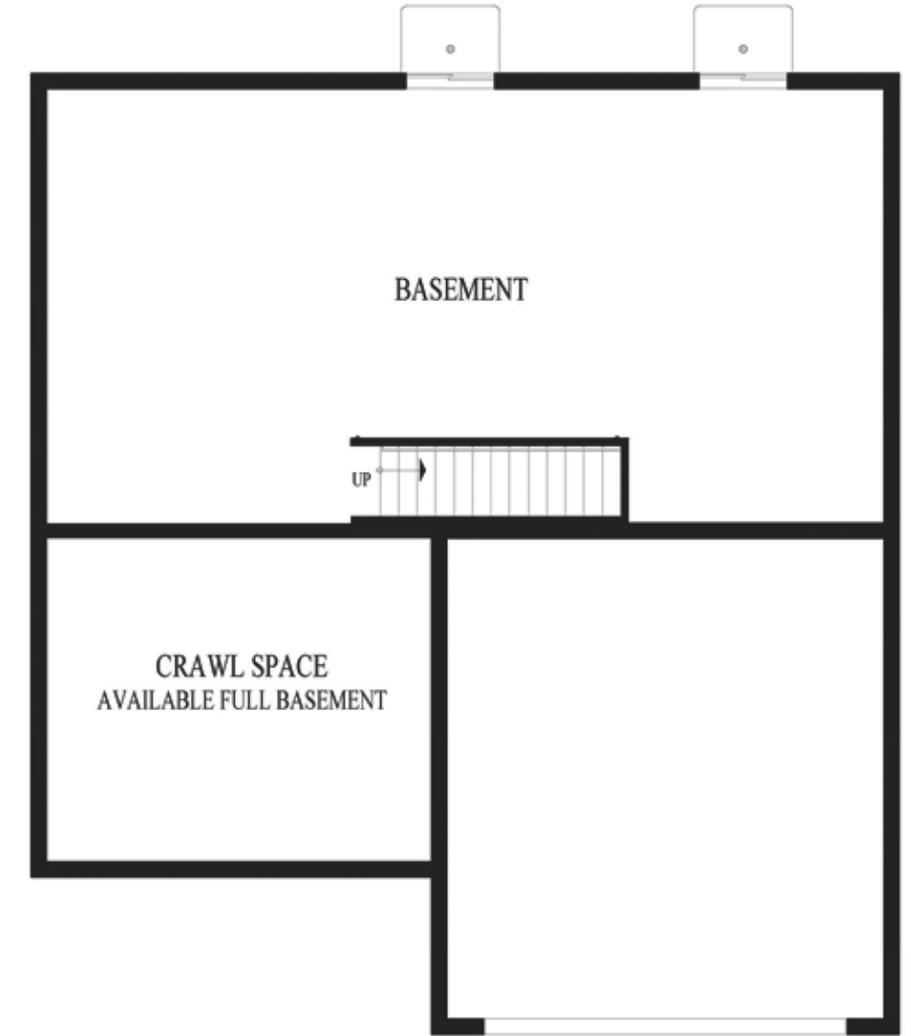
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Main Level



Upper Level



Partial Basement\*

\*Mechanical and window locations may vary. See a sales representative for details.



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# LANDSCAPE PLAN

Final version received and  
uploaded 3/18/2025

# Final Landscape Plan

# PRAIRIE LANDING

Joliet, Illinois

March 17, 2025

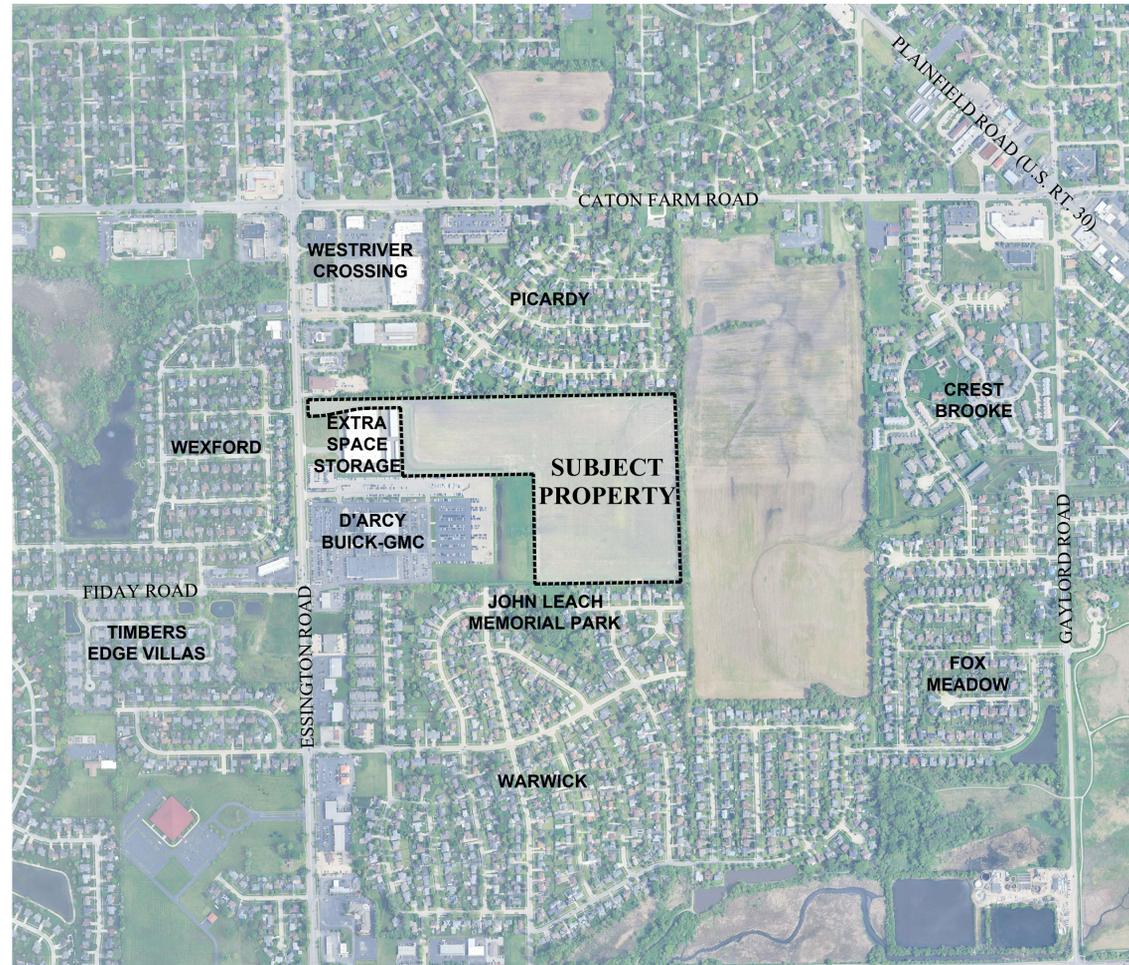
## CONSULTANTS:



LANDSCAPE ARCHITECT:  
 GARY R. WEBER ASSOCIATES, INC  
 402 W. LIBERTY DRIVE  
 WHEATON, ILLINOIS 60187



CIVIL ENGINEER:  
 MANHARD CONSULTING  
 333 E. BUTTERFIELD RD. STE. 600  
 LOMBARD, IL 60148



LOCATION MAP

SCALE: 1"=600'

## INDEX OF SHEETS

SHEET NO.	DESCRIPTION
0	COVER SHEET
1	OVERALL LANDSCAPE PLAN
2	LANDSCAPE PLAN
3	LANDSCAPE PLAN
4	LANDSCAPE DETAILS
5	AMENITY PLANS
6	AMENITY DETAILS
7	MONUMENT DETAILS
8	MONUMENT DETAILS
9	TREE PRESERVATION PLAN
10	TREE PRESERVATION PLAN & INVENTORY
11	TREE INVENTORY
12	LANDSCAPE SPECIFICATIONS





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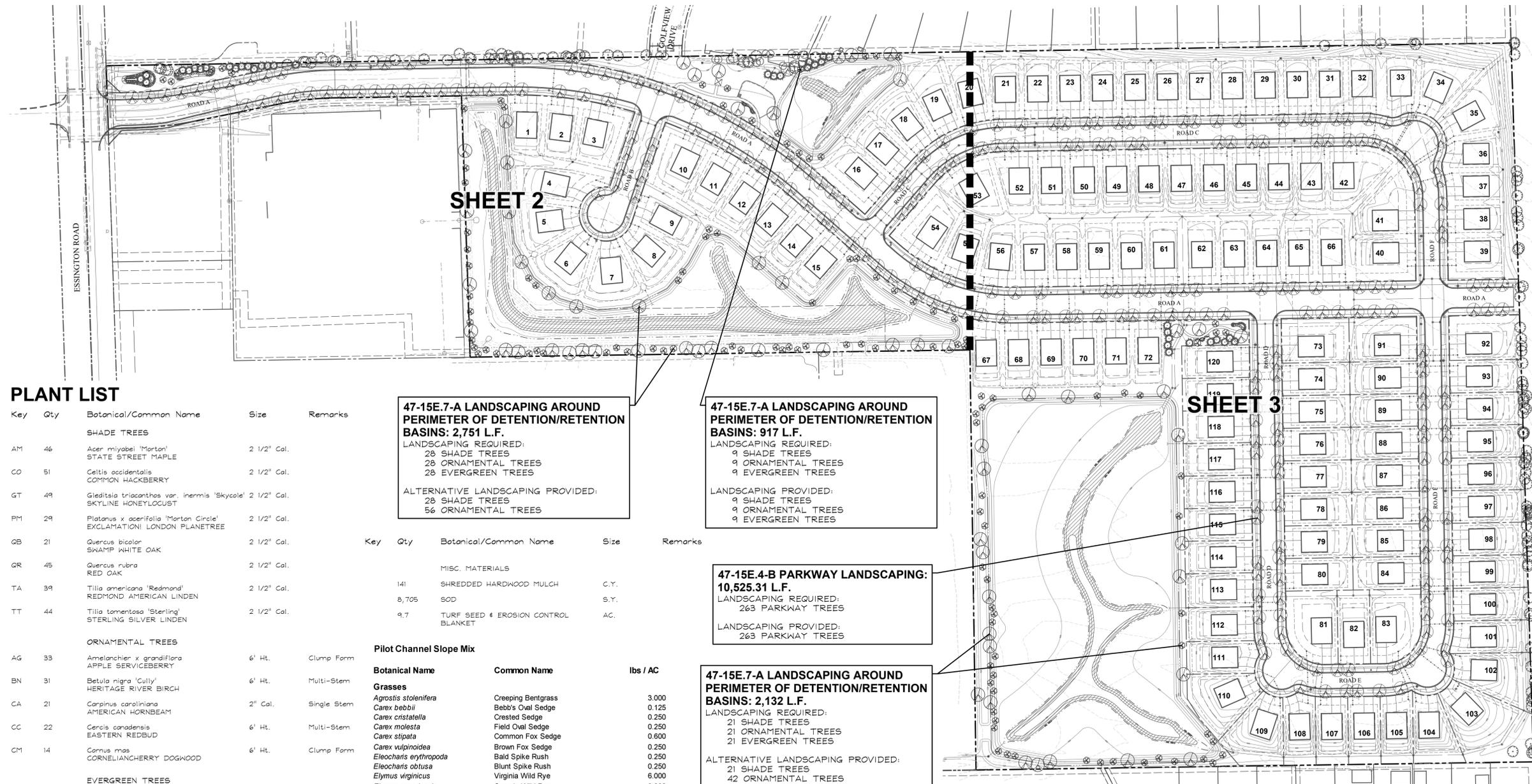
CLIENT  
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LOMBARD, IL 60148

**PRAIRIE LANDING**  
JOLIET, ILLINOIS  
**OVERALL LANDSCAPE PLAN**

6	03.17.2025
5	02.13.2025
4	01.29.2025
3	12.18.2024
2	12.02.2024
1	11.14.2024

REVISIONS

DATE	11.01.2024
PROJECT NO.	DR2186
DRAWN	SMR
CHECKED	DHS
SHEET NO.	



**PLANT LIST**

Key	Qty	Botanical/Common Name	Size	Remarks
<b>SHADE TREES</b>				
AM	46	Acer rhytidophyllum 'Morton'	2 1/2" Cal.	STATE STREET MAPLE
CO	51	Celtis occidentalis	2 1/2" Cal.	COMMON HACKBERRY
GT	49	Gleditsia triacanthos var. inermis	2 1/2" Cal.	SKYLINE HONEYLOCUST
PM	29	Platanus x acerifolia 'Morton Circle'	2 1/2" Cal.	EXCLAMATION! LONDON PLANETREE
QB	21	Quercus bicolor	2 1/2" Cal.	SWAMP WHITE OAK
QR	45	Quercus rubra	2 1/2" Cal.	RED OAK
TA	39	Tilia americana 'Redmond'	2 1/2" Cal.	REDMOND AMERICAN LINDEN
TT	44	Tilia tomentosa 'Sterling'	2 1/2" Cal.	STERLING SILVER LINDEN
<b>ORNAMENTAL TREES</b>				
AG	33	Amelanchier x grandiflora	6' Ht.	CLUMP FORM APPLE SERVICEBERRY
BN	31	Betula nigra 'Cully'	6' Ht.	HERITAGE RIVER BIRCH
CA	21	Carpinus caroliniana	2" Cal.	AMERICAN HORNBEAM
CC	22	Cercis canadensis	6' Ht.	EASTERN REDBUD
CM	14	Cornus mas	6' Ht.	CORNELIANCHERRY DOGWOOD
<b>EVERGREEN TREES</b>				
PA	9	Picea abies	8' Ht.	NORWAY SPRUCE
PG	17	Picea glauca var. densata	8' Ht.	BLACK HILLS SPRUCE
PS	11	Pinus strobus	8' Ht.	EASTERN WHITE PINE
<b>DECIDUOUS SHRUBS</b>				
HP	12	Hydrangea paniculata 'SMHPLGF'	24" Tall	LITTLE QUICK FIRE HYDRANGEA
VT	12	Viburnum trilobum 'Redwing'	36" Tall	JN SELECT CRANBERRYBUSH VIBURNUM
WB	16	Weigela florida 'Bromwell'	24" Tall	FINE WINE WEIGELA
<b>EVERGREEN SHRUBS</b>				
JB	16	Juniperus conferta 'Blue Pacific'	24" Wide	BLUE PACIFIC JUNIPER
JK	19	Juniperus chinensis 'Kallays Compact'	24" Wide	KALLAYS COMPACT PFITZER JUNIPER
<b>ORNAMENTAL GRASSES</b>				
CK	43	Calamagrostis x acutiflora 'Karl Foerster'	#1	FEATHER REED GRASS
SA	51	Sesleria autumnalis	#1	AUTUMN MOOR GRASS
<b>PERENNIALS</b>				
AB	41	Allium 'Summer Beauty'	#1	SUMMER BEAUTY ONION
EC	81	Echinacea 'CBG Cone 2'	#1	PIXIE MEADOWBRITE CONEFLOWER
HH	63	Hemerocallis 'Happy Returns'	#1	HAPPY RETURNS DAYLILY
SE	22	Sedum 'Autumn Joy'	#1	AUTUMN JOY SEDUM

**47-15E.7-A LANDSCAPING AROUND PERIMETER OF DETENTION/RETENTION BASINS: 2,751 L.F.**  
LANDSCAPING REQUIRED:  
28 SHADE TREES  
28 ORNAMENTAL TREES  
28 EVERGREEN TREES  
ALTERNATIVE LANDSCAPING PROVIDED:  
28 SHADE TREES  
56 ORNAMENTAL TREES

**47-15E.7-A LANDSCAPING AROUND PERIMETER OF DETENTION/RETENTION BASINS: 917 L.F.**  
LANDSCAPING REQUIRED:  
9 SHADE TREES  
9 ORNAMENTAL TREES  
9 EVERGREEN TREES  
LANDSCAPING PROVIDED:  
9 SHADE TREES  
9 ORNAMENTAL TREES  
9 EVERGREEN TREES

**47-15E.4-B PARKWAY LANDSCAPING: 10,525.31 L.F.**  
LANDSCAPING REQUIRED:  
263 PARKWAY TREES  
LANDSCAPING PROVIDED:  
263 PARKWAY TREES

**47-15E.7-A LANDSCAPING AROUND PERIMETER OF DETENTION/RETENTION BASINS: 2,132 L.F.**  
LANDSCAPING REQUIRED:  
21 SHADE TREES  
21 ORNAMENTAL TREES  
21 EVERGREEN TREES  
ALTERNATIVE LANDSCAPING PROVIDED:  
21 SHADE TREES  
42 ORNAMENTAL TREES

Key	Qty	Botanical/Common Name	Size	Remarks
<b>MISC. MATERIALS</b>				
		SHREDDED HARDWOOD MULCH	C.Y.	
	8,705	SOD	S.Y.	
	9.7	TURF SEED & EROSION CONTROL BLANKET	AC.	

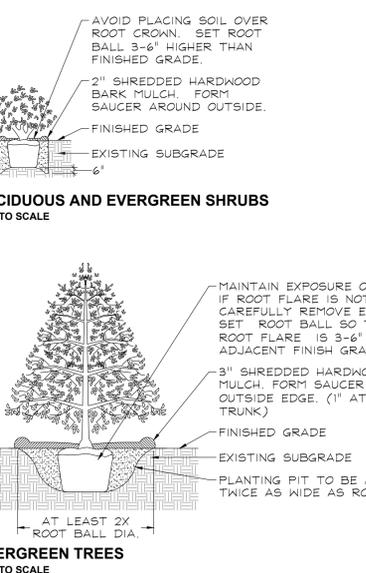
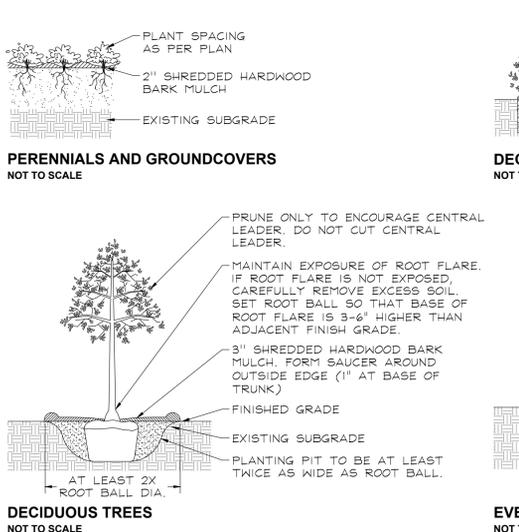
  

Botanical Name	Common Name	lbs / AC
<b>Grasses</b>		
Agrostis stolonifera	Creeping Bentgrass	3,000
Carex bebbii	Bebb's Oval Sedge	0.125
Carex cristatella	Crested Sedge	0.250
Carex molesta	Field Oval Sedge	0.250
Carex stipata	Common Fox Sedge	0.600
Carex vulpinoidea	Brown Fox Sedge	0.250
Eleocharis erythropoda	Bald Spike Rush	0.250
Eleocharis obtusa	Blunt Spike Rush	0.250
Elymus virginicus	Virginia Wild Rye	6,000
Elymus canadensis	Canada Wild Rye	2,000
Juncus dudleyi	Dudley's Rush	0.025
Juncus effusus	Common Rush	0.025
Juncus torreyi	Torrey's Rush	0.015
Leersia oryzoides	Rice Cutgrass	1,000
<b>Total Grasses</b>		<b>14,040</b>

**Pilot Channel Slope Mix**

Botanical Name	Common Name	lbs / AC
<b>Grasses</b>		
Agrostis stolonifera	Creeping Bentgrass	3,000
Carex bebbii	Bebb's Oval Sedge	0.125
Carex cristatella	Crested Sedge	0.250
Carex molesta	Field Oval Sedge	0.250
Carex stipata	Common Fox Sedge	0.600
Carex vulpinoidea	Brown Fox Sedge	0.250
Eleocharis erythropoda	Bald Spike Rush	0.250
Eleocharis obtusa	Blunt Spike Rush	0.250
Elymus virginicus	Virginia Wild Rye	6,000
Elymus canadensis	Canada Wild Rye	2,000
Juncus dudleyi	Dudley's Rush	0.025
Juncus effusus	Common Rush	0.025
Juncus torreyi	Torrey's Rush	0.015
Leersia oryzoides	Rice Cutgrass	1,000
<b>Total Grasses</b>		<b>14,040</b>

**PLANTING DETAILS**



**GENERAL LANDSCAPE NOTES**

- Contractor shall verify underground utility lines and is responsible for any damage.
- Contractor shall verify all existing conditions in the field prior to construction and shall notify landscape architect of any variance.
- Material quantities shown are for contractors convenience only. The Contractor must verify all material and supply sufficient materials to complete the job per plan.
- The landscape architect reserves the right to inspect trees and shrubs either at place of growth or at site before planting, for compliance with requirements of variety, size and quality.
- Work shall conform to American Standard for Nursery Stock, State of Illinois Horticultural Standards, and Local Municipal requirements.
- Contractor shall secure and pay for all permits, fees, and inspections necessary for the proper execution of this work and comply with all codes applicable to this work.
- See General Conditions and Specifications for landscape work for additional requirements.
- No trees shall be planted within 5' of a hydrant, underground utility or 10' from an above ground utility structure or pole. Trees to be planted clear of all traffic control services and signs. Mulch must not touch tree trunks.
- All trees planted by an applicant shall be guaranteed for two (2) years from the date of acceptance and shall be replaced by the applicant at no charge to the Village, should they die or be in a declining condition in the opinion of the Village arborist. The replacement tree shall be of the same size, species and quality, and shall carry the same two (2) year guarantee.



**NATIVE AREA LEGEND**

Key	Qty	Description
[Symbol]	1.3 AC	PILOT CHANNEL SLOPE MIX

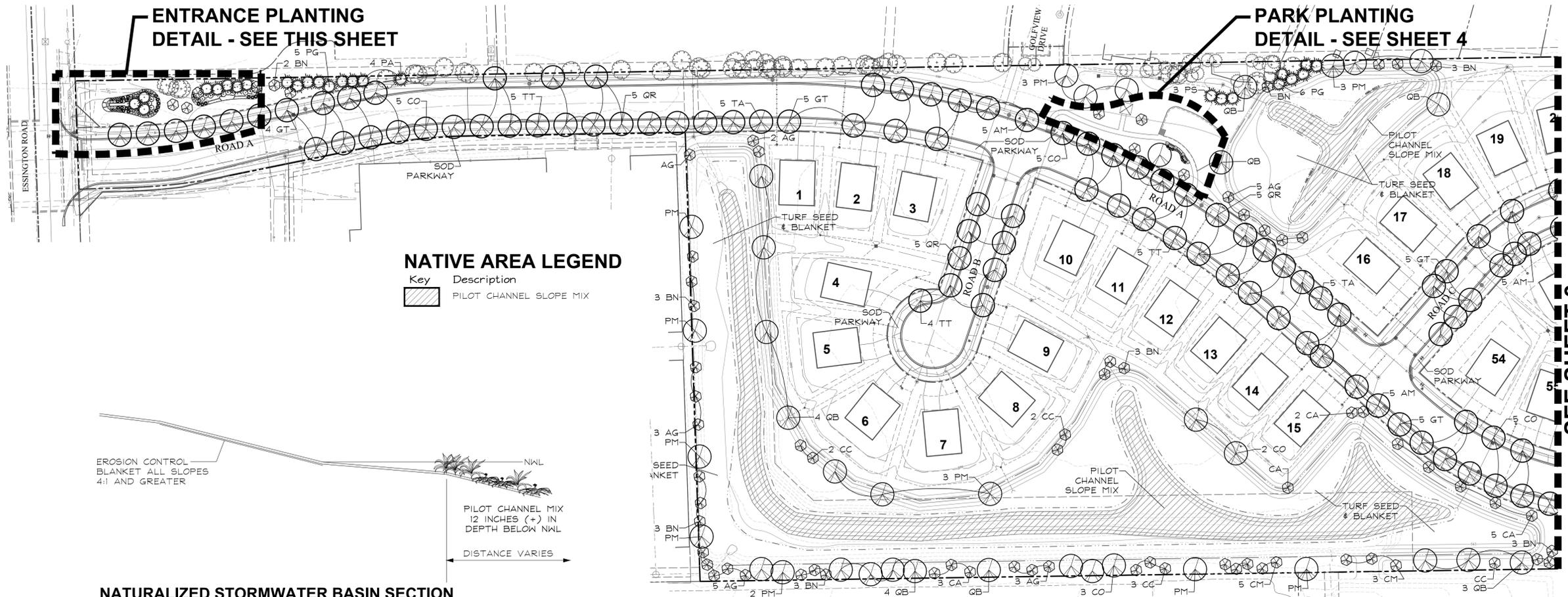




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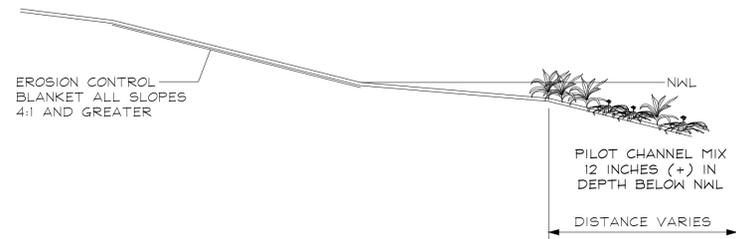
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**PRAIRIE LANDING**  
JOLIET, ILLINOIS  
**LANDSCAPE PLAN**

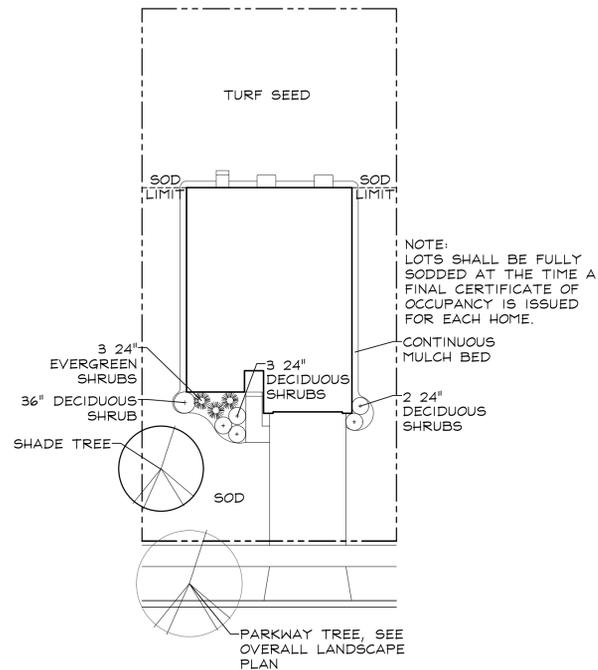
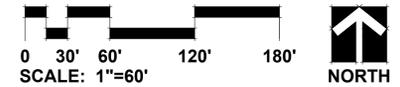


**NATIVE AREA LEGEND**

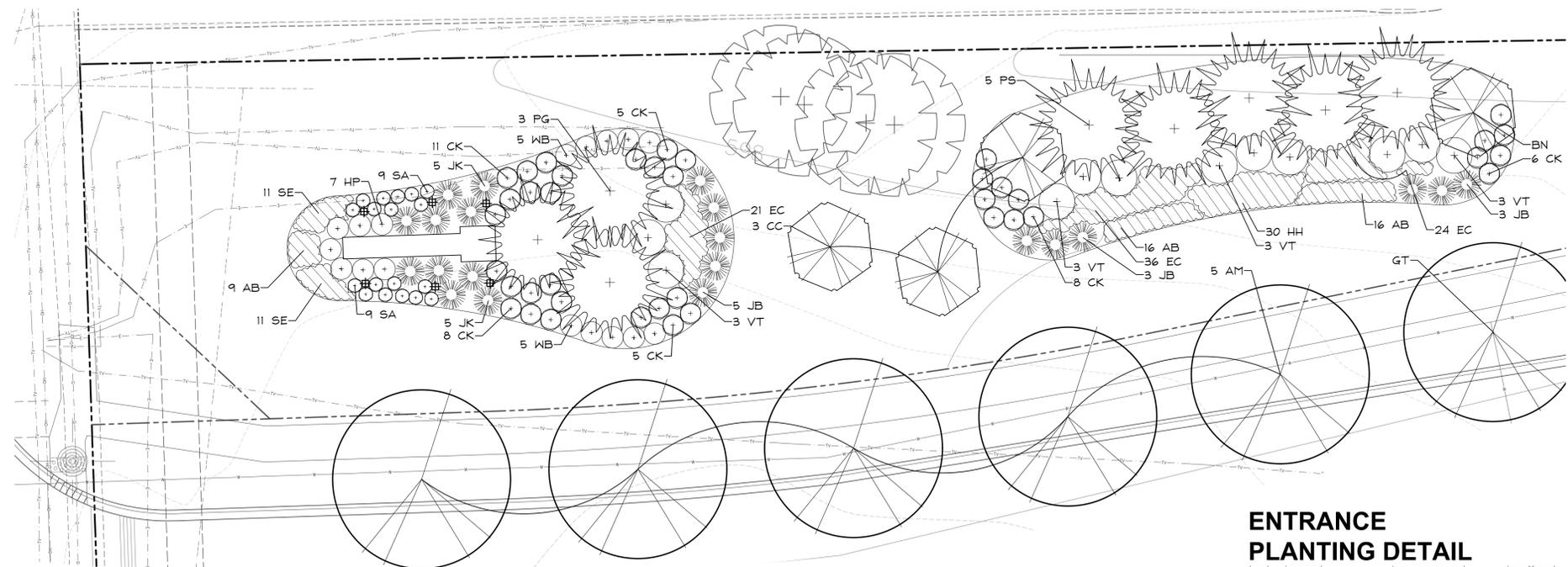
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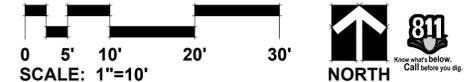
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NOT TO SCALE



**TYPICAL LOT LANDSCAPING**



**ENTRANCE PLANTING DETAIL**



NO.	DATE	DESCRIPTION
6	03.17.2025	
5	02.13.2025	
4	01.29.2025	
3	12.18.2024	
2	12.02.2024	
1	11.14.2024	

DATE 11.01.2024  
PROJECT NO. DR2186  
DRAWN SMR  
CHECKED DHS  
SHEET NO.



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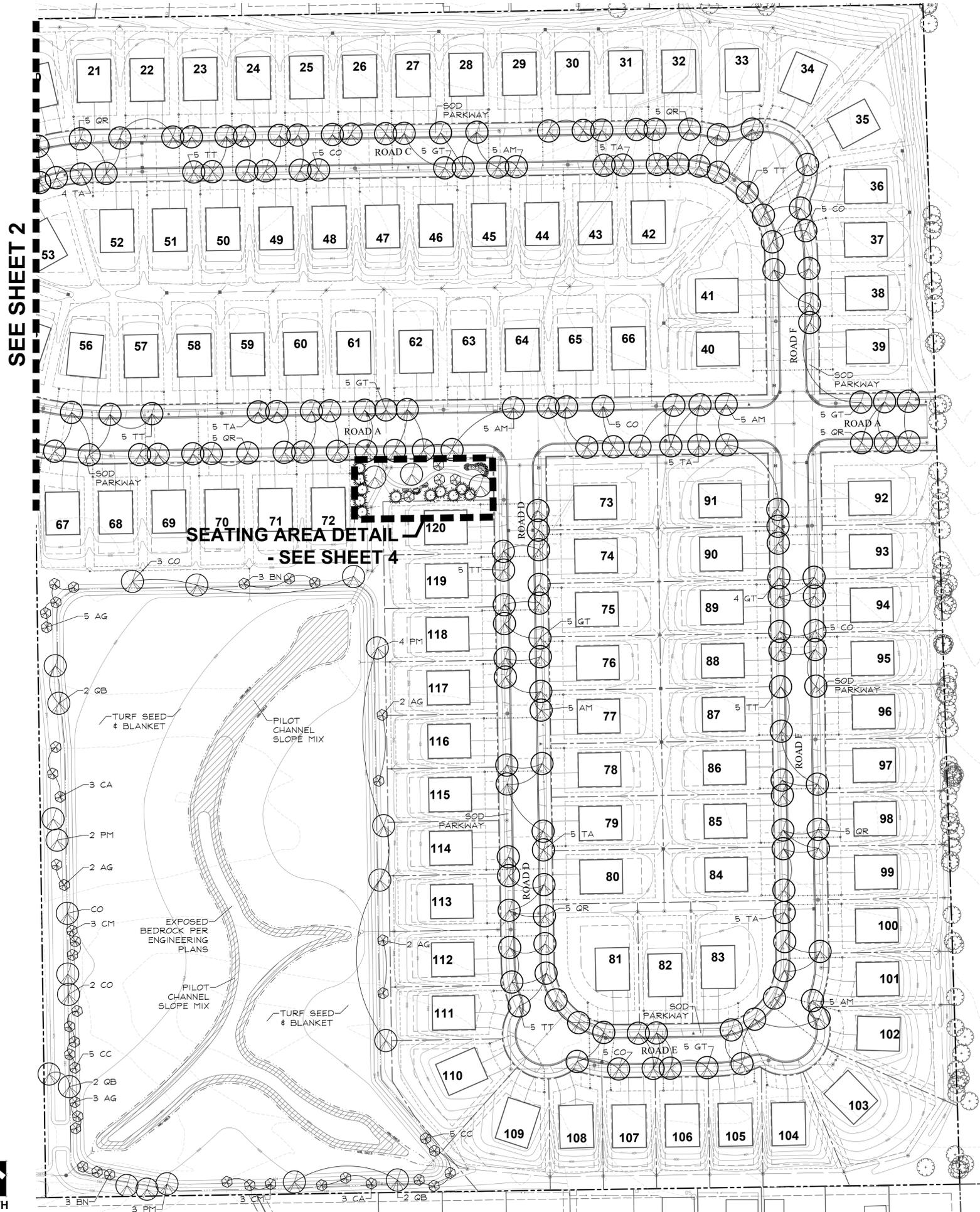
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JOLIET, ILLINOIS  
**LANDSCAPE PLAN**

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PROJECT NO. DR2186  
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CHECKED DHS  
SHEET NO.

**3 OF 12**



SEE SHEET 2

SEATING AREA DETAIL  
- SEE SHEET 4

**NATIVE AREA LEGEND**

Key	Description
	PILOT CHANNEL SLOPE MIX



PHOTOGRAPH: [unreadable]





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**LANDSCAPE DETAILS**

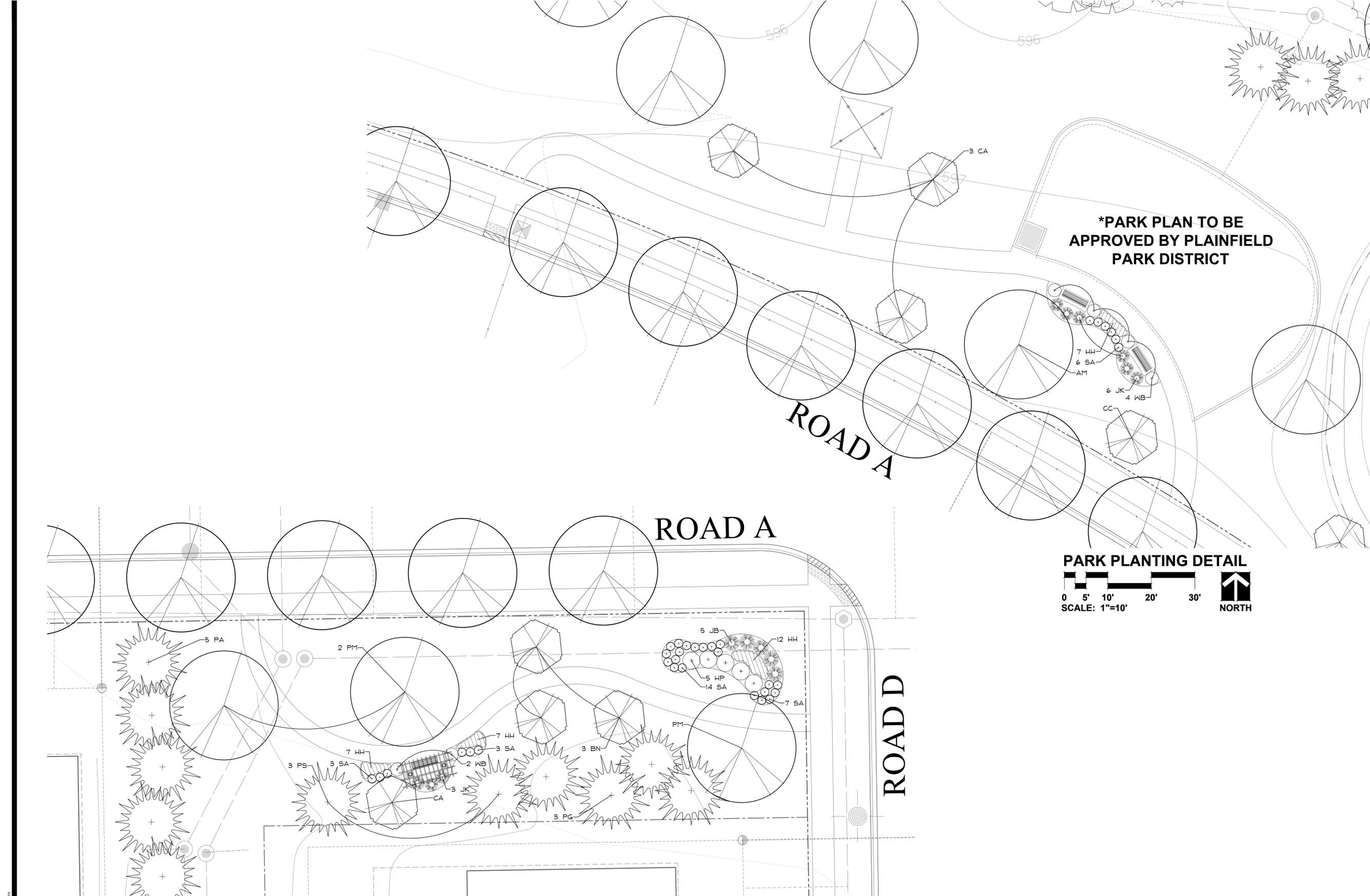
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DATE	11.01.2024
PROJECT NO.	DR2186
DRAWN	SMR
CHECKED	DHS
SHEET NO.	

**4 OF 12**



Keep others below.  
Call before you dig.



**\*PARK PLAN TO BE APPROVED BY PLAINFIELD PARK DISTRICT**

**PARK PLANTING DETAIL**  
0 5' 10' 20' 30'  
SCALE: 1"=10'  
NORTH

**SEATING AREA PLANTING DETAIL**  
0 5' 10' 20' 30'  
SCALE: 1"=10'  
NORTH

PHOTO COURTESY: [unreadable]



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**PRAIRIE LANDING**  
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**AMENITY PLANS**

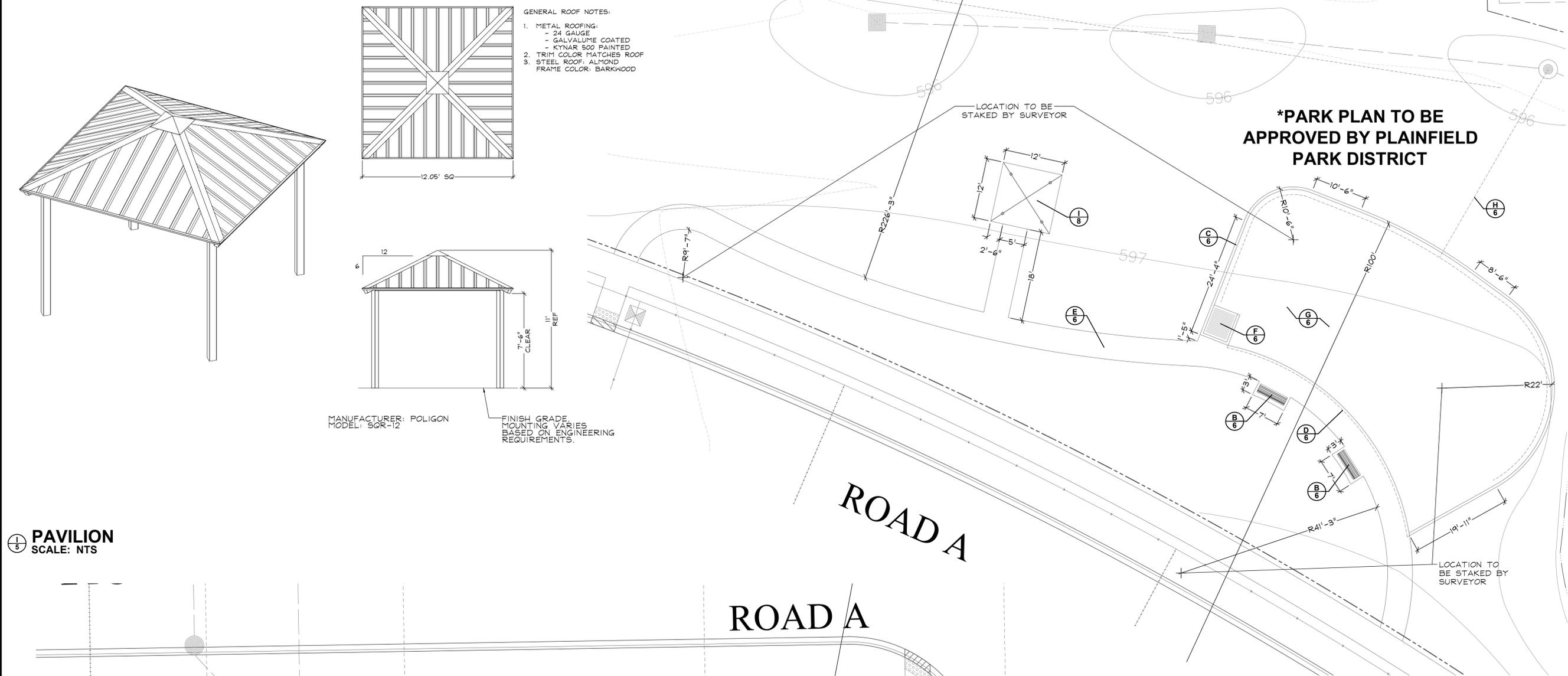
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DRAWN SMR  
CHECKED DHS  
SHEET NO.



Keep others below.  
Call before you dig.

**\*PARK PLAN TO BE  
APPROVED BY PLAINFIELD  
PARK DISTRICT**



**PAVILION**  
SCALE: NTS

MANUFACTURER: POLYGON  
MODEL: SQR-12  
FINISH GRADE  
ELEVATION VARIES  
BASED ON ENGINEERING  
REQUIREMENTS.

**PARK LAYOUT DETAIL**



**SEATING AREA  
LAYOUT DETAIL**

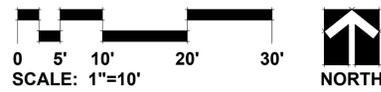
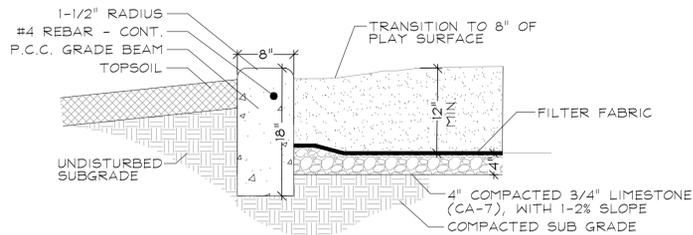
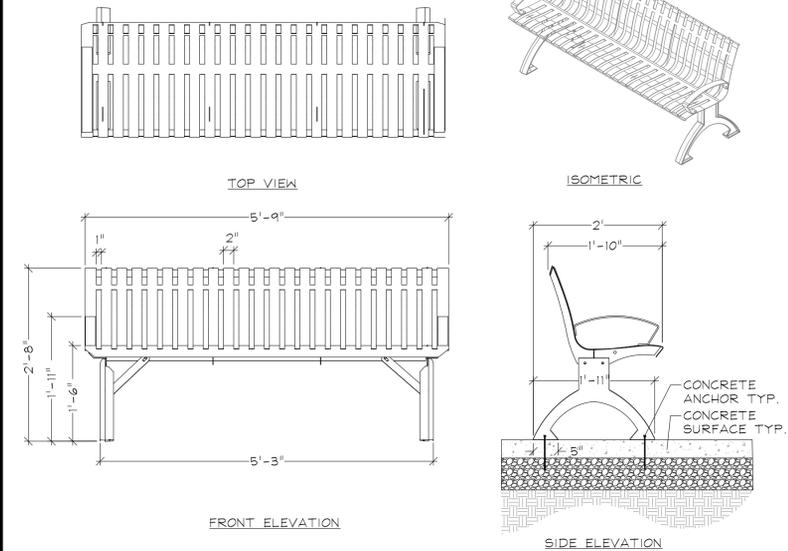


PHOTO COURTESY: [unreadable]



**C 6** CONCRETE CURB DETAIL  
SCALE: NTS



MANUFACTURER: ANOVA FURNISHINGS  
MODEL: L141A-LATITUDE 6' CONTOUR BENCH W/ ARMREST  
COLOR: BLACK  
MOUNTING: SURFACE MOUNTED  
INSTALL PER MANUFACTURER'S SPECIFICATIONS

**B 6** BENCH DETAIL  
SCALE: NTS

**SITE FURNISHING SCHEDULE**

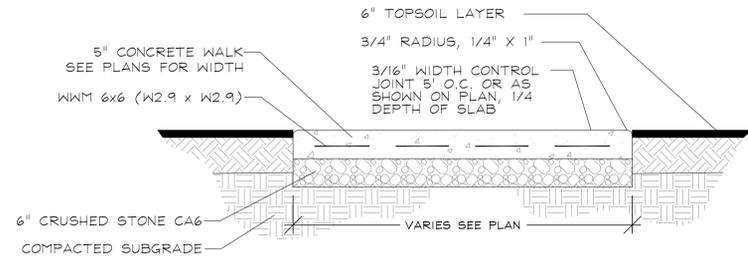
ITEM	MANUFACTURER	MODEL	QUANTITY	DETAILS	NOTES
<b>A 6</b> ARBOR			1 EA.		
<b>B 6</b> BENCH	ANOVA	EXPOSITION LEXC6	3 EA.	SURFACE MOUNTED COLOR: TEXTURED BLACK SIZE: 6'	
<b>C 6</b> CONCRETE CURB			151 L.F.		TO BE APPROVED BY PLAINFIELD PARK DISTRICT
<b>D 6</b> THICKENED EDGE			56 L.F.		TO BE APPROVED BY PLAINFIELD PARK DISTRICT
<b>E 6</b> CONCRETE WALKS / PAD			1,907 S.F.		TO BE APPROVED BY PLAINFIELD PARK DISTRICT
<b>F 6</b> A.D.A. RAMP			1 EA.		TO BE APPROVED BY PLAINFIELD PARK DISTRICT
<b>G 6</b> ENGINEERED WOOD FIBER SURFACING			2,531 S.F.		TO BE APPROVED BY PLAINFIELD PARK DISTRICT
<b>H 6</b> DRAIN TILE			161 L.F.		TO BE APPROVED BY PLAINFIELD PARK DISTRICT
<b>I 5</b> PAVILION	POLIGON	SQR-12	1 EA.	ROOF COLOR: ROMAN BLUE COLUMN COLOR: ALMOND SIZE: 16' x 24'	TO BE APPROVED BY PLAINFIELD PARK DISTRICT

**PLAY LOT APPARATUS SCHEDULE**

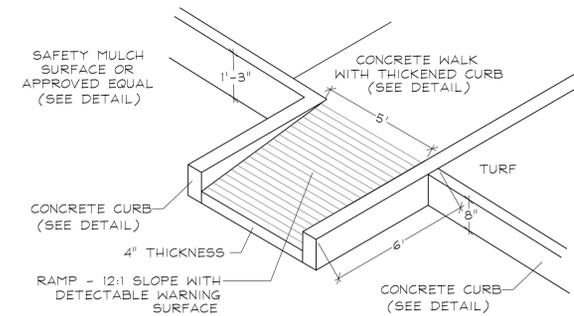
NOTE: INSTALL PER MANUFACTURER'S SPECIFICATION

ITEM	MANUFACTURER	COMMENTS	NOTES
<b>AA 6</b> PLAY STRUCTURE	PLAY & PARK STRUCTURES	QUOTE #: 800-153898	TO BE APPROVED BY PLAINFIELD PARK DISTRICT
<b>BB 6</b> SWINGSET	PLAY & PARK STRUCTURES	QUOTE #: 800-153898	TO BE APPROVED BY PLAINFIELD PARK DISTRICT

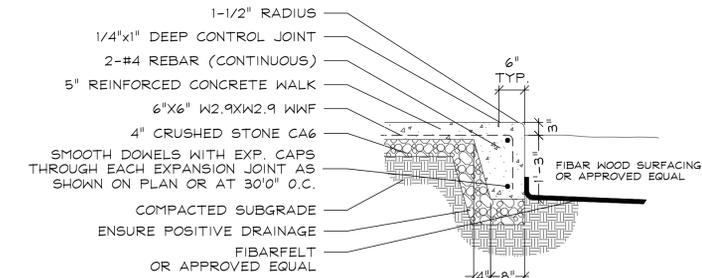
PHOTO COURTESY: [unreadable]



**E 6** CONCRETE WALK & PAD DETAIL  
SCALE: NTS

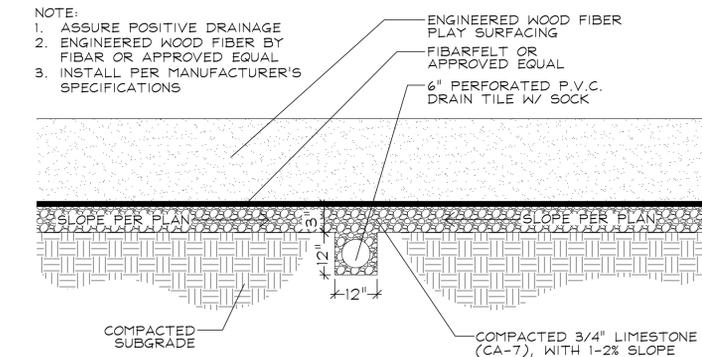


**F 6** A.D.A. RAMP DETAIL  
SCALE: NTS



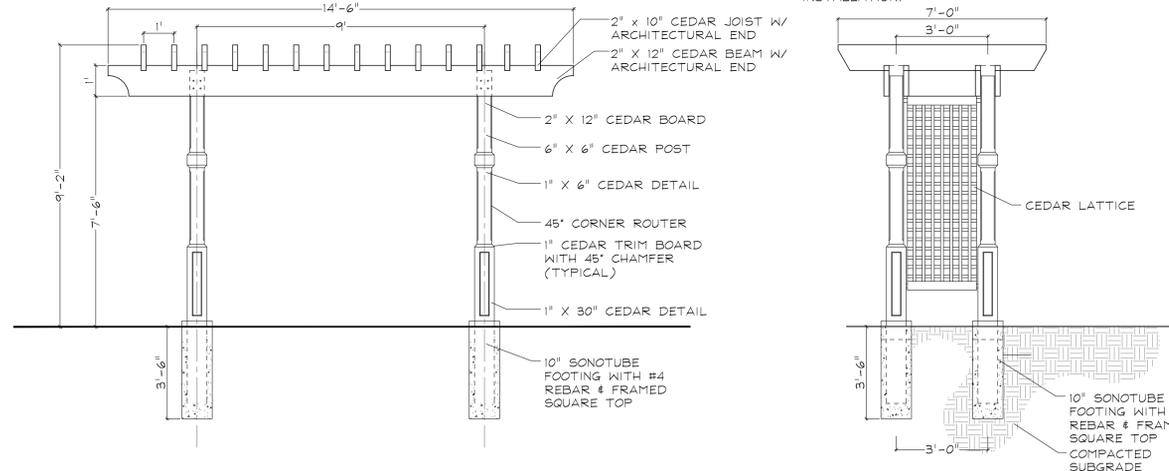
NOTE: THICKENED EDGE TO BE USED ADJACENT TO ALL PLAY AREAS

**D 6** THICKENED EDGE DETAIL  
SCALE: NTS



**G 6** **H 6** ENGINEERED WOOD FIBER SURFACING DETAIL  
SCALE: NTS

NOTES:  
1. CONTRACTOR SHALL SUBMIT MATERIAL SAMPLES TO LANDSCAPE ARCHITECT AND OWNER FOR REVIEW PRIOR TO CONSTRUCTION.  
2. ATTACH STRUCTURE WITH APPROVED GALVANIZED ZINC COATED MOUNTING BRACKETS  
3. PERGOLAS TO BE STAINED 1 YEAR FOLLOWING INSTALLATION.



**A 6** ARBOR DETAIL  
SCALE: NTS

**GRWA**  
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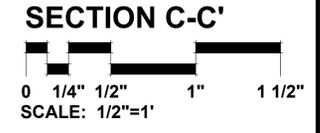
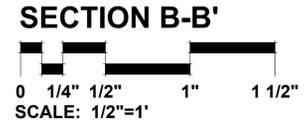
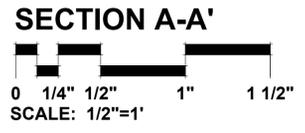
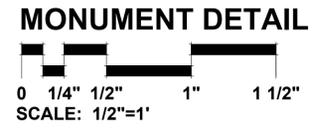
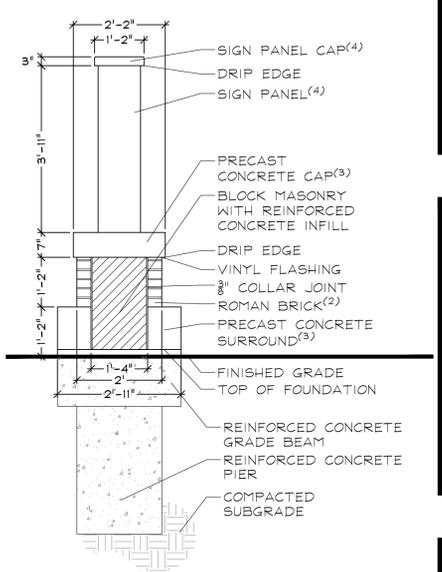
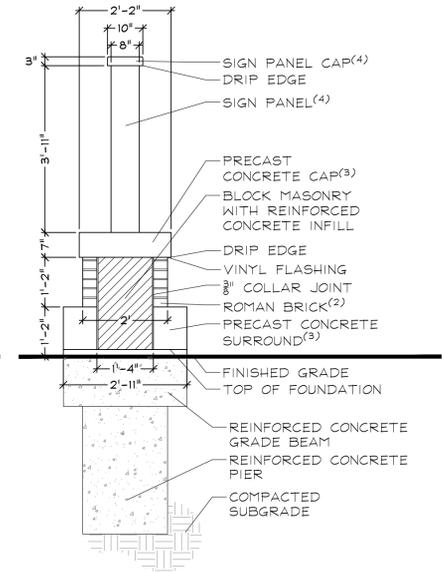
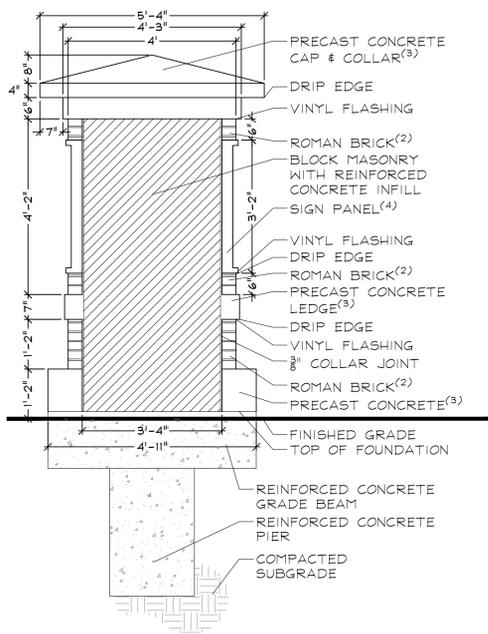
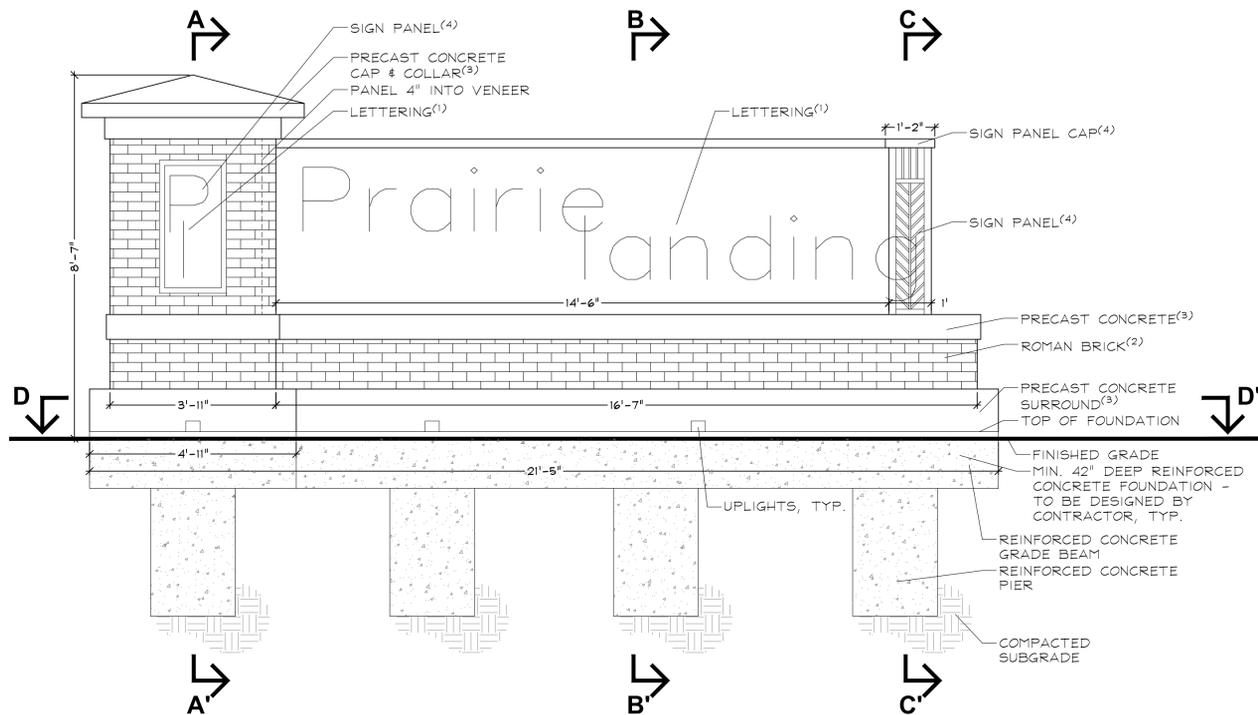
CLIENT  
**D.R. HORTON**  
*America's Builder*  
1750 E. GOLF ROAD, SUITE 925  
SCHAUMBURG, IL 60173  
CIVIL ENGINEER  
**MANHARD CONSULTING**  
333 E. BUTTERFIELD RD., STE. 600  
LOMBARD, IL 60148

**PRAIRIE LANDING**  
JOLIET, ILLINOIS  
**AMENITY DETAILS**

NO.	DATE	REVISIONS
6	03.17.2025	
5	02.13.2025	
4	01.29.2025	
3	12.18.2024	
2	12.02.2024	
1	11.14.2024	

DATE: 11.01.2024  
PROJECT NO.: DR2186  
DRAWN: SMR  
CHECKED: DHS  
SHEET NO.





**LIGHTING SCHEDULE**  
(APPROVED EQUALS ALLOWED - SEND ALTERNATIVES TO LANDSCAPE ARCHITECT AND OWNER'S REPRESENTATIVE FOR APPROVAL)

ITEM	MANUFACTURER	MODEL	QUANTITY	DETAILS
UPLIGHT	B-K LIGHTING	NITE STAR	6 EA.	CATALOG NUMBER: NS-LED-E66-MFL-A9-BZP-12-11-360SL

**MONUMENT SPECIFICATIONS**

- 1.0 DESCRIPTION OF WORK**
- A. The work consists of all labor, materials, work and equipment necessary and required to complete monuments and foundations as shown on drawings or specified herein, including, but not limited to:
- Submission of color and material samples
  - Submission of shop drawings
  - Submission of construction schedule
  - Verification of existing conditions and underground utilities
  - Secure and pay for all permits, fees, inspections and schedule all inspections related to work, including J.U.L.I.E. locates.
  - Comply with all applicable codes
- 2.0 QUALITY ASSURANCE**
- A. Construction shall conform to @Building Code Requirements for Engineered Brick Masonry, BIA, latest edition.
- B. All brick and stone shall be finest architectural grade free of cracks, chips, defects, etc.
- C. Installation shall be by a company continuously and regularly employed in the installation of brick and stone monuments for a period of at least 5 consecutive years.
- D. No masonry shall be laid when the temperature is expected to fall below 40 degrees F, unless suitable means, submitted in writing to the owner, are provided to heat materials and protect the work. Protect work from cold and frost and insure that mortar will harden without freezing. No additives shall be used, unless approved in writing by the owner.
- E. All corners of monuments and piers are to be staked by engineer and verified by the contractor.
- 3.0 JOB CONDITIONS**
- A. Examine and evaluate grades, and soils. Provide soil testing and verify soils structural integrity. Observe the conditions under which work is to be performed and notify the owner of unsatisfactory conditions. Do not proceed with the work until unsatisfactory conditions have been corrected in an acceptable manner.
- B. Utilities: Review underground utility location maps and plans; Notify J.U.L.I.E.; demonstrate an awareness of utility locations; and certify acceptance of liability for the protection of utilities during course of work. Contractor shall be responsible for any damage to utilities or property.
- C. All streets and curbs must be cleaned at the end of each working day.
- D. All OSHA requirements for safety must be adhered to at all times.
- 4.0 GUARANTEES**
- A. Guarantee monuments 1 year from final acceptance on owner's representative on workmanship and materials.
- B. Where failures have occurred resulting from the concrete not meeting the specified design strength, or workmanship, it shall be the responsibility of the subcontractors in connection with the supplier to take whatever corrective actions are necessary to eliminate the problem. In addition, it shall be their responsibility to make restitution for their resulting repair work created by the problem.

**5.0 SUBMITTALS**

- A. Construction Schedule: After award of the Contract, the Contractor shall prepare and submit to the owner or an owner authorized representative an estimated construction progress schedule for the work, including sub-schedules of related activities which are essential to its progress, as well as lead-time for materials.
1. Show complete sequence of construction by activity, with dates for beginning and completion of each element of construction. Schedule to represent a continuous flow of construction activities so that there are no days of non-activity on site.
- B. Product Samples: Submit samples of brick, architectural pre-cast, mortars and sealants, slate, light fixtures, tile, and ornamental fencing for the owner's design conformance review prior to delivery to site.
- C. Product Data: Submit product data for brick, limestone, architectural pre-cast, mortars and joint sealants, slate, tile, light fixtures, and ornamental fencing.
- D. Provide certificate of insurance per the owner's requirements.
- E. Provide names and contact information for any subcontractors and suppliers.
- F. Shop Drawings:
- Prepare and submit to the Owner's Representative for design conformance review complete cutting and setting drawings for all masonry work:
  - Submit one (1) set prints with following items in detail:
    - Sizes
    - Sections
    - Dimensions and numbering of stone and brick.
    - Arrangements of joints and bond.
  - Show jointing as indicated on the contract drawings, unless modification is reviewed for design conformance by Owner's Representative prior to preparation of shop drawings.
  - Establish jointing in accordance with industry standards and practices where not indicated on contract drawings.

**6.0 PRODUCT DELIVERY, STORAGE, AND HANDLING**

- A. Loading and Shipment:
- Pack carefully for transportation, with exercise of all customary and reasonable precautions against damage in transit, all brick, and limestone to be used for the work.
  - Load and ship all brick and cut stone in a sequence mutually agreed upon by the General Contractor and the material supplier.
- B. Unloading and Storage:
- Receive and unload at site all brick and stone with necessary care in handling to avoid damage or soiling.
  - Store brick and stone clear of ground on non-staining skids. Wood containing tannin, chemical treatment, or excessive amounts of resin shall not be used.
  - Cover brick and stone with waterproof, clean canvas, or polyethylene for protection from construction or natural elements.

**7.0 INSTALLATION**

- A. Mortar:
- Cement: white, non-staining masonry cement, conforming to ASTM-C91.
  - Sand: Clean, sharp, and washed, capable of passing a No. 16 sieve, and in conformance with ASTM-C144. Carefully select sand for use in pointing mortar for color to match limestone. For pointing mortar, select a white sand.
  - Lime: Hydrated, conforming to ASTM-C207, Type S.
  - Water: Clear, non-alkaline, potable and free of oils, salts, and other harmful elements.
- B. Brick Veneer Bond:
- Typical Bond: Running Bond with vertical joints located at center of masonry units in alternate course below, except where shown otherwise.
  - Do not install cracked, broken, or chipped masonry units exceeding ASTM C216 allowances.
  - Report any masonry range of color or texture discrepancies to the owner before installation. Lay masonry with same percentages of light, medium, and dark colored brick, matching the design reviewed sample. Do not install brick in localized areas that is not within range of adjacent brick or is not within the range of the design reviewed sample.
  - Use masonry saws to cut and fit exposed units.
  - Lay brick plumb, true to line, and with level courses accurately spaced with allowable tolerances.
  - Do not deeply furrow bed joints.
  - Adjust units to final position while mortar is soft and plastic.
  - When units are displaced after mortar has stiffened, remove, clean joints and joints of mortar, and re-lay with fresh mortar.
  - When joining fresh masonry to set or partially wet masonry:
    - Remove loose brick mortar.
    - Clean and lightly wet exposed surface of set masonry prior to laying fresh masonry.
  - Work shall be installed in accordance with the recommendations of the BIA (Brick Institute of America), except where exceeded herein or per details.
- C. Foundation
- Concrete mix air entrainment, compressive strength at twenty-eight (28) days, and slump are to be designed and specified by the contractor's structural engineer.
- D. Mortar Beds:
- Lay brick with full mortar coverage on horizontal and vertical joints in all courses.
  - Provide sufficient mortar on ends of brick to completely fill head joints.
  - Rock closure into place with head joints thrown against two adjacent bricks in place.

**E. Mortar Joints; Horizontal and vertical face joints:**

- Nominal thickness: 3/8 inch.
  - Construct uniform joints.
  - Shove vertical joints tight.
  - Tool concave joints in exposed surfaces when thumbprint hard.
  - Width, depth, and tooling of all mortar joints shall be consistent and shall not vary more than 1/8".
  - Movement joints: Keep clean of all mortar and debris.
- F. Flashing:
- Install complete and continuous under stone copings and other projections.
  - Lap joints 6". Seal entire contact surface with mastic.
  - Provide a mortar wash at the base of the cavity, underneath the through-wall flashing, pitching out.
  - Cover flashing with mortar.
- G. Weep holes
- Provide 3/8" cotton rope weeps. Rope weeps shall extend thru the veneer face and inside the cavity, lying on top and along the bottom length of the flashing. Cut rope flush with wall face.
  - Maximum spacing: rope weeps: 16 inches o.c., at wall base; 16 inches o.c. at lintels above openings.
  - Keep weep holes and area above flashing free of mortar droppings.

**8.0 CLEAN UP AND PROTECTION**

- A. All material shall be washed with fiber brushes, soap powder, and clean water or Owner reviewed mechanical cleaning process.
- B. Sand blasting, wire brushes, or acids shall not be used. Exceptions may be considered if reviewed by the Owner or an Owner authorized representative.
- C. During work, store materials and equipment as directed by the owner.
- D. Protect work and materials from damage due to operations by other trades and trespassers. Maintain protection during installation.

**9.0 INSPECTION AND ACCEPTANCE**

- A. The Owner and or the Owner's representative reserves the right to inspect materials and workmanship at the site prior to, during construction, or at the time of inspection for compliance with these specifications.
- B. Notify the Owner's representative when completed, for final design conformance review.

**(1) FONT: OPTILAGO RECESSED LETTERING**

- (2) BRICK VENEER: ENDICOTT LIGHT COLOR: DESERT IRONSPOT LIGHT SIZE: ROMAN (12" x 2") RUNNING BOND BRICKS TO BE ATTACHED WITH MASONRY TIES SUBMIT COLOR & GROUT SAMPLE TO DEVELOPER & LANDSCAPE ARCHITECT.

- (3) PRECAST CONCRETE: COLOR: LIMESTONE BY CUSTOM CAST STONE OR APPROVED EQUAL CAPS AND PANEL: SMOOTH FACE PRECAST CONCRETE TO BE ATTACHED WITH STAINLESS STEEL PINS SUBMIT COLOR SAMPLE TO DEVELOPER & LANDSCAPE ARCHITECT.

- (4) SIGN PANEL MATERIAL: PRECAST STONE OR ALUMINUM SUBMIT COLOR SAMPLE TO DEVELOPER & LANDSCAPE ARCHITECT.

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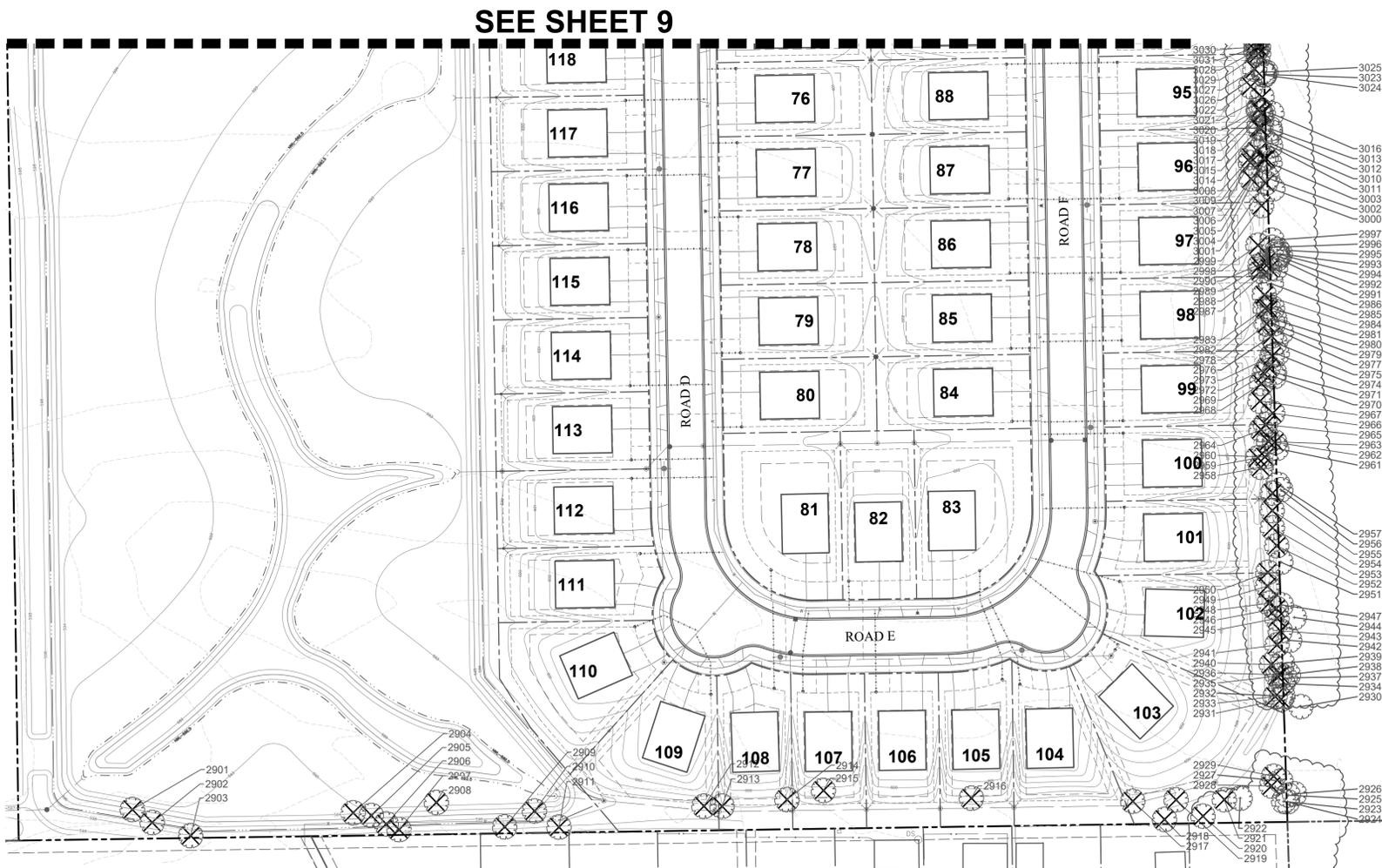
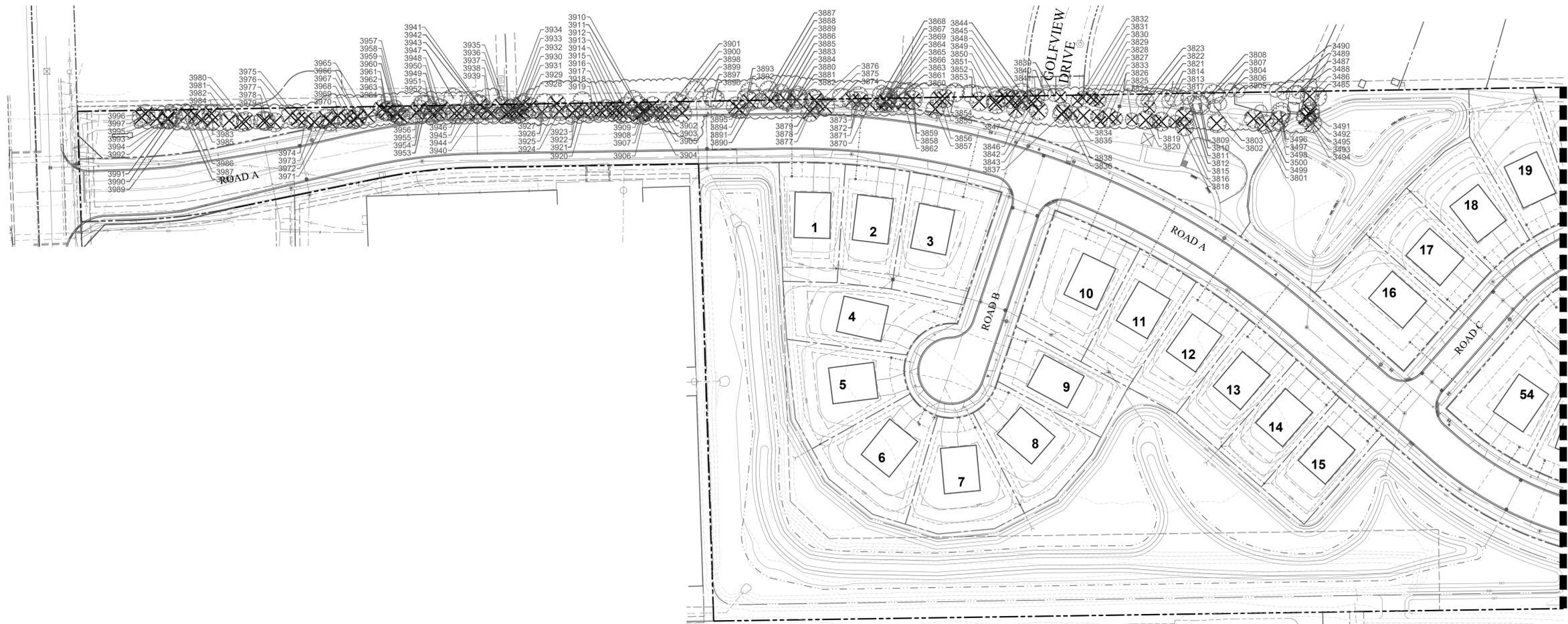




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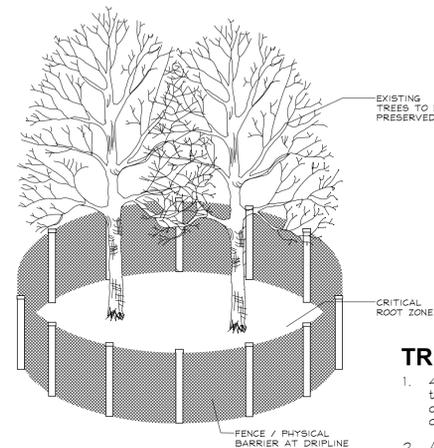
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**MANHARD CONSULTING**  
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**PRAIRIE LANDING**  
JOLIET, ILLINOIS  
**TREE PRESERVATION PLAN**



**LEGEND**

- 1234 EXISTING TREE
- 1234 EXISTING TREE TO BE REMOVED



**TREE PRESERVATION DETAIL**  
(NOT TO SCALE)  
SEE NOTES

**TREE PRESERVATION NOTES**

1. 48" high snow fence or wood barriers shall extend to the dripline of the tree or tree mass whenever possible, shall be installed before construction begins, and should not be removed until the completion of construction.
2. All accidental damage to existing trees that are to be preserved shall be promptly treated as required in accordance with recognized horticultural practices and the instructions of the professional Arborist, Landscape Architect or Horticulturist.
3. Broken or badly bruised branches shall be removed with a clean cut. If recommended by the professional Arborist, Landscape Architect or Horticulturist.
4. Care shall be exercised by the contractors to protect all overhead limbs and branches from damage by contact with material, machinery or equipment and by damage from engine exhaust.
5. Contractors shall protect trees and vegetation against spills or discharge of fuels, lubricating oils, hydraulic fluids, anti-freeze and coolants, calcium chloride, lime and all other similar hydrocarbons, organic chemicals, and other materials which can be harmful.
6. When underground utilities are proposed within 5' of a preserved tree trunk, they must be augered if possible.



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**RATING AND SURVEY CRITERIA**

- 1) Trees measured at 4.5 ft. above the ground - DBH (diameter Breast Height)
- 2) All trees 4" DBH and above tagged. Dead trees were tagged for removal. Invasive shrubs were not tagged.
- 3) Health Rating:

Rating	Description	Criteria
1	Excellent	Less than 10% dead wood, typical growth for species, no observed defects
2	Good	Less than 20% dead wood, minor defects, sound structure, no decay
3	Fair	Less than 30% dead wood, minor crown die-back, minor trunk damage or cavities
4	Fair to Poor	Approximately 30-50% dead wood, lacking full crown, minor disease evidence, trunk damage
5	Poor	Over 50% dead wood, lacking full crown, disease or decay evident, structural damage/cavities
6	Dead	Less than 10% living wood, greater than 50% missing bark, adventitious growth only, decay

TOTAL TREE COUNT: 524 (2901-3098, 3100, 3271-3300, 3401-3500, 3801-3997)

2901	<i>Prunus caryocarpa</i>	Pear	6	3 - Fair	Crowded		Remove
2902	<i>Prunus sp.</i>	Ash	14, 14	5 - Poor	V-shaped joint/Double Leader/Split Risk	Dead Leader	Remove
2903	<i>Prunus caryocarpa</i>	Pear	5	2 - Good	V-shaped joint/Double Leader/Split Risk		Remove
2904	<i>Gleditsia tricanthos</i>	Honey Locust	14	2 - Good			Remove
2905	<i>Alnus sp.</i>	Crabapple	7	3 - Fair		Trunk Scar	Remove
2906	<i>Prunus serotina</i>	Black Cherry	18	3 - Fair	Unbalanced		Remove
2907	<i>Fraxinus sp.</i>	Ash	7	5 - Poor		>50% dead wood/Dead Leader/Adventitious Growth	Remove
2908	<i>Fraxinus sp.</i>	Ash	7, 8	5 - Poor	V-shaped joint/Double Leader/Split Risk		Remove
2909	<i>Prunus serotina</i>	Black Cherry	11	4 - Fair/Poor	Lean		Remove
2910	<i>Fraxinus sp.</i>	Ash	6.5, 5	5 - Poor	V-shaped joint/Double Leader/Split Risk	30% dead wood	Remove
2911	<i>Fraxinus sp.</i>	Ash	6	3 - Fair	Lean/Unbalanced		Remove
2912	<i>Morus alba</i>	White Mulberry	23, 22, 14	5 - Poor	V-shaped joint/Double Leader/Lean		Remove
2913	<i>Fraxinus sp.</i>	Ash	11	3 - Fair	Lean	10% dead wood	Remove
2914	<i>Fraxinus sp.</i>	Ash	7, 6	5 - Poor	V-shaped joint/Double Leader/Split Risk	20% dead wood	Remove
2915	<i>Prunus caryocarpa</i>	Pear	7.5, 3	5 - Poor	V-shaped joint/Double Leader/Split Risk		Remove
2916	<i>Prunus serotina</i>	Black Cherry	26	4 - Fair/Poor	Fused Leaders	Fungus-Stem	Remove
2917	<i>Acer saccharinum</i>	Silver Maple	11, 10	5 - Poor	V-shaped joint/Double Leader/Split Risk	Trunk Scar	Remove
2918	<i>Prunus serotina</i>	Black Cherry	16, 13	5 - Poor	V-shaped joint/Double Leader/Split Risk/Broken Leader	Trunk Scar	Remove
2919	<i>Prunus caryocarpa</i>	Pear	17	2 - Good	Lean		Remove
2920	<i>Morus alba</i>	White Mulberry	16, 13	5 - Poor	V-shaped joint/Double Leader/Split Risk	Trunk Scar	Remove
2921	<i>Prunus serotina</i>	Black Cherry	11, 8	5 - Poor	V-shaped joint/Double Leader/Split Risk	>50% dead wood/Trunk Damage	Remove
2922	<i>Lonicera virginiana</i>	Red Cedar	8, 3, 5, 7	3 - Fair			Preserve
2923	<i>Celtis occidentalis</i>	Hackberry	22	2 - Good	Unbalanced		Preserve
2924	<i>Maclura pomifera</i>	Osage Orange	20, 16, 16	5 - Poor	V-shaped joint/Double Leader/Split Risk	Wood rot/Trunk Scar	Remove
2925	<i>Maclura pomifera</i>	Osage Orange	15	4 - Fair/Poor	Lean/Crown Lean/Crowded	30% dead wood	Preserve
2926	<i>Maclura pomifera</i>	Osage Orange	18	5 - Poor	Horizontal Growth	40% dead wood/Trunk Damage	Remove
2927	<i>Celtis occidentalis</i>	Hackberry	28	2 - Good	Unbalanced		Preserve
2928	<i>Celtis occidentalis</i>	Hackberry	7	4 - Fair/Poor	Crown Lean/Crowded		Remove
2929	<i>Celtis occidentalis</i>	Hackberry	6, 2	5 - Poor	V-shaped joint/Double Leader/Split Risk/Crown Lean		Remove
2930	<i>Prunus serotina</i>	Black Cherry	12, 7, 6	5 - Poor	V-shaped joint/Double Leader/Split Risk	Wood rot/Cavity	Remove
2931	<i>Prunus serotina</i>	Black Cherry	9	4 - Fair/Poor	Unbalanced/Crown Lean		Remove
2932	<i>Prunus serotina</i>	Black Cherry	9	3 - Fair	Lean		Preserve
2933	<i>Prunus serotina</i>	Black Cherry	14	4 - Fair/Poor	Unbalanced	Trunk Damage	Remove
2934	<i>Prunus serotina</i>	Siberian Elm	29	3 - Fair	Lean	10% dead wood/Trunk Scar	Preserve
2935	<i>Prunus serotina</i>	Black Cherry	11	4 - Fair/Poor	Lean/Unbalanced	Fungus-Stem	Remove
2936	<i>Prunus serotina</i>	Black Cherry	7	4 - Fair/Poor	Lean/Unbalanced		Remove
2937	<i>Prunus serotina</i>	Black Cherry	4	6 - Dead			Remove
2938	<i>Prunus serotina</i>	Black Cherry	6	5 - Poor	Lean	30% dead wood/Sparse foliage	Preserve
2939	<i>Celtis occidentalis</i>	Hackberry	12	3 - Fair	Unbalanced		Preserve
2940	<i>Prunus serotina</i>	Black Cherry	8	4 - Fair/Poor	Lean/Crown Lean/Crowded		Remove
2941	<i>Prunus serotina</i>	Black Cherry	14	4 - Fair/Poor	Unbalanced/Crowded	Trunk Scar	Remove
2942	<i>Morus alba</i>	White Mulberry	23, 13, 10	5 - Poor	V-shaped joint/Double Leader/Split Risk	Dead Leader/Cavity	Preserve
2943	<i>Prunus serotina</i>	Black Cherry	21	5 - Poor	Crown Lean/Crowded	20% dead wood/Wood rot/Trunk Damage	Remove
2944	<i>Prunus serotina</i>	Black Cherry	17	3 - Fair	Unbalanced		Remove
2945	<i>Prunus serotina</i>	Black Cherry	12	6 - Dead			Remove
2946	<i>Prunus serotina</i>	Black Cherry	6, 5	5 - Poor	V-shaped joint/Double Leader/Split Risk	Dead Leader/Cavity	Remove
2947	<i>Prunus serotina</i>	Black Cherry	6	6 - Dead			Remove
2948	<i>Maclura pomifera</i>	Osage Orange	14	5 - Poor	Unbalanced/Crowded	Cavity	Remove
2949	<i>Maclura pomifera</i>	Osage Orange	7	4 - Fair/Poor	Unbalanced/Crowded	30% dead wood	Remove
2950	<i>Maclura pomifera</i>	Osage Orange	13	5 - Poor	Strong lean/Crowded		Remove
2951	<i>Prunus serotina</i>	Black Cherry	15, 11	5 - Poor	U-shaped joint/Double Leader/Lean/Crown Lean		Remove
2952	<i>Maclura pomifera</i>	Osage Orange	3, 20, 20, 15, 14, 11	5 - Poor	V-shaped joint/Double Leader/Split Risk	30% dead wood	Remove
2953	<i>Maclura pomifera</i>	Osage Orange	2, 20, 19, 18, 15, 13, 13	5 - Poor	V-shaped joint/Double Leader/Split Risk	Cavity	Remove
2954	<i>Celtis occidentalis</i>	Hackberry	20	4 - Fair/Poor	Crown Lean/Crowded		Remove
2955	<i>Celtis occidentalis</i>	Hackberry	14	3 - Fair	Crown Lean/Crowded		Remove
2956	<i>Prunus serotina</i>	Black Cherry	18	4 - Fair/Poor	Lean	10% dead wood/Trunk Scar	Preserve
2957	<i>Prunus serotina</i>	Black Cherry	13	4 - Fair/Poor	Lean/Crown Lean	20% dead wood/Dead Limbs	Remove
2958	<i>Maclura pomifera</i>	Osage Orange	8, 6	5 - Poor	V-shaped joint/Double Leader/Split Risk/Crowded		Remove
2959	<i>Ulmus pumila</i>	Siberian Elm	7	4 - Fair/Poor	Crown Lean/Crowded/Broken Limb		Remove
2960	<i>Maclura pomifera</i>	Osage Orange	26	5 - Poor	Fused Leaders/Lean	Trunk Damage	Remove
2961	<i>Prunus serotina</i>	Black Cherry	12	6 - Dead			Remove
2962	<i>Prunus serotina</i>	Black Cherry	13	6 - Dead			Remove
2963	<i>Prunus serotina</i>	Black Cherry	20	3 - Fair	Unbalanced/Crown Lean		Remove
2964	<i>Ulmus pumila</i>	Siberian Elm	6	3 - Fair	Unbalanced		Remove
2965	<i>Prunus serotina</i>	Black Cherry	3	5 - Poor	Strong lean/Crowded		Remove
2966	<i>Prunus serotina</i>	Black Cherry	29	5 - Poor	Split Leaders/Strong lean		Remove
2967	<i>Maclura pomifera</i>	Osage Orange	7, 2	5 - Poor	V-shaped joint/Double Leader/Split Risk/Crowded		Remove
2968	<i>Celtis occidentalis</i>	Hackberry	9	2 - Good			Preserve
2969	<i>Celtis occidentalis</i>	Hackberry	4	2 - Good	Crowded		Remove
2970	<i>Prunus serotina</i>	Black Cherry	15, 10	5 - Poor	V-shaped joint/Double Leader/Broken Leader	20% dead wood	Preserve
2971	<i>Prunus serotina</i>	Black Cherry	21	5 - Poor	Strong lean/Crowded	30% dead wood/Wood rot/Cavity/Trunk Damage	Remove
2972	<i>Prunus serotina</i>	Black Cherry	9	5 - Poor	Crown Lean/Crowded		Remove
2973	<i>Morus alba</i>	White Mulberry	7	4 - Fair/Poor	Crown Lean/Crowded		Remove
2974	<i>Prunus serotina</i>	Black Cherry	24, 17	5 - Poor	V-shaped joint/Double Leader/Broken Limb	20% dead wood/Trunk Damage	Remove
2975	Unknown	Unknown	9	6 - Dead			Preserve
2976	<i>Prunus serotina</i>	Black Cherry	14	5 - Poor	Unbalanced	30% dead wood/Trunk Damage	Preserve
2977	<i>Morus alba</i>	White Mulberry	15, 13, 9	5 - Poor	V-shaped joint/Double Leader/Split Risk/Lean/Crown Lean		Preserve
2978	<i>Prunus serotina</i>	Black Cherry	4	4 - Fair/Poor	Lean/Crown Lean/Crowded		Remove
2979	<i>Prunus serotina</i>	Black Cherry	24	3 - Fair		10% dead wood	Preserve
2980	<i>Prunus serotina</i>	Black Cherry	7	5 - Poor	Lean/Crown Lean/Crowded	Trunk Damage	Preserve
2981	<i>Prunus serotina</i>	Black Cherry	23	3 - Fair	Unbalanced		Preserve
2982	<i>Prunus serotina</i>	Black Cherry	8	6 - Dead			Remove
2983	<i>Prunus serotina</i>	Black Cherry	14, 12	5 - Poor	U-shaped joint/Double Leader/Lean	Cavity/Trunk Damage	Remove
2984	<i>Prunus serotina</i>	Black Cherry	5	4 - Fair/Poor	Lean/Crown Lean/Crowded		Remove
2985	<i>Prunus serotina</i>	Black Cherry	18	5 - Poor	Broken Limb	Dead Limbs/Fungus-Stem/Trunk Damage	Preserve
2986	<i>Prunus serotina</i>	Black Cherry	7	3 - Fair	Lean		Preserve
2987	<i>Prunus serotina</i>	Black Cherry	6	4 - Fair/Poor	Lean		Remove
2988	<i>Ulmus pumila</i>	Siberian Elm	13	4 - Fair/Poor	Lean/Unbalanced/Broken Limb	10% dead wood	Remove
2989	<i>Prunus serotina</i>	Black Cherry	14	3 - Fair			Remove
2990	<i>Prunus serotina</i>	Black Cherry	8	4 - Fair/Poor	Lean/Crown Lean/Crowded		Remove
2991	<i>Prunus serotina</i>	Black Cherry	6	5 - Poor	Strong lean/Crown Lean	50% dead wood/Dead Leader	Remove
2992	Unknown	Unknown	6	6 - Dead			Preserve
2993	<i>Prunus serotina</i>	Black Cherry	10	4 - Fair/Poor	Lean/Crown Lean	20% dead wood	Preserve
2994	<i>Prunus serotina</i>	Black Cherry	17	4 - Fair/Poor	Lean	20% dead wood/Trunk Scar	Preserve
2995	<i>Prunus serotina</i>	Black Cherry	10	4 - Fair/Poor	Lean/Crown Lean/Crowded		Preserve
2996	<i>Prunus serotina</i>	Black Cherry	7	4 - Fair/Poor	Lean/Crown Lean	Fungus-Stem	Preserve
2997	<i>Celtis occidentalis</i>	Hackberry	15	2 - Good	Unbalanced		Preserve
2998	<i>Ulmus pumila</i>	Siberian Elm	6	4 - Fair/Poor	Crown Lean/Crowded	20% dead wood	Remove
2999	<i>Prunus serotina</i>	Black Cherry	12	5 - Poor	Strong lean		Remove
3000	<i>Prunus serotina</i>	Black Cherry	16, 14, 13, 10	5 - Poor	V-shaped joint/Double Leader/Split Risk	20% dead wood/Cavity	Preserve
3001	<i>Prunus serotina</i>	Black Cherry	5	5 - Poor	Strong lean	Cavity	Remove
3002	<i>Prunus serotina</i>	Black Cherry	16, 12, 12	5 - Poor	V-shaped joint/Double Leader/Split Risk	Dead Leader/Cavity	Preserve
3003	<i>Prunus serotina</i>	Black Cherry	24	4 - Fair/Poor	Fused Leaders/Lean	10% dead wood	Preserve
3004	<i>Prunus serotina</i>	Black Cherry	10	3 - Fair			Remove
3005	<i>Prunus serotina</i>	Black Cherry	9	4 - Fair/Poor	Crown Lean/Crowded		Remove
3006	<i>Prunus serotina</i>	Black Cherry	5	3 - Fair			Remove
3007	<i>Prunus serotina</i>	Black Cherry	4	4 - Fair/Poor	Lean/Crown Lean/Crowded		Remove
3008	<i>Prunus serotina</i>	Black Cherry	5	4 - Fair/Poor	Lean/Crown Lean		Remove
3009	<i>Prunus serotina</i>	Black Cherry	6	6 - Dead			Remove
3010	<i>Acer negundo</i>	Box Elder	6	4 - Fair/Poor	Lean/Crown Lean		Preserve
3011	<i>Prunus serotina</i>	Black Cherry	10	3 - Fair	Lean/Unbalanced		Preserve
3012	<i>Celtis occidentalis</i>	Hackberry	16, 4	3 - Fair	Double Leader	Trunk Scar	Preserve
3013	<i>Prunus serotina</i>	Black Cherry	21, 17	5 - Poor	V-shaped joint/Double Leader/Split Risk	Cavity	Preserve
3014	<i>Celtis occidentalis</i>	Hackberry	5	3 - Fair	Unbalanced/Crown Lean		Remove
3015	<i>Prunus serotina</i>	Black Cherry	10	3 - Fair	Unbalanced		Remove
3016	<i>Celtis occidentalis</i>	Hackberry	17	4 - Fair/Poor	Unbalanced		Preserve
3017	<i>Prunus serotina</i>	Black Cherry	5	6 - Dead			Remove
3018	<i>Prunus serotina</i>	Black Cherry	7	5 - Poor	Strong lean	Trunk Scar	Remove
3019	<i>Prunus serotina</i>	Black Cherry	7	4 - Fair/Poor	Lean/Crowded		Remove
3020	<i>Prunus serotina</i>	Black Cherry	20	4 - Fair/Poor	Lean/Unbalanced	Fungus-Stem/Trunk Damage	Remove
3021	<i>Celtis occidentalis</i>	Hackberry	24	2 - Good			Remove
3022	<i>Prunus serotina</i>	Black Cherry	6	4 - Fair/Poor	Lean/Crowded		Remove
3023	<i>Celtis occidentalis</i>	Hackberry	6	3 - Fair	Crown Lean/Crowded	20% dead wood	Preserve
3024	<i>Celtis occidentalis</i>	Hackberry	10	2 - Good	Crowded		Preserve
3025	<i>Prunus serotina</i>	Black Cherry	36	3 - Fair		Fungus-Stem/Trunk Scar	Preserve
3026	<i>Celtis occidentalis</i>	Hackberry	7	3 - Fair	Crown Lean/Crowded		Preserve
3027	<i>Prunus serotina</i>	Black Cherry	4, 3	5 - Poor	V-shaped joint/Double Leader/Split Risk/Lean/Crowded		Remove
3028	<i>Prunus serotina</i>	Black Cherry	9	4 - Fair/Poor	Lean/Crown Lean/Crowded		Remove
3029	<i>Prunus serotina</i>	Black Cherry	4	4 - Fair/Poor	Lean/Crown Lean		Remove
3030	Unknown	Unknown	7	6 - Dead			Remove
3031	<i>Prunus serotina</i>	Black Cherry	9, 7, 5	5 - Poor	V-shaped joint/Double Leader/Split Risk/Strong lean	Trunk Damage	Remove
3032	<i>Prunus serotina</i>	Black Cherry	8	5 - Poor	Strong lean	Trunk Damage	Remove
3033	<i>Acer negundo</i>	Box Elder	17	4 - Fair/Poor	Unbalanced	Trunk Scar	Remove
3034	<i>Prunus serotina</i>	Black Cherry	22	4 - Fair/Poor		30% dead wood/Dead Limbs/Trunk Damage	Preserve
3035	<i>Celtis occidentalis</i>	Hackberry	16	3 - Fair	Lean/Unbalanced	10% dead wood	Preserve
3036	<i>Celtis occidentalis</i>	Hackberry	12	3 - Fair			Preserve
3037	<i>Prunus serotina</i>	Black Cherry	14	4 - Fair/Poor	Lean/Unbalanced	20% dead wood	Remove
3038	<i>Celtis occidentalis</i>	Hackberry	9	3 - Fair	Unbalanced/Crown Lean	Trunk Scar	Remove
3039	<i>Prunus serotina</i>	Black Cherry	12	3 - Fair	Lean		Remove
3040	<i>Prunus serotina</i>	Black Cherry	9	4 - Fair/Poor	Lean/Crown Lean/Crowded		Remove
3041	<i>Prunus serotina</i>	Black Cherry	12	5 - Poor	Strong lean/Crowded		Remove
3042	<i>Morus alba</i>	White Mulberry	14	4 - Fair/Poor	Lean/Crown Lean/Crowded	Trunk Scar	Remove
3043	<i>Prunus serotina</i>	Black Cherry	4	6 - Dead			Remove
3044	<i>Prunus serotina</i>	Black Cherry	6	4 - Fair/Poor	Lean/Crowded		Remove
3045	<i>Prunus serotina</i>	Black Cherry	9	4 - Fair/Poor	Lean/Crowded		Remove
3046	<i>Prunus serotina</i>	Black Cherry	8	4 - Fair/Poor	Lean/Crown Lean/Crowded		Remove
3047	<i>Prunus serotina</i>	Black Cherry	6	4 - Fair/Poor	Lean/Crown Lean/Crowded		Remove
3048	<i>Maclura pomifera</i>	Osage Orange	7, 4	5 - Poor	V-shaped joint/Double Leader/Split Risk		Preserve

SEE SHEET 8

SEE SHEET 8

**LEGEND**

- EXISTING TREE
- EXISTING TREE TO BE REMOVED



**GRWA**  
**GARY R. WEBER ASSOCIATES, INC.**  
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 333 E. BUTTERFIELD RD. STE. 600  
 LOMBARD, IL 60148

**PRAIRIE LANDING**  
 JOLIET, ILLINOIS  
**TREE PRESERVATION PLAN & INVENTORY**

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3952	<i>Acer negundo</i>	Box Elder	8	4 - Fair/Poor	Lean/Crown Lean/Crowded		Remove
3953	<i>Morus alba</i>	White Mulberry	5	4 - Fair/Poor	Lean/Crown Lean/Crowded		Preserve
3954	<i>Ulmus pumila</i>	Siberian Elm	5	5 - Poor	Strong lean/Crowded		Remove
3955	<i>Prunus serotina</i>	Black Cherry	7.4.2	5 - Poor	V-shaped joint/Multi Leader/Split Risk/Crowded	40% dead wood	Remove
3956	<i>Ulmus pumila</i>	Siberian Elm	17.7	4 - Fair/Poor	V-shaped joint/Double Leader/Lean		Remove
3957	<i>Prunus serotina</i>	Black Cherry	7	4 - Fair/Poor	Lean/Crown Lean/Crowded		Remove
3958	<i>Ulmus pumila</i>	Siberian Elm	10	3 - Fair	Unbalanced		Remove
3959	<i>Ulmus pumila</i>	Siberian Elm	6	4 - Fair/Poor	Unbalanced/Crown Lean		Remove
3960	<i>Celtis occidentalis</i>	Hackberry	10	3 - Fair	Unbalanced/Crowded		Preserve
3961	<i>Ulmus pumila</i>	Siberian Elm	7	3 - Fair			Remove
3962	<i>Prunus serotina</i>	Black Cherry	6	4 - Fair/Poor	Crowded	30% dead wood	Remove
3963	<i>Ulmus pumila</i>	Siberian Elm	12	4 - Fair/Poor	Lean/Unbalanced		Remove
3964	<i>Acer saccharinum</i>	Silver Maple	14.7	3 - Fair	U-shaped joint/Double Leader	Vines	Remove
3965	<i>Acer saccharinum</i>	Silver Maple	4	3 - Fair	Unbalanced/Crown Lean		Remove
3966	<i>Acer saccharinum</i>	Silver Maple	4.4	5 - Poor	V-shaped joint/Double Leader/Split Risk/Crowded		Remove
3967	<i>Ulmus pumila</i>	Siberian Elm	10	4 - Fair/Poor	Unbalanced/Crowded	Vines	Remove
3968	<i>Ulmus pumila</i>	Siberian Elm	13	4 - Fair/Poor		20% dead wood/Vines	Remove
3969	<i>Ulmus pumila</i>	Siberian Elm	10	4 - Fair/Poor	Unbalanced	Vines	Remove
3970	<i>Ulmus pumila</i>	Siberian Elm	4	3 - Fair	Lean	Vines	Remove
3971	<i>Prunus serotina</i>	Black Cherry	6	3 - Fair	Unbalanced		Remove
3972	<i>Ulmus pumila</i>	Siberian Elm	7	4 - Fair/Poor		30% dead wood/Vines	Remove
3973	<i>Morus alba</i>	White Mulberry	6	3 - Fair	Unbalanced/Crown Lean		Remove
3974	<i>Morus alba</i>	White Mulberry	9.9	5 - Poor	V-shaped joint/Double Leader/Split Risk		Remove
3975	<i>Morus alba</i>	White Mulberry	7	3 - Fair	Lean/Crowded	Dead Leader	Remove
3976	<i>Morus alba</i>	White Mulberry	10.7.6	5 - Poor	V-shaped joint/Multi Leader/Split Risk		Remove
3977	<i>Ulmus pumila</i>	Siberian Elm	7	5 - Poor		>50% dead wood/Vines	Remove
3978	<i>Acer negundo</i>	Box Elder	6	4 - Fair/Poor	Lean/Crown Lean/Crowded		Remove
3979	<i>Prunus serotina</i>	Black Cherry	10	3 - Fair			Remove
3980	<i>Ulmus pumila</i>	Siberian Elm	8	3 - Fair	Lean		Remove
3981	<i>Ulmus pumila</i>	Siberian Elm	8	3 - Fair			Remove
3982	<i>Ulmus pumila</i>	Siberian Elm	9	3 - Fair	Lean		Remove
3983	<i>Prunus serotina</i>	Black Cherry	7.6	5 - Poor	V-shaped joint/Double Leader/Split Risk/Lean		Remove
3984	<i>Acer negundo</i>	Box Elder	8.6	5 - Poor	V-shaped joint/Double Leader/Split Risk	>50% dead wood/Dead Leader	Remove
3985	<i>Celtis occidentalis</i>	Hackberry	10.8	5 - Poor	V-shaped joint/Double Leader/Split Risk		Remove
3986	<i>Prunus serotina</i>	Black Cherry	19	3 - Fair			Remove
3987	<i>Ulmus pumila</i>	Siberian Elm	28.20.10.10	5 - Poor	V-shaped joint/Multi Leader/Split Risk	Trunk Damage	Remove
3988	<i>Celtis occidentalis</i>	Hackberry	4	3 - Fair	Crowded		Preserve
3989	<i>Celtis occidentalis</i>	Hackberry	6	3 - Fair	Crown Lean/Crowded		Preserve
3990	<i>Celtis occidentalis</i>	Hackberry	6	3 - Fair	Crown Lean/Crowded		Preserve
3991	<i>Celtis occidentalis</i>	Hackberry	6	3 - Fair	Crown Lean/Crowded		Preserve
3992	<i>Morus alba</i>	White Mulberry	6.3.3	5 - Poor	V-shaped joint/Multi Leader/Split Risk		Remove
3993	<i>Pyrus calleryana</i>	Pear	4	4 - Fair/Poor	Lean/Crown Lean		Remove
3994	<i>Ulmus pumila</i>	Siberian Elm	9.7	5 - Poor	V-shaped joint/Double Leader/Split Risk		Remove
3995	<i>Ulmus pumila</i>	Siberian Elm	5	3 - Fair	Unbalanced		Remove
3996	<i>Ulmus pumila</i>	Siberian Elm	12	3 - Fair	Crown Lean		Remove
3997	<i>Ulmus pumila</i>	Siberian Elm	7	3 - Fair	Crown Lean	Trunk Scar	Remove



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PRAIRIE LANDING

JOLIET, ILLINOIS

TREE INVENTORY

6	03.17.2025
5	02.13.2025
4	01.29.2025
3	12.18.2024
2	12.02.2024
1	11.14.2024

REVISIONS

DATE	11.01.2024
PROJECT NO.	DR2186
DRAWN	SMR
CHECKED	DHS
SHEET NO.	



Keep others below. Call before you dig.

LANDSCAPE WORK PART 1 - GENERAL

1.1 DESCRIPTION OF WORK

The work shall consist of furnishing, transporting and installing all seeds, plants and other materials required for:

1. The establishment of trees, shrubs, perennial, annual and lawn areas as shown on Landscape Plan;
2. The provision of post-planting management as specified herein;
3. Any remedial operations necessary in conformance with the plans as specified in this document;
4. The design, furnishing and installation of a complete underground sprinkler system; and
5. Permits which may be required.

1.2 QUALITY ASSURANCE

A. Work shall conform to State of Illinois Horticultural Standards and local municipal requirements.

B. Quality Control Procedures:

1. Ship landscape materials with certificates of inspection as required by governmental authorities. Comply with governing regulations applicable to landscape materials.
2. Do not make substitutions. If specified landscape material is not obtainable, submit to Landscape Architect proof of non-availability and proposal for use of equivalent material.
3. Analysis and Standards: Package standard products with manufacturers certified analysis.

C. Insect Control

1. For areas containing standing water less than 3-ft that persist for greater than 7 days, mosquito control may be necessary. Mosquito control should be limited to larvicides applications such as Natulan or Vectolex FG, per the EPA and CDC guidance. Larvicide application should be provided by a qualified professional. Contract the North Shore Mosquito Abatement District for service.

1.3 SUBMITTALS

A. Planting Schedule

Submit three (3) copies of the proposed planting schedule showing dates for each type of planting

B. Maintenance Instruction - Landscape Work

Submit two (2) copies of typewritten instructions recommending procedures to be established by the Owner for the maintenance of landscape work for one full year. Submit prior to expiration of required maintenance periods.

Instructions shall include: watering, fertilizing, spraying, mulching and pruning for plant material and trimming groundcover. Instructions for watering, fertilizing and mowing grass areas shall be provided ten (10) days prior to request for inspection for final acceptance. Landscape Architect shall receive copies of all instructions when issued.

C. Submit two (2) copies of soil test of existing topsoil with recommendations for soil additive requirement to Landscape Architect for review and written approval.

D. Submit two (2) samples of shredded hardwood bark mulch, erosion control blankets, and all other products and materials as specified on plans to Landscape Architect for review and written approval.

E. Nursery packing lists indicating the species and quantities of material installed must be provided to the Owner and/or City upon request.

1.4 JOB CONDITIONS

A. Examine and evaluate grades, soils and water levels. Observe the conditions under which work is to be performed and notify Landscape Architect of unsatisfactory conditions. Do not proceed with the work until unsatisfactory conditions have been corrected in an acceptable manner.

B. Utilities: Review underground utility location maps and plans; notify local utility location service; demonstrate an awareness of utility locations; and certify acceptance of liability for the protection of utilities during course of work. Contractor shall be responsible for any damage to utilities or property.

C. Excavation: When conditions detrimental to plant growth are encountered such as rubble fill, adverse drainage conditions or obstructions, notify Landscape Architect before planting.

1.5 GUARANTEES

A. Guarantee seeded and sodded areas through the specified maintenance period and until final inspection.

B. Guarantee trees, shrubs, groundcover and perennials for a period of one year after date of acceptance against defects including death and unsatisfactory growth, except for defects resulting from neglect by Owner, abuse or damage by others or unusual phenomena or incidents which are beyond Landscape Installer's control.

LANDSCAPE WORK PART 2 - PLANT MATERIALS

2.1 LAWN SOD

Provide strongly rooted sod, not less than two (2) years old and free of weeds and undesirable native grasses. Provide only sod capable of growth and development when planted (viable, not dormant) and in strips not more than 18" wide x 4' long. Provide sod composed of a 5-way blend of Kentucky Bluegrass such as: Midnight, Allure, Viva, Washington, Liberty.

2.2 LAWN SEED MIXTURE

Grass Seed: Provide fresh, clean, new crop seed complying with the tolerance for purity and germination established by the Official Seed Analysts of North America. Provide seed of the grass species, proportions and maximum percentage of weed seed, as specified.

- A. Lawn Seed Mixture - 5 lbs. / 1,000 sq. ft.
  - 50% Kentucky Bluegrass (98/85)
  - 15% Cutter Perennial Ryegrass
  - 10% Spartan Hard Fescue
  - 10% Edge Perennial Ryegrass
  - 10% Express Perennial Ryegrass
  - 5% Pennlawn Creeping Red Fescue
- B. Temporary Lawn Seed Mixture - 5 lbs. / 1,000 sq. ft.
  - 40% Kentucky Bluegrass (98/85)
  - 40% Perennial Ryegrass
  - 20% Annual Ryegrass
- C. Highlands Fescue Seed Mixture - Mixture-7 lbs. / 1,000 sq. ft.
  - 25% Discovery Hard Fescue
  - 25% Tiffany Chewings Fescue
  - 25% Florentine Creeping Red Fescue
  - 25% Bighorn Sheeps Fescue
- D. Detention Seed Mixture - 7 lbs. / 1000 sq. ft.
  - 70% Kentucky 31 Tall Fescue
  - 30% Perennial Ryegrass

2.3 GROUNDCOVERS, PERENNIALS AND ANNUALS

Provide plants established and well-rooted in removable containers or integral peat pots and with not less than the minimum number and length of runners required by ANSI Z60.1 for the pot size shown or listed.

2.4 TREES AND SHRUBS

A. Name and Variety: Provide nursery grown plant material true to name and variety.

B. Quality: Provide trees, shrubs and other plants complying with the recommendations and requirements of ANSI Z60.1 "Standard for Nursery Stock" and as further specified.

C. Deciduous Trees: Provide trees of height and caliper listed or shown and with branching configuration recommended by ANSI Z60.1 for type and species required. Provide single stem trees except where special forms are shown or listed. Provide balled and burlapped (B&B) deciduous trees.

D. Deciduous Shrubs: Provide shrubs of the height shown or listed and with not less than the minimum number of canes required by ANSI Z60.1 for the type and height of shrub required. Provide balled and burlapped (B&B) deciduous shrubs.

E. Coniferous Evergreen: Provide evergreens of the sizes shown or listed. Dimensions indicate minimum spread for spreading and semi-spreading type evergreens and height for other types. Provide quality evergreens with well-balanced form complying with requirements for other size relationships to the primary dimension shown. Provide balled and burlapped (B&B) evergreen trees and containerized shrubs.

F. Inspection: All plants shall be subject to inspection and review at the place of growth or upon delivery and conformity to specification requirements as to quality, right of inspection and rejection upon delivery at the site or during the progress of the work for size and condition of balls or roots, diseases, insects and latent defects or injuries. Rejected plants shall be removed immediately from the site.

2.5 PLANTING SOIL MIXTURE

Provide planting soil mixture consisting of clean uncompacted topsoil (stockpiled at site) for all planting pits, perennial, annual and groundcover areas. Topsoil shall be conditioned based on any recommendations resulting from the soil test in 1.3.C.

2.6 EROSION CONTROL

A. Lawn Seed Areas Erosion Control Blanket: North American Green DS75, or equivalent approved equal.

B. Native Areas Erosion Control Blanket: North American Green S150, or equivalent approved equal.

C. Shoreline Areas: Erosion Control Blanket: North American Green SC150, or equivalent approved equal. To be installed per manufacturer's recommendations three feet above and below NNL.

D. Refer to latest Engineering & Erosion Control Plans for any areas to receive permanent or long-term blanket installation.

E. Hydroseed Mulch: Conweb 2000 wood fiber mulch with tackifier. Other mulches may be used subject to approval of Landscape Architect.

2.7 MULCH

Provide mulch consisting of premium shredded hardwood bark. Provide sample to Landscape Architect for approval prior to ordering materials.

LANDSCAPE WORK PART 3 - EXECUTION

3.1 PLANTING SCHEDULE

At least thirty (30) days prior to the beginning of work in each area, submit a planting schedule for approval by the Landscape Architect.

3.2 PLANTINGS

A. Sodding New Lawns

1. Remove existing grass, vegetation and turf. Dispose of such material legally off-site, do not turn over into soil being prepared for lawns.
2. Till to a depth of not less than 6"; apply soil amendments as needed; remove high areas and fill in depressions; till soil to a homogenous mixture of fine texture, remove lumps, clods, stones over 1" diameter, roots and other extraneous matter. Dispose of such material legally off-site.
3. Sodded areas shall receive an application of commercial fertilizer at the rate of 10 lbs. per 1,000 sq. ft. and shall have an analysis of 16-8-8.
4. Lay sod within 24 hours from time of stripping.
5. Lay sod to form a solid mass with tightly fitted joints. Butt ends and sides of sod strips; do not overlap. Stagger strips to offset joints in adjacent courses. Work from boards to avoid damage to subgrade or sod. Tamp or roll lightly to ensure contact with subgrade. Work sifted soil into minor cracks between pieces of sod; remove excess to avoid smothering of adjacent grass.
6. Water sod thoroughly with a fine spray immediately after planting.

B. Seeding New Lawns

1. Remove existing grass, vegetation and turf. Dispose of such material legally off-site. Do not turn over into soil being prepared for lawns.
2. Till to a depth of not less than 6"; apply soil amendments; remove high areas and fill in depressions; till soil to a homogenous mixture of fine texture, remove lumps, clods, stones over 1" diameter, roots and other extraneous matter. Dispose of such material legally off-site.
3. Seeded lawn areas shall receive an application of commercial fertilizer at the rate of 5 lbs. per 1,000 sq. ft. and shall be 6-24-24. Fertilizer shall be uniformly spread and mixed into the soil to a depth of 1" inches.
4. Do not use wet seed or seed which is moldy or otherwise damaged in transit or storage.
5. Sow seed using a spreader or seeding machine. Do not seed when wind velocity exceeds five (5) miles per hour. Distribute seed evenly over entire area by sowing equal quantity in two directions at right angles to each other.
6. Sow not less than specified rate.
7. Rake lawn seed lightly into top 1" of soil, roll lightly and water with a fine spray.
8. After the seeding operation is completed, spray a wood fiber mulch (Conweb 2000 with tackifier or approved equal) over the entire grassed area at the rate of 2,000 lbs. per acre. Use a mechanical spray unit to insure uniform coverage. Exercise care to protect buildings, automobiles and people during the application of the mulch.
9. DO NOT MOW HIGHLANDS FESCUE SEED MIXTURE.

C. Groundcover and Perennial Beds

Groundcover, perennials, and annuals shall be planted in continuous beds of planting soil mixture a minimum of 8" deep. Install per spacing indicated on plan.

D. Trees and Shrubs

1. Set balled and burlapped (B&B) stock plumb and in center of pit or trench with top of ball at an elevation that will keep the root flare exposed upon backfill and mulching. Remove burlap from top and sides of balls; retain on bottoms. When set, place additional topsoil backfill around base and sides of ball and work each layer to settle backfill and eliminate voids and air pockets. When excavation is approximately 2/3 full, water thoroughly before placing remainder of backfill. Repeat watering until no more is absorbed. Water again after placing final layer of backfill.
2. Dish top of backfill to allow for mulching. Provide additional backfill berm around edge of excavations to form shallow saucer to collect water.
3. Mulch pits, trenches and planted areas. Provide not less than 3" thickness of mulch and work into top of backfill and finish level with adjacent finish grades. Maintain exposed root flare at all times.
4. Prune only injured or dead branches from flowering trees, if any. Protect central leader of tree during shipping and pruning operations. Prune shrubs to retain natural character in accordance with standard horticultural practices.
5. Remove and replace excessively pruned or ill-formed stock resulting from improper pruning.
6. The Contractor shall be wholly responsible for assuring that all trees are planted in a vertical and plumb position and remain so throughout the life of this contract and guarantee period. Trees may or may not be staked and guyed depending upon the individual preference of the Contractor; however, any bracing procedure(s) must be approved by the Owner prior to its installation.

3.3 INITIAL MAINTENANCE

- A. Begin maintenance immediately after planting, continuing until final acceptance. A minimum of thirty (30) days.
- B. Maintain planted and seeded areas by watering, rolling/grading, replanting and implementing erosion control as required to establish vegetation free of eroded or bare areas.
- C. Highlands Fescue and Native Planting areas are to be mowed only once per spring during the initial three year establishment period.

3.4 CLEAN UP AND PROTECTION

- A. During landscape work, store materials and equipment where directed. Keep pavements clean and work areas and adjoining areas in an orderly condition.
- B. Protect landscape work and materials from damage due to landscape operations, operations by other trades and trespassers. Maintain protection during installation and maintenance periods. Treat, repair or replace damaged landscape work as directed by Landscape Architect.

3.5 INSPECTION AND ACCEPTANCE

- A. The Landscape Architect reserves the right to inspect seeds, plants, trees and shrubs either at place of growth or at site before planting for compliance with requirements for name, variety, size, quantity, quality and mix proportion.
- B. Supply written affidavit certifying composition of seed mixtures and integrity of plant materials with respect to species, variety and source.
- C. Notify the Landscape Architect within five (5) days after completing initial and/or supplemental plantings in each area.
- D. When the landscape work is completed, including maintenance, the Landscape Architect will, upon request, make a final inspection to determine acceptability. After final acceptance, the Owner will be responsible for maintenance.



GARY R. WEBER  
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ECOLOGICAL CONSULTING  
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WHEATON, ILLINOIS 60187  
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1750 E. GOLF ROAD, SUITE 925  
SCHAMBERG, IL 60173

CIVIL ENGINEER

MANHARD CONSULTING  
333 E. BUTTERFIELD RD., STE. 600  
LOMBARD, IL 60148

PRAIRIE LANDING

JOLIET, ILLINOIS

LANDSCAPE SPECIFICATIONS

6	03.17.2025
5	02.13.2025
4	01.29.2025
3	12.18.2024
2	12.02.2024
1	11.14.2024

REVISIONS

DATE	11.01.2024
PROJECT NO.	DR2186
DRAWN	SMR
CHECKED	DHS
SHEET NO.	

120F 12



Know what's below. Call before you dig.

CASE NO. \_\_\_\_\_

DATE FILED: \_\_\_\_\_

**CITY PLAN COMMISSION  
JOLIET, ILLINOIS**

**PETITION FOR A PLANNED UNIT DEVELOPMENT  
(Check One)**

Preliminary  
 Final

NAME OF PUD: PRAIRIE LANDING

NAME OF PETITIONER: D.R. HORTON, INC. - MIDWEST

HOME ADDRESS: \_\_\_\_\_

CITY, STATE, ZIP: \_\_\_\_\_

HOME PHONE: \_\_\_\_\_

CELL #: 630-772-3569 E-MAIL: cafunkhouser@DRHorton.com

BUSINESS ADDRESS: 1750 E Golf Rd, Suite 925

CITY, STATE, ZIP: Schaumburg, IL 60173

BUSINESS PHONE: \_\_\_\_\_

INTEREST OF PETITIONER: Contract Purchaser

NAME OF LOCAL AGENT: Chris Funkhouser

ADDRESS: 1750 E Golf Rd, Suite 925 PHONE: 630-772-3569

OWNER: Westside Joliet Real Estate, LLC

HOME ADDRESS: \_\_\_\_\_

CITY, STATE, ZIP: \_\_\_\_\_

HOME PHONE: \_\_\_\_\_

CELL #: 847-875-8262 E-MAIL: Robert.calzaretta@yahoo.com

BUSINESS ADDRESS: 3501 Regent Drive PHONE: \_\_\_\_\_

CITY, STATE, ZIP: Paletine, IL 60067

BUSINESS PHONE: \_\_\_\_\_

ENGINEER: Mackie Consultants, LLC

ADDRESS: 9575 W. Higgins Rd, Ste. 500 PHONE: 847-696-1400

LAND SURVEYOR: Mackie Consultants, LLC

ADDRESS: 9575 W. Higgins Rd, Ste. 500 PHONE: 847-696-1400

ATTORNEY: Rosanova & Whitaker, Ltd

ADDRESS: 445 Jackson Ave. Suite 200 Naperville, IL 60540 PHONE: 630-355-4600

LEGAL DESCRIPTION OF PROPERTY: See attached Legal description

COMMON ADDRESS: 2200 block of Essington Rd. Joliet

PERMANENT INDEX NUMBER (Tax No.): 06-03-36-100-033-0000

SIZE: 43.949

NO. OF LOTS: 120

PRESENT USE: Vacant Agricultural EXISTING ZONING: R-2, R-4 & B-3

USES OF SURROUNDING PROPERTIES: North: B-3 (Gen Biz) & R-2 (Residential)

South: B-3 (Gen Biz) & R-2 (Residential)

East: Ag/Undeveloped Will County A-1

West: B-3 (Gen Biz)

Name of Park District: Plainfield Park District

Date Contacted Park District: 11-14-2024

Is any open space/park site being offered as part of a preliminary PUD? No (Private HOA parklette)

If yes, what amount? \_\_\_\_\_

(Acknowledgment by Park District Official) Bob Collins - Director of Planning

Has the Zoning Board of Appeals granted any variance, exception, or special permit concerning this property?

Yes \_\_\_\_\_ No X If yes, list the Case number and name: \_\_\_\_\_

Is any variance from the Subdivision Regulations being requested? Yes X No \_\_\_\_\_

If yes, describe: Requesting variance from masonry requirement of 50% of front facade for 50% of all homes.

Request is to allow 25% masonry on 100% of all homes in the community.

Attach ten (10) copies of the plat to this petition.

List all contiguous holdings in the same ownership (as defined in the Subdivision Regulations) by permanent index numbers: 06-03-36-100-033-0000

Attached hereto is an affidavit of ownership indicating the dates the respective holdings of land were acquired, together with the book and page of each conveyance to the present owner as recorded in the Will County Recorder of Deeds office. This affidavit shall indicate the legal owner of the property, the contract owner of the property, and the date the contract of sale was executed.

In the event the property is held in trust: A list of all individual beneficial owners of the trust must be attached.

In the event of corporate ownership: A list of all directors, officers, and stockholders of each corporation owning more than five percent (5%) of any shares of stock must be attached.

STATE OF ILLINOIS) ss  
COUNTY OF WILL )

I, CHRIS FUNKHOUSER, hereby depose and say that all of the above statements and the statements contained in the papers submitted herewith are true. I agree to be present in person or by representation when this is heard by the Plan Commission.

Date: 11/15/2024 \_\_\_\_\_  
Petitioner's Name

Subscribed and sworn to before me this 15 day of November, 2024

Sabrina A Buelens \_\_\_\_\_  
Notary Public My Commission Expires: 7/23/2025



# CITY OF JOLIET OWNERSHIP DISCLOSURE FORM

The City of Joliet requires that applicants for zoning relief, subdivision approval, building permits and business licenses disclose the identity of all persons having an ownership interest in the business and the real property associated with the application. A copy of this form must be completed and submitted with other application materials. Failure to properly complete and submit this form may result in the denial of the application.

## I. INFORMATION ABOUT THE APPLICATION

This form is submitted as part of an application for the following (check all that apply):

- Rezoning, Special Use Permit, Variation, or Other Zoning Relief (Complete Sections II and III)
- Preliminary Plat, Final Plat, or Record Plat of Subdivision (Complete Sections II and III)
- Building Permit (Complete Sections II and III)
- Business License (Complete All Sections)

## II. INFORMATION ABOUT THE PROPERTY

The address and PIN(s) of the real property associated with this application are:

Property located east of the intersection of Essginton Rd. and Old Castle Rd.

PIN(s): 06-03-36-100-033-0000

## III. PROPERTY OWNERSHIP

Select the type of owner of the real property associated with this application and fill in the appropriate contact information below:

- Individual:** State the names, addresses, and phone #'s of the individual owner(s)
- Corporation:** State the names, addresses, and phone #'s of all persons holding 3% or more of the stock of the corporation and the percentage of shares held by such stockholders
- Limited Liability Company:** State the names, addresses, and phone #'s of all members of the company along with the percentage of ownership held by each member
- Land Trust:** State the names, addresses, and phone #'s of the trustee(s) and all beneficiaries
- Partnership:** State the names, addresses, and phone #'s of all partners
- Other type of organization:** State the names, addresses, and phone #'s of all persons having a legal or equitable ownership interest in the organization or the right to direct the affairs of the organization

WESTSIDE JOLIET REAL ESTATE, LLC

ROBERT CALZARETTA, MANAGER 100%

3501 REGENT DR PALATINE, IL

847-875-8262

E-MAIL: ROBERT.CALZARETTA@YAHOO.COM FAX: \_\_\_\_\_

**IV. BUSINESS OWNERSHIP**

If the owner of the business is different than the owner of the real property associated with the application, then the following information must be provided:

Select the type of business owner associated with this application and fill in the contact information below:

- Individual:** State the names, addresses, and phone #'s of the individual owner(s)
- Corporation:** State the names, addresses, and phone #'s of all persons holding 3% or more of the stock of the corporation and the percentage of shares held by such stockholders
- Limited Liability Company:** State the names, addresses, and phone #'s of all members of the company along with the percentage of ownership held by each member
- Partnership:** State the names, addresses, and phone #'s of all partners
- Other type of organization:** State the names, addresses, and phone #'s of all persons having a legal or equitable ownership interest in the organization

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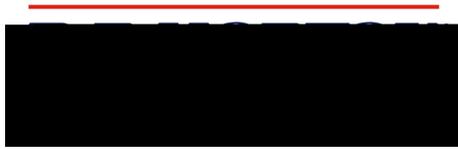
**E-MAIL:** \_\_\_\_\_ **FAX:** \_\_\_\_\_

**NOTE:**  
If a stockholder, member, beneficiary or partner disclosed in Section III or Section IV is not an individual, then the individuals holding the legal or equitable title to the real property or business associated with the application must also be disclosed. For example, if the real property associated with an application is owned by a land trust, and the beneficiary of the land trust is a limited liability company, then the members of the limited liability company must be disclosed. If one of the members of the limited liability company is a partnership, then the identity of the partners must be disclosed. If one of the partners is a corporation, then all persons owning 3% or more of the issued stock must be disclosed.

**SIGNED:**                     *Rt*                    

**DATE:**                     11-5-24                    

**Name, Title, and Telephone Numbers of Person Completing and Submitting This Form:**  
                    ROBERT CALZARETTA, MANAGER 847-875-8262



December 12, 2024

## Prairie Landing – Planned Unit Development

### Phasing for Prairie Landing:

DRH is excited to develop Prairie Landing in a streamlined, single-phase approach. Construction is set to begin in early spring 2025, with the first homes breaking ground by May. Sales are anticipated to launch in August 2025, with an expected absorption rate of 3-4 homes per month. Full buildout is projected to be completed within approximately three years.

### Financial Plan:

DRH will self-develop Prairie Landing or collaborate with a partner developer to prepare the site, after which all lots will be sold back to DRH for home construction. With internal financing capabilities, DRH requires no external funding to bring this project to life.

### Marketing Strategy:

For Prairie Landing, DRH leverages a proven, in-house approach rather than engaging an external market study firm. By analyzing regional and local sales data, we assess market velocity, optimal price points, and demand trends. Our experienced internal sales and marketing team will drive strategic efforts to connect with buyers, ensuring strong market presence and steady sales performance.