

STAFF REPORT

DATE: August 13, 2026
TO: Zoning Board of Appeals
FROM: Helen Miller, Planner
RE: Petition Number: 2026-34
Applicant: S & P RE LLC
Status of Applicant: Contract Purchaser
Location: Northeast Corner of Route 59 and Theodore Street
(Council District #3)
Request: A Special Use Permit to allow an automobile service station and an accessory car wash

Purpose

The applicant is requesting a Special Use Permit to allow an automobile service station and an accessory car wash on Lot 1 of Cobalt Commercial Subdivision at the northeast corner of Route 59 and Theodore Street. Per the City of Joliet Zoning Ordinance, automobile service stations and car wash establishments may be allowed as special uses in the B-3 (general business) district by the Mayor and City Council, with the advice of the Zoning Board of Appeals in accordance with Section 47-5.2.

The Zoning Ordinance states that car wash establishments may not be located within 100 feet of a residential zoning district. There are properties with R-2 (single-family residential) zoning south of the subject site across Theodore Street. The south property line of the subject site is around 112 feet away from the north property line of the residentially-zoned lots, so the proposal meets the spacing requirement.

Site Specific Information

The subject site is Lot 1 of Cobalt Commercial Subdivision, which was recorded in 2021. The subdivision was annexed in 2019 and classified to the B-3 (general business) district for the development of a commercial subdivision. The subdivision contains private interior roads, Cobalt Drive and Cobalt Circle, which provide access to the lots while limiting access to Theodore Street and Route 59. A CarMax car dealership is located on Lot 4 and is the only developed site within the subdivision.

The subject lot, which is undeveloped, is at the southwest corner of the subdivision and bordered by Theodore Street on the south, Route 59 on the west, Cobalt Circle on the north, and Lot 2 on the east. The subject lot is approximately 2.9 acres. There are existing landscape easements and public utility and drainage easements around the perimeter of

the lot. The annexation agreement for Cobalt Commercial Subdivision included provisions requiring compliance with the City's landscape regulations and non-residential design standards. The agreement also states that lots within the subdivision shall have similar lighting and signage styles.

Most public improvements were completed following the recording of the subdivision, though public sidewalk will need to be installed along the frontage of Lot 1 adjacent to Theodore Street. Lot 1 has an existing curb cut off Theodore Street, across from the commercial access driveway on the south side of Theodore Street. Stormwater for Cobalt Commercial Subdivision is existing and located on Lot 9.

Surrounding Zoning, Land Use and Character

The subject site is located within Cobalt Commercial Subdivision at the northeast corner of the intersection of Route 59 and Theodore Street. There are commercial developments with B-3 (general business) zoning at the other three corners of the intersection. Across Theodore Street south of the subdivision is the Pheasant Landing residential subdivision, which is zoned R-2 (single-family residential).

The zoning and land uses for properties adjacent to the subject site are:

- North: B-3 (general business), commercial (undeveloped lots within Cobalt Commercial Subdivision)
- South: B-3 (general business), commercial (service and retail uses); and R-2 (single-family residential), residential (Pheasant Landing Subdivision)
- East: B-3 (general business), commercial (undeveloped lots within Cobalt Commercial Subdivision)
- West: B-3 (general business), commercial (undeveloped)

Applicable Regulations

- Section 47-13.2A(N) Special Uses – B-3 (General Business) District
- Section 47-13.2A(F) Special Uses – B-3 (General Business) District
- Section 47-5.2 (C) Criteria for issuance of a Special Use Permit (refer to attachment)

Discussion

The petitioner, S & P RE LLC, is requesting a Special Use Permit to allow an automobile service station and an accessory car wash in the B-3 (general business) district at the northeast corner of Route 59 and Theodore Street. The subject site is within a recorded commercial subdivision and located along an established commercial corridor. The petitioner proposes to develop the site with a gas station, car wash, and drive-thru restaurant. The gas station and the car wash require approval of a special use permit; the

restaurant is a permitted use in the B-3 (general business) district. A future subdivision will be needed to create a separate lot for the restaurant building because the Zoning Ordinance only allows one main building per lot. The car wash is considered an accessory use to the gas station so both uses would be located on the same lot.

The gas station will consist of an approximately 4,150-square-foot building with a convenience store, a canopy with eight fuel pumps, and 16 parking stalls. The proposed car wash consists of a 3,200-square-foot tunnel wash building and a vacuum station with ten stalls. The gas station and car wash will be under the same ownership. The gas station will have approximately six total employees and the car wash will have two total employees. Proposed hours of operation for the car wash are 7 AM to 9 PM, while the gas station will be open 24 hours.

The buildings will be required to meet the City's Non-Residential Design Standards. The proposed elevations show that the main exterior materials for the gas station, car wash, and restaurant will be brick and stone. The gas station canopy poles would also be wrapped in brick and stone. Elevations and renderings are included in the staff report packet. The development will also need to comply with the City's landscaping regulations, which will include installation of plant materials in the existing perimeter landscape easements. The site has landscape easements on the north, west, and south sides of 10, 25, and 20 feet respectively. Per the annexation agreement, the landscape area along Theodore Street will need to include a berm. The east side of the site will need a 5-foot landscape area.

The site will have one access off Theodore Street and two accesses off Cobalt Circle, which is a private street. These access driveways and the interior drive aisles will serve all proposed uses on the site. The future subdivision of the site into two lots will need to include appropriate easements for cross access throughout the site.

The car wash and the drive-thru restaurant will require approval of a drive-thru permit through City Council. The petitioner has been coordinating with the Public Works Department to finalize the site plan layout. The most recent version of the site plan is included in the staff report packet. Once the future users of the car wash and restaurant are confirmed, the Public Works Department can complete their review and then the drive thru permit can move forward for Council review.

Recommended Action

Staff finds that the special use request meets the attached criteria for special uses. The operation of the proposed use will not be detrimental to public health nor be injurious to the use of other property in the immediate vicinity. Additionally, the proposed use will not impede development of surrounding property. The site is within a recorded commercial subdivision along the Route 59 commercial corridor. The other three corners of the

intersection contain commercial uses. The site is served by the existing drainage and utility infrastructure within Cobalt Commercial Subdivision.

The proposed ingress and egress to the site has been designed to minimize traffic issues. The subdivision was planned with interior private roads to minimize access driveways off Route 59. No additional accesses to Route 59 are proposed. Additionally, the stacking and circulation requirements for the car wash will be evaluated through the required drive-thru permit. The proposed use will conform to other applicable land use regulations for the B-3 (general business) district, including landscaping requirements, building setbacks, design standards, and photometrics.

Conditions

If the Zoning Board desires to approve the Special Use Permit to allow an automotive service station and an accessory car wash at the northeast corner of Route 59 and Theodore Street, staff recommends that the following conditions would be included:

1. That building elevations that meet the City's Non-Residential Design Standards shall be submitted as part of the building permit plan set;
2. That the automobile service station canopy poles shall be wrapped in masonry materials that match the masonry materials used for the main structure;
3. That a landscape plan that meets City Ordinance shall be submitted as part of the building permit plan set and landscaping per the approved plan shall be installed prior to the issuance of a Certificate of Occupancy;
4. That the Special Use granted herein, per Section 47-5.2(E) Special Uses, shall terminate and lapse unless a building permit or certificate of occupancy is obtained not later than 180 days of the effective date of this ordinance and the erection or alteration of a building is started or the use is commenced within such period; and
5. Should the property be declared a public nuisance, it may be subject to a rehearing and a possible revocation of the Special Use Permit.

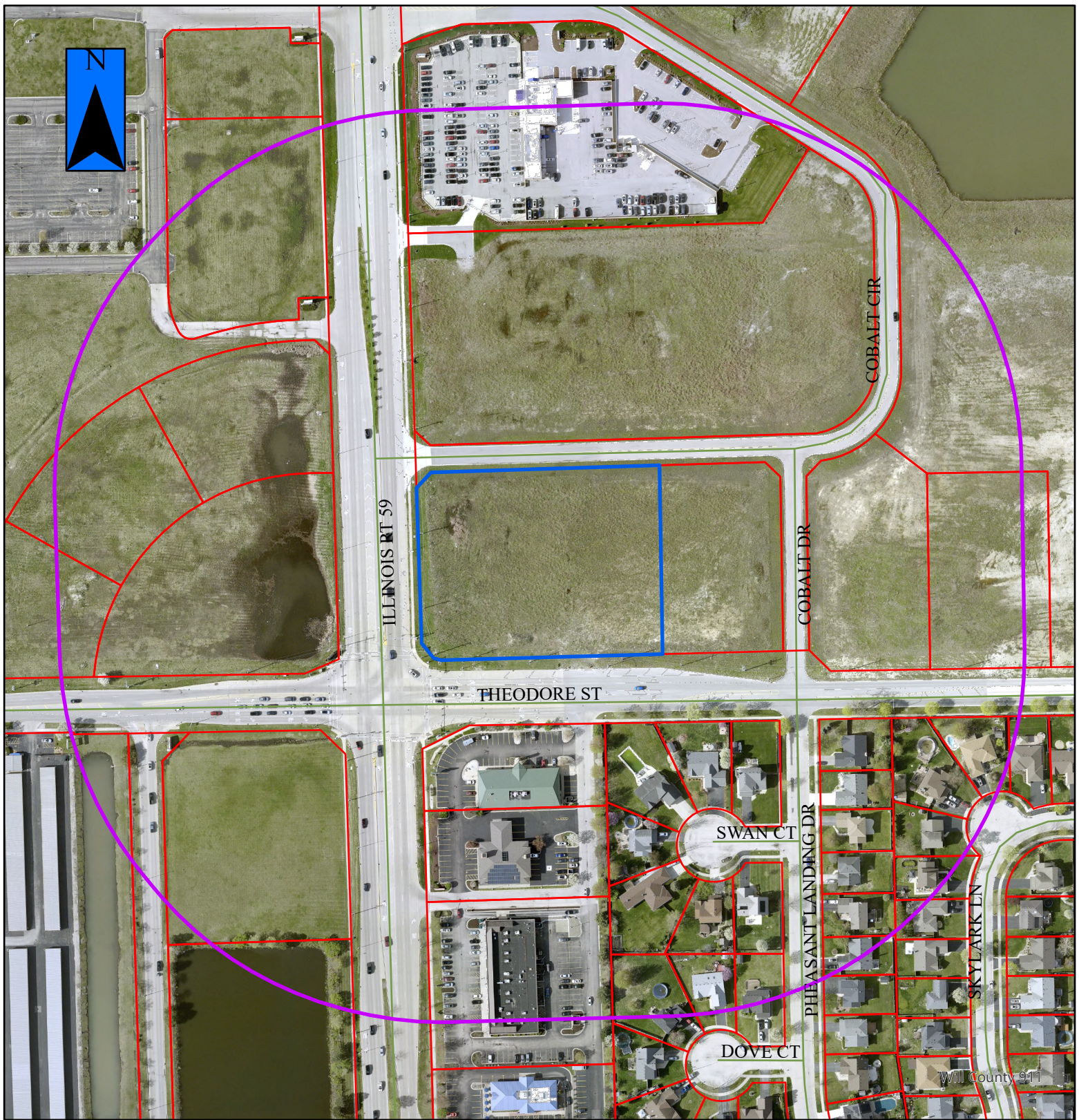
A wide-angle photograph of a four-way intersection under a cloudy sky. The intersection has traffic lights and a green street sign for 'Hawthorne St'. A grassy median with utility poles is in the center. A black sign with yellow text is visible in the median.

Figure 3: Intersection of Cobalt Circle with Route 59, view southeast from Route 59 (June 2026)



Figure 4: View west down Theodore Street near the east side of the subject site (right) (2026)

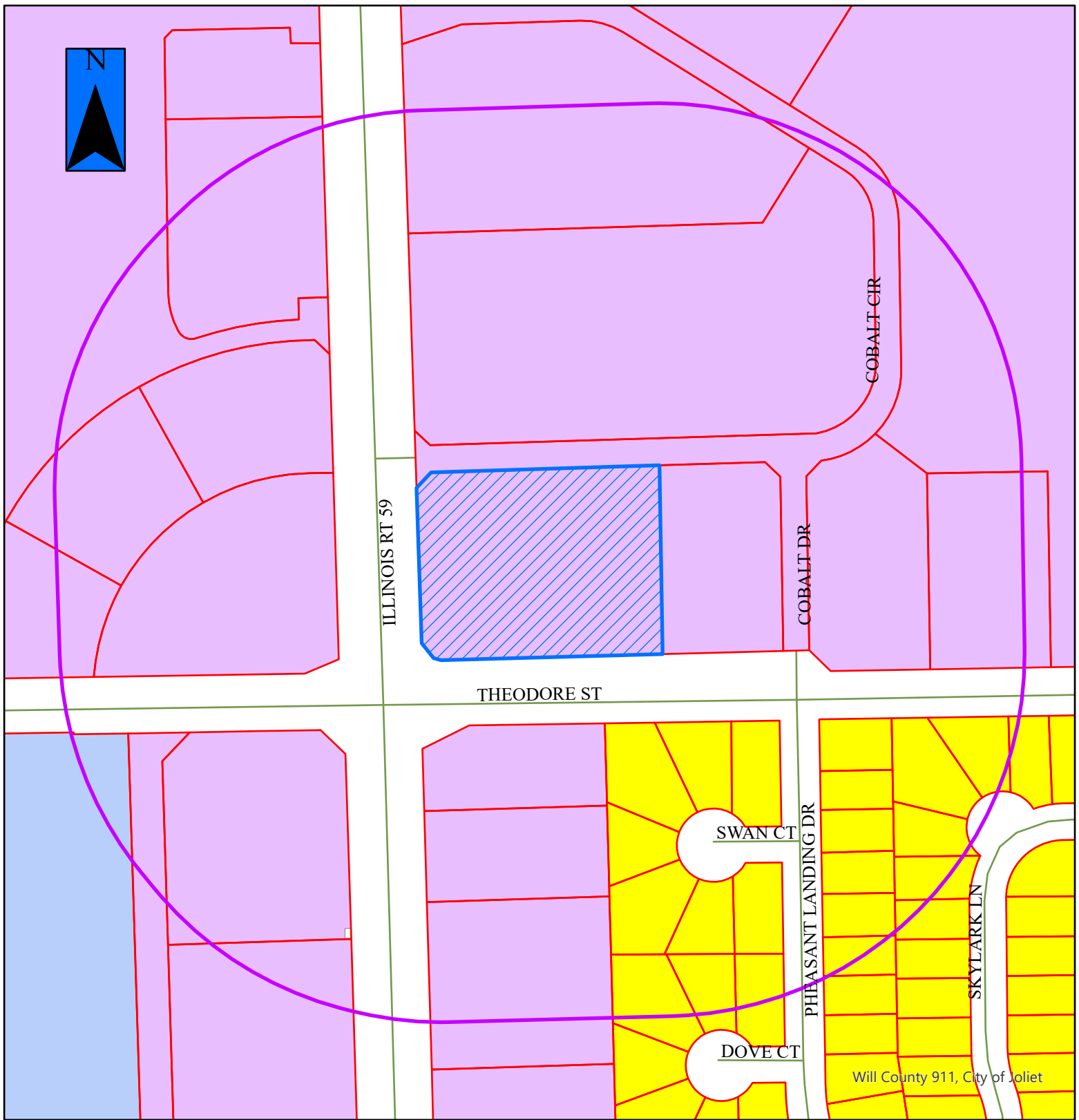




2026-34a



- = Property in Question / Propiedad en cuestión
- = 600' Public Notification Boundary /
Límite de notificación pública de 600 ft (180 m)



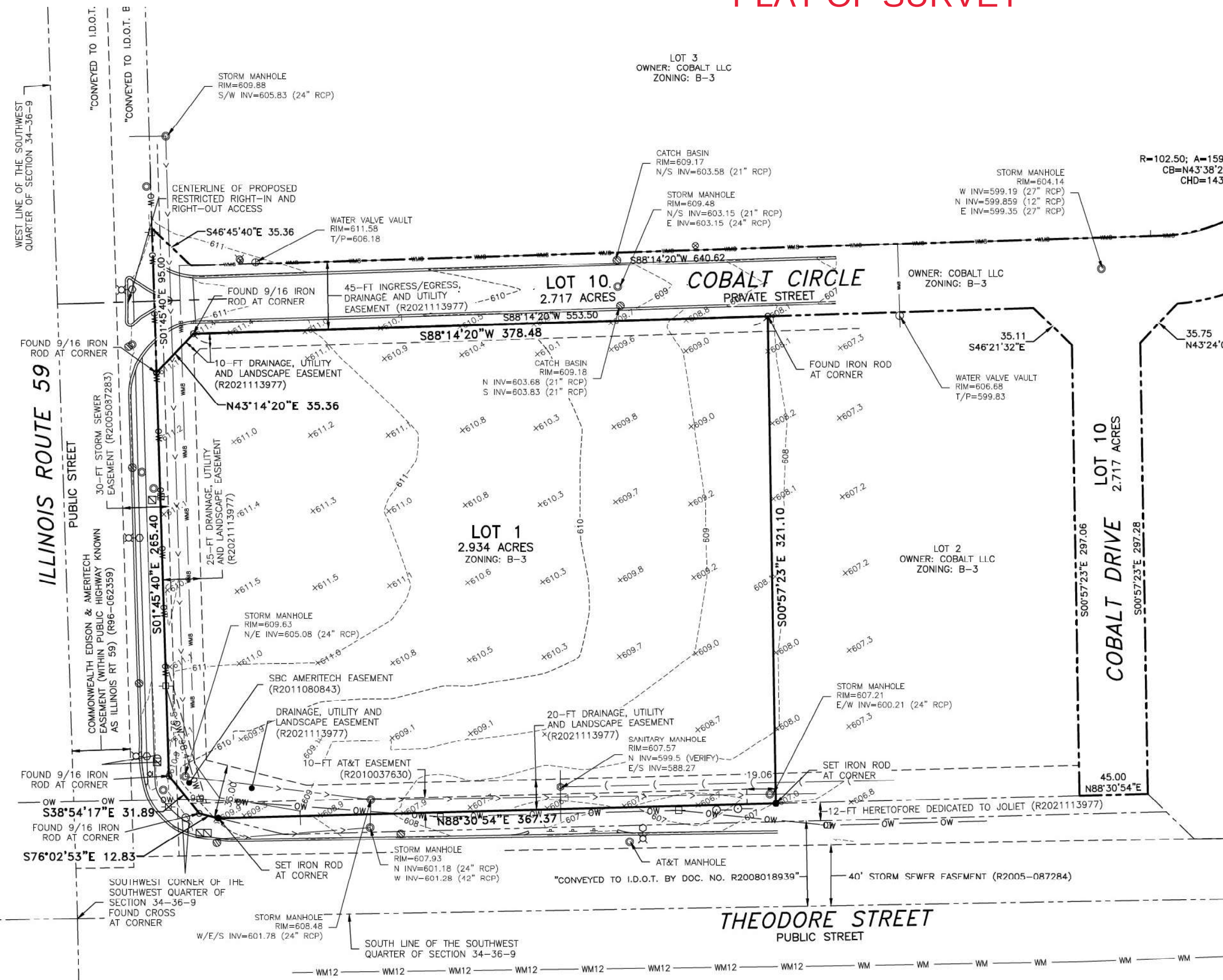
2026-34



 = Property in Question
 = 600' Public Notification Boundary

Legend					
	B-1		I-TA		R-2
	B-2		I-TB		R-2A
	B-3		I-TC		R-3
	I-1		R-1		R-4
	I-2		R-1A		R-5
	I-T		R-1B		R-B

PLAT OF SURVEY



-  UTILITY HAND HOLE
-  UTILITY DOUBLE HAND HOLE
-  UTILITY HEAVY DUTY HAND HOLE
-  UTILITY JUNCTION BOX
-  UTILITY SPLICE BOX - GENERAL
-  UTILITY SPLICE BOX - TELEPHONE
-  STORM SEWER CATCH BASIN
-  STORM SEWER FLARED END SECTION (FES)
-  STORM SEWER MANHOLE
-  STORM SEWER INLET
-  SANITARY SEWER MANHOLE
-  WATER - POST INDICATOR VALVE (PIV)
-  WATER - FIRE HYDRANT
-  WATER - VALVE BUFFALO BOX
-  WATER - VALVE BOX
-  WATER - VALVE VAULT
-  GAS VALVE BOX
-  LIGHT POLE W/ARM

LINE LEGEND

- | | |
|---|--|
|  | PRIMARY SURVEYED PARCEL |
|  | ADDITIONALLY INSURED PARCEL (LOT) |
|  | ADDITIONALLY INSURED PARCEL (EASEMENT) |
|  | SECTION LINE |
|  | OFF-SITE PARCEL LINE |
|  | EASEMENT LINE |
|  | ZONING ORDINANCE LIMITS |
|  | OVERHEAD UTILITY LINE(S) |
|  | UNDERGROUND ELECTRIC LINE |
|  | UNDERGROUND TELECOM LINE |
|  | UNDERGROUND FIBER OPTIC LINE |
|  | WATERMAIN |
|  | UNDERGROUND PIPELINE |
|  | UNDERGROUND GAS LINE |
|  | SANITARY SEWER |
|  | STORM SEWER |
|  | FENCE LINE |
|  | GUARDRAIL |

STATE OF ILLINOIS))
COUNTY OF WILL) SS

TO: FIDELITY NATIONAL TITLE INSURANCE COMPANY
COBALT LLC
S&P FIRST, LLC

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6, 7(d), 8, 9, 11, 13, 14, 17 AND 21 OF TABLE "A" THEREOF. THE FIELD WORK WAS COMPLETED ON SEPTEMBER 3, 2025.

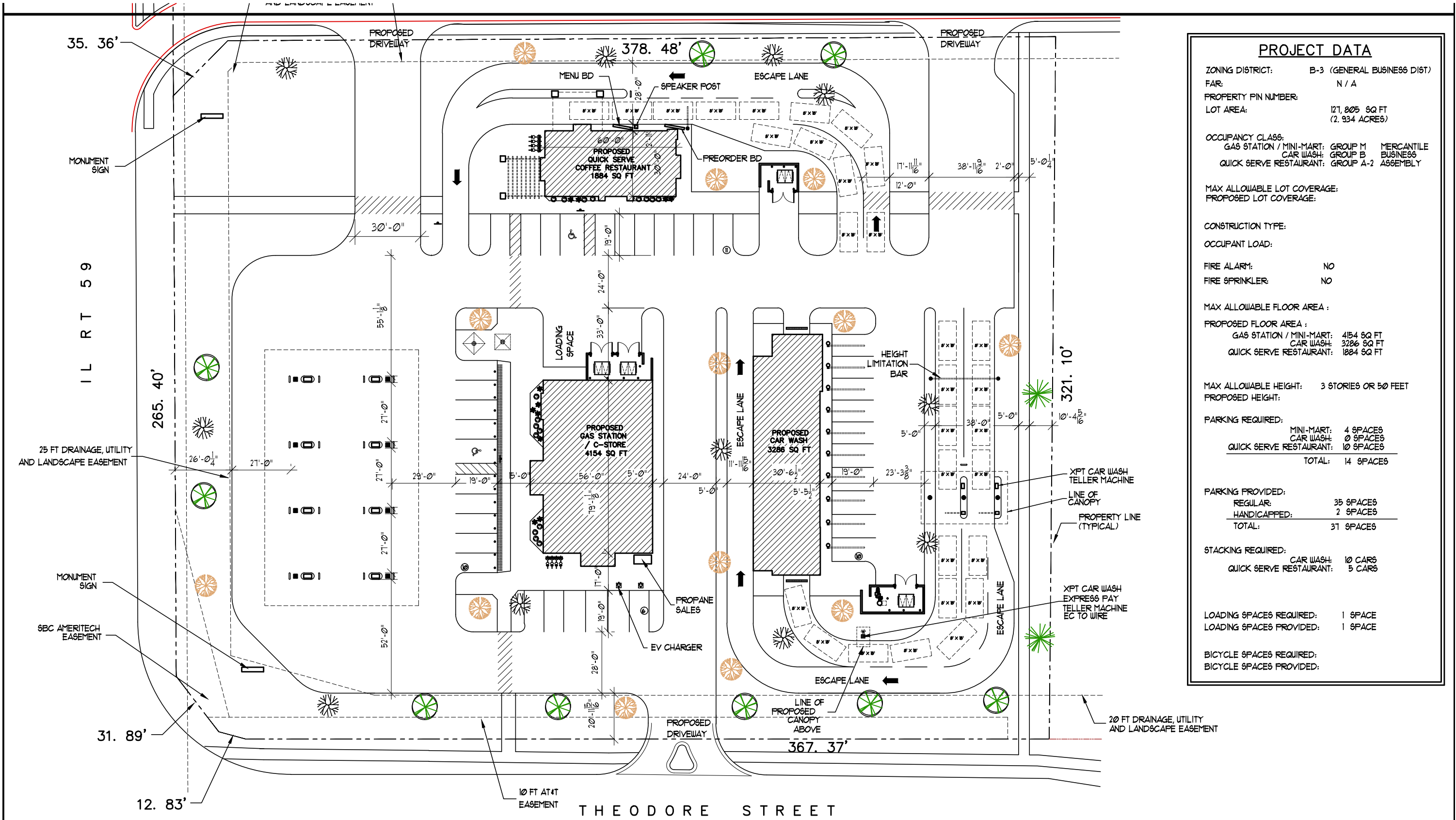
September 15, 2025

DATE _____

ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 3369
EXPIRATION DATE: 11/30/2026
cpapesh@geotechincorp.com



PROPOSED SITE PLAN



PROJECT DATA	
ZONING DISTRICT:	B-3 (GENERAL BUSINESS DIST)
FAR:	N / A
PROPERTY PIN NUMBER:	
LOT AREA:	121,805 SQ FT (2.934 ACRES)
OCCUPANCY CLASS:	
GAS STATION / MINI-MART:	GROUP M
CAR WASH:	GROUP B
QUICK SERVE RESTAURANT:	GROUP A-2
	MERCANTILE BUSINESS ASSEMBLY
MAX ALLOWABLE LOT COVERAGE:	
PROPOSED LOT COVERAGE:	
CONSTRUCTION TYPE:	
OCCUPANT LOAD:	
FIRE ALARM:	NO
FIRE SPRINKLER:	NO
MAX ALLOWABLE FLOOR AREA :	
PROPOSED FLOOR AREA :	
GAS STATION / MINI-MART:	4154 SQ FT
CAR WASH:	3286 SQ FT
QUICK SERVE RESTAURANT:	1884 SQ FT
MAX ALLOWABLE HEIGHT:	3 STORIES OR 50 FEET
PROPOSED HEIGHT:	
PARKING REQUIRED:	
MINI-MART:	4 SPACES
CAR WASH:	0 SPACES
QUICK SERVE RESTAURANT:	10 SPACES
TOTAL:	14 SPACES
PARKING PROVIDED:	
REGULAR:	35 SPACES
HANDICAPPED:	2 SPACES
TOTAL:	37 SPACES
STACKING REQUIRED:	
CAR WASH:	10 CARS
QUICK SERVE RESTAURANT:	5 CARS
LOADING SPACES REQUIRED:	1 SPACE
LOADING SPACES PROVIDED:	1 SPACE
BICYCLE SPACES REQUIRED:	
BICYCLE SPACES PROVIDED:	

SITE PLAN "J"
SCALE: 1" = 40'-0"





PROYEKT STUDIO, LLC
ARCHITECTURE, ENGINEERING



2810 RFD
Long Grove, IL. 60047
773-796-5992, GZIOMEK@SBCGLOBAL.NET

PROPOSED
COMMERCIAL DEVELOPMENT

NE CORNER OF RT 59 & THEODORE
JOLIET IL. 60586

REVISIONS			DATE
NO.	DATE	DESCRIPTION	

8/6/26

JOB #
2512Z

SHEET
A-1

OF 9 SHEETS



 PROYEKT STUDIO, LLC
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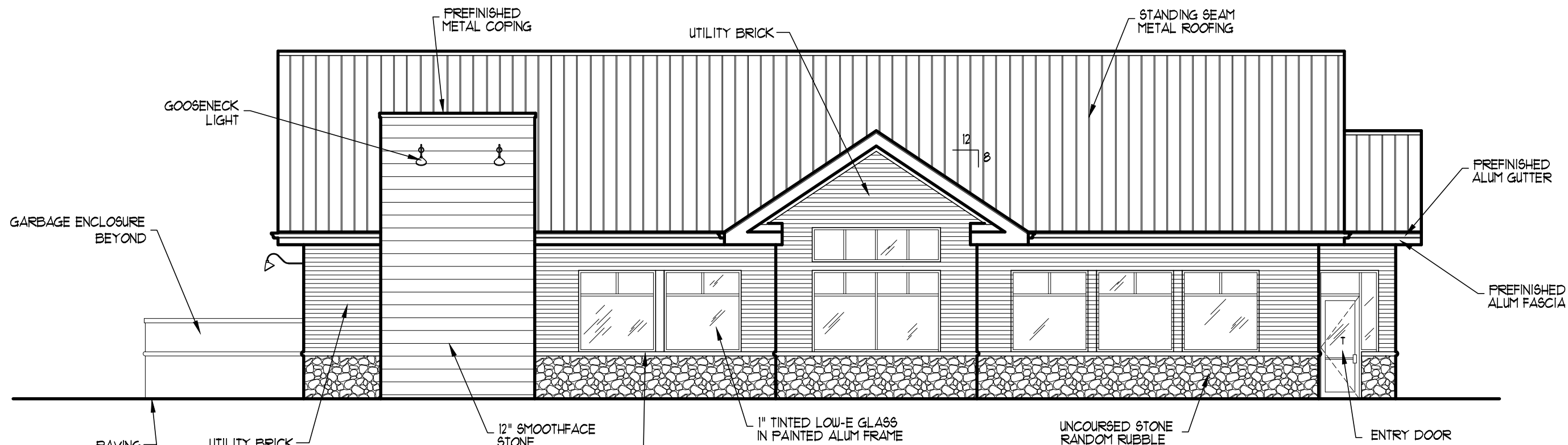


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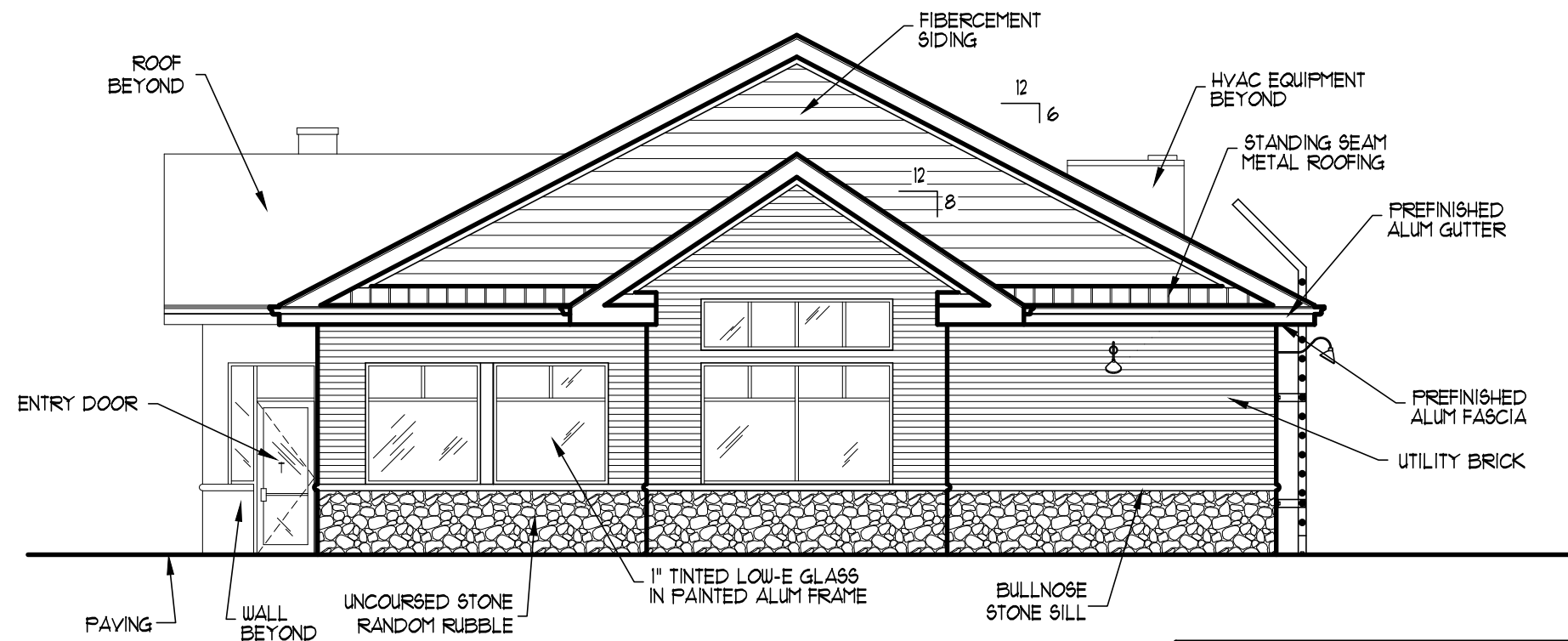
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773-796-5992



GAS STATION WEST ELEVATION

SCALE: 1/8" = 1'-0"



GAS STATION SOUTH ELEVATION

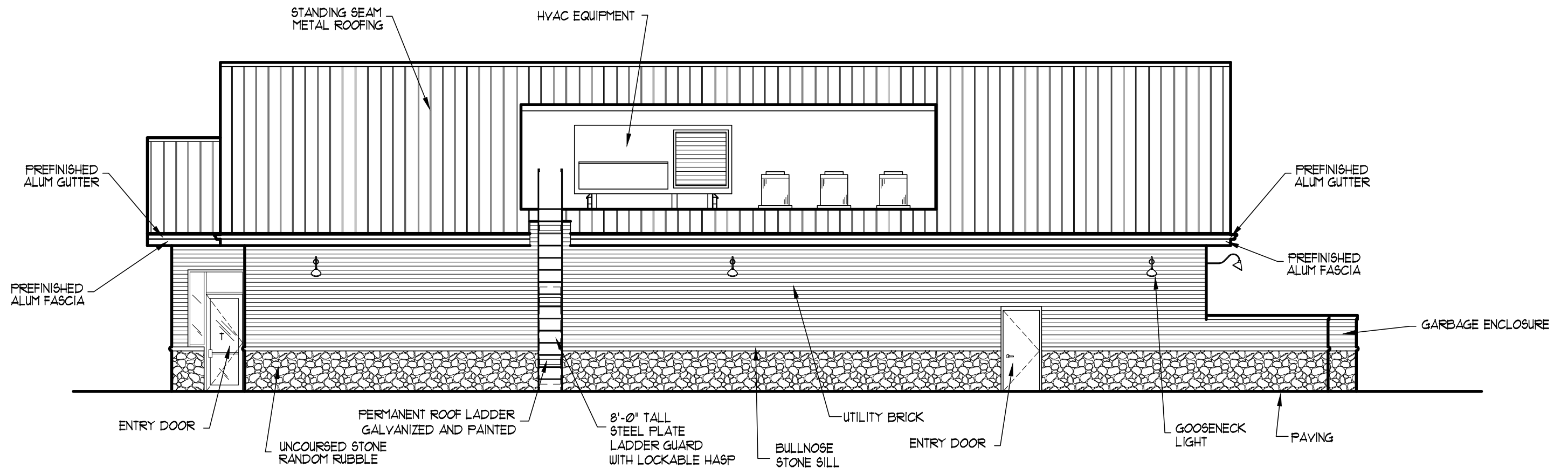
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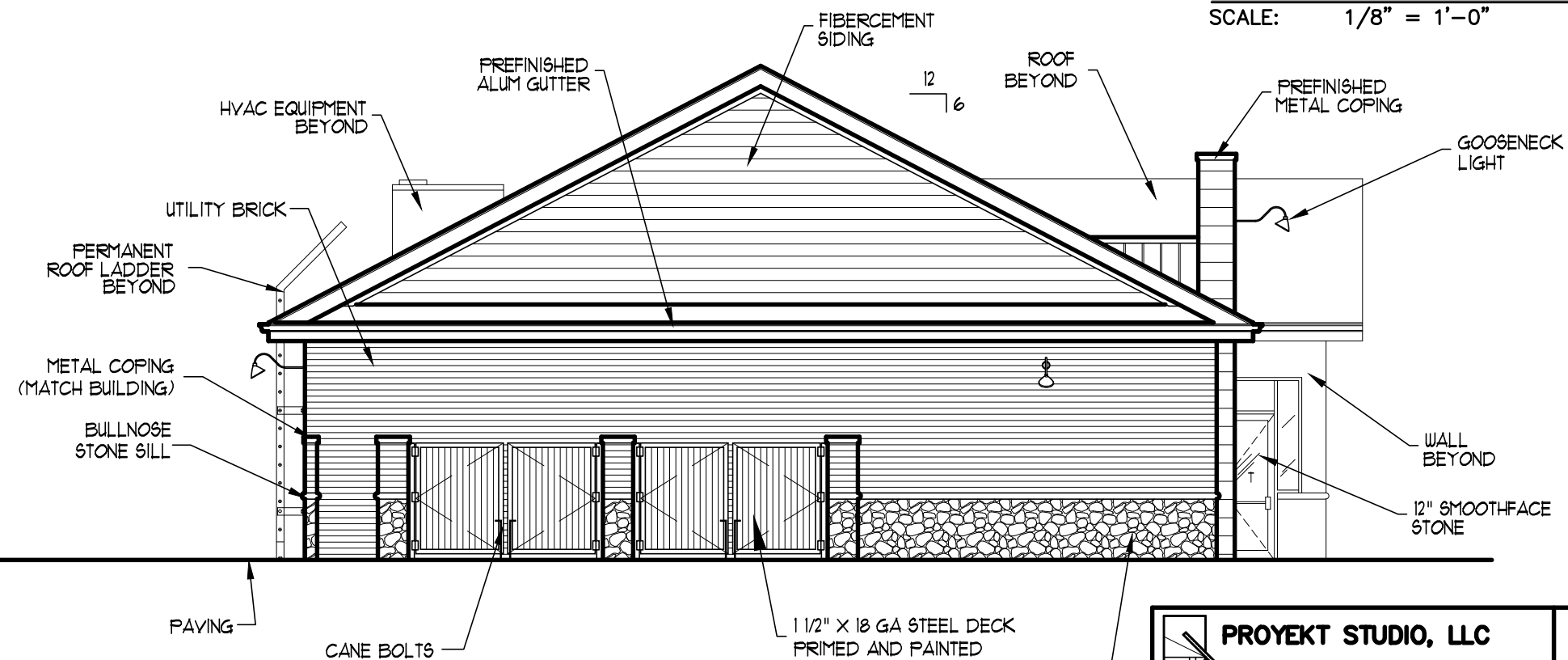
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DATE **8/6/26**
 JOB # **2512Z**
 SHEET **A-5**
 OF **9** SHEETS



GAS STATION EAST ELEVATION

SCALE: 1/8" = 1'-0"



GAS STATION NORTH ELEVATION

SCALE: 1/8" = 1'-0"



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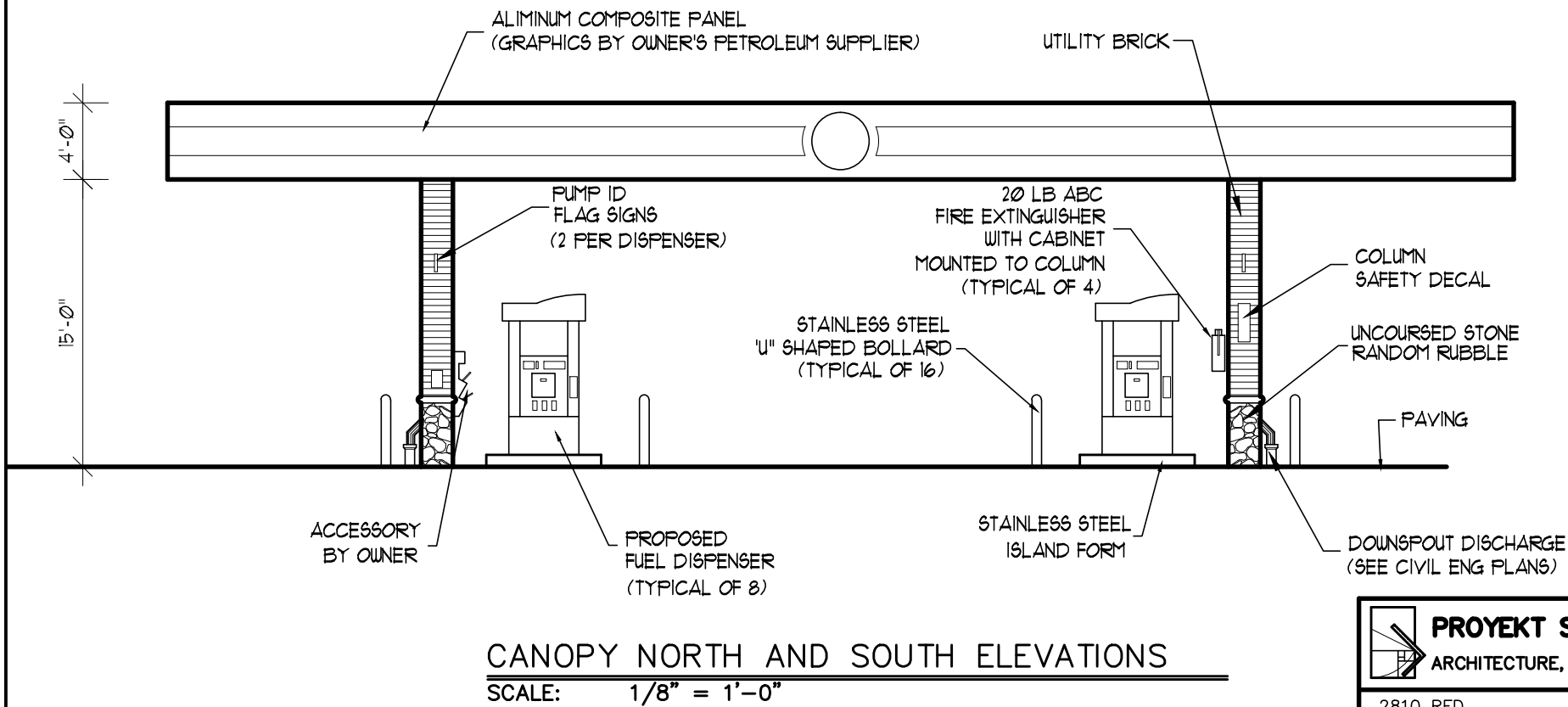
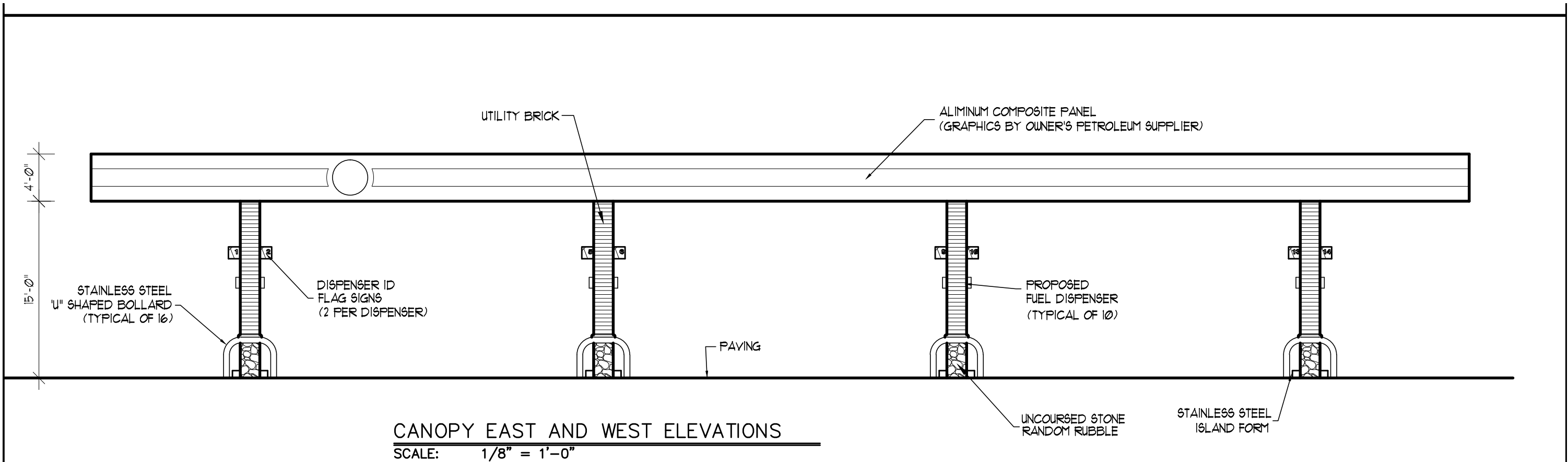
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JOB # **2512Z**

SHEET **A-6**

OF 9 SHEETS



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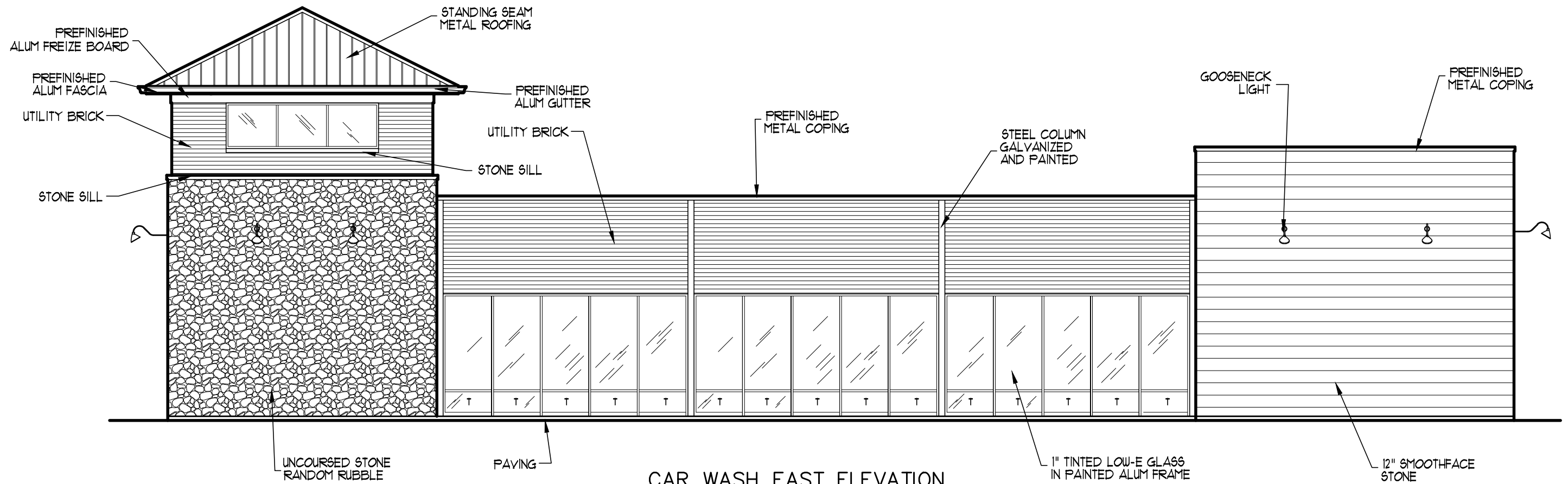
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JOB #: **2512Z**

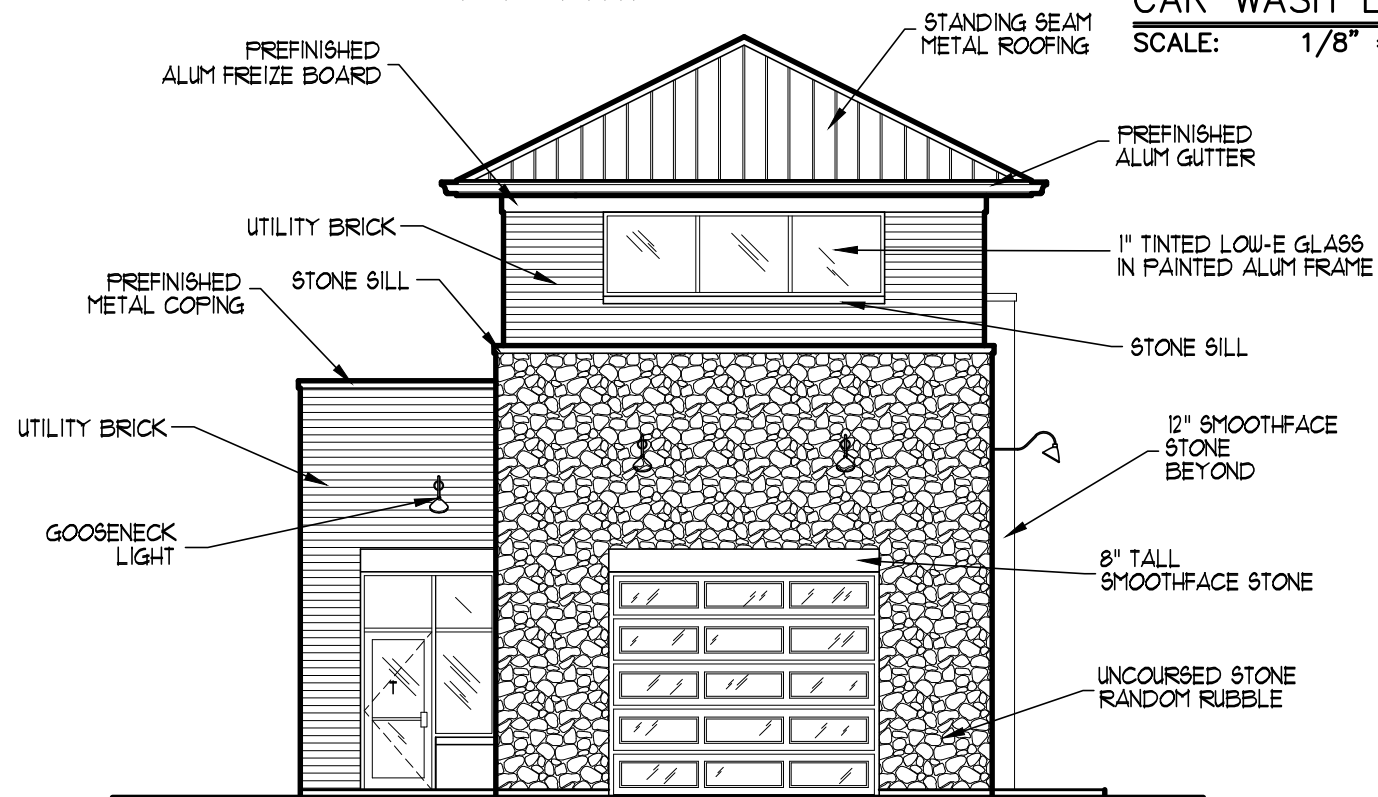
SHEET: **A-9**

OF 9 SHEETS



CAR WASH EAST ELEVATION

SCALE: 1/8" = 1'-0"



CAR WASH SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



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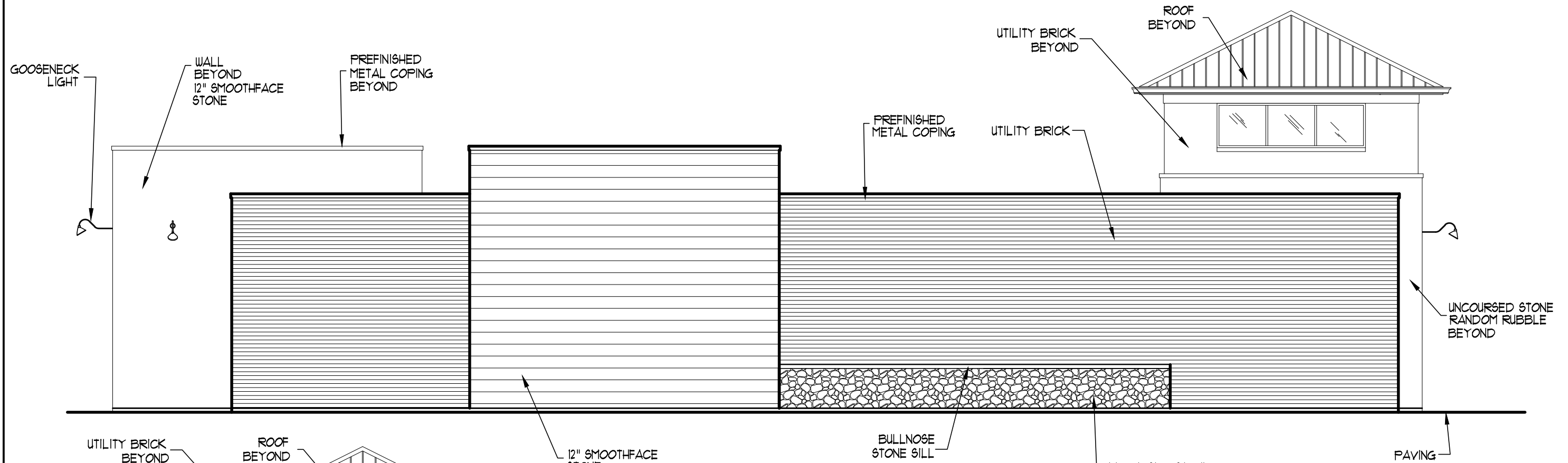
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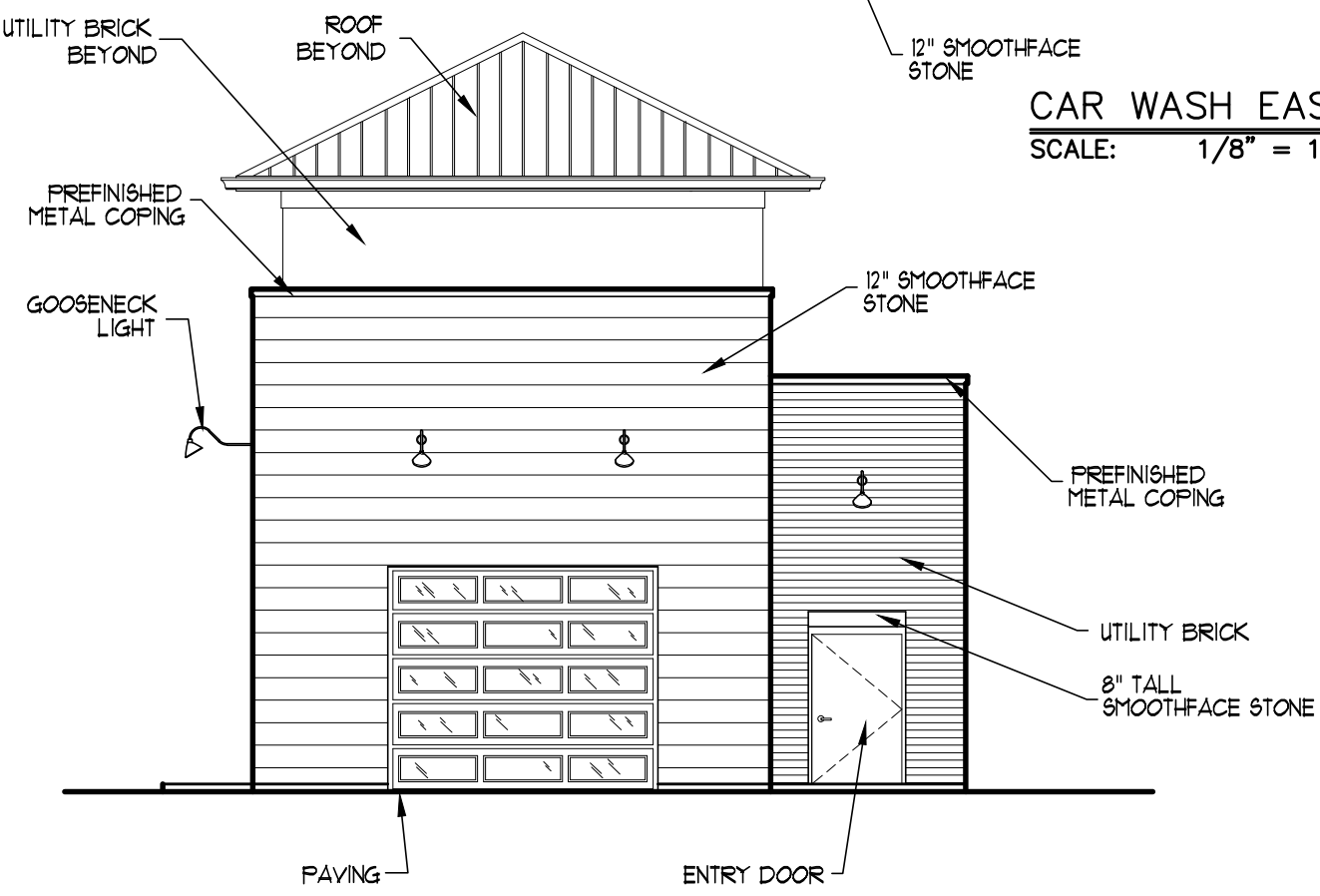
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OF **9** SHEETS

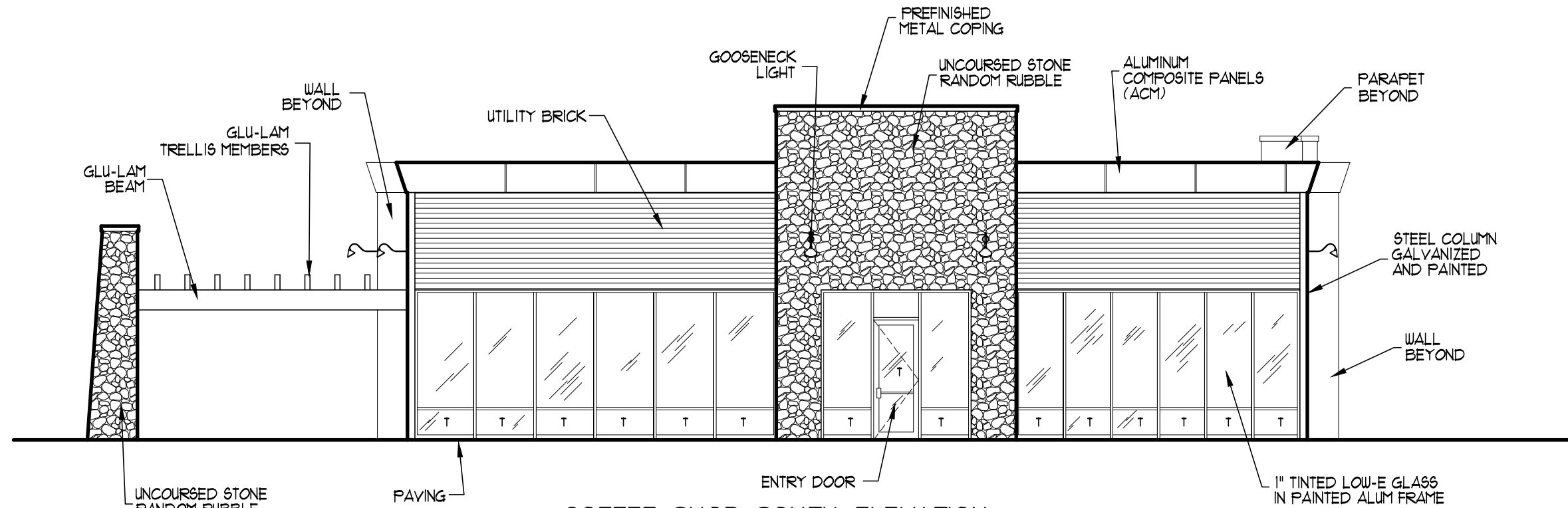


CAR WASH EAST ELEVATION
 SCALE: 1/8" = 1'-0"



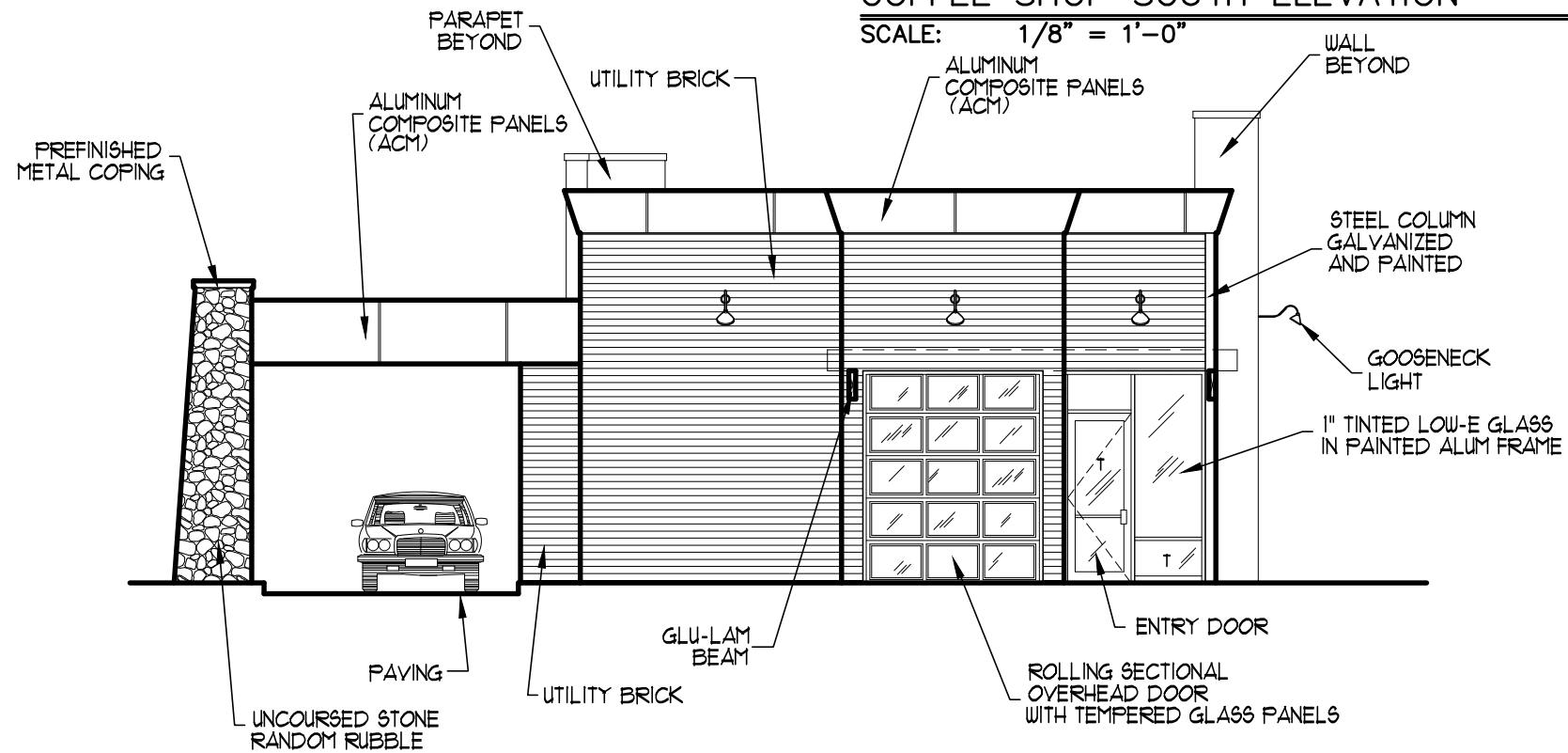
CAR WASH NORTH ELEVATION
 SCALE: 1/8" = 1'-0"

 PROYEKT STUDIO, LLC ARCHITECTURE, ENGINEERING			PROPOSED COMMERCIAL DEVELOPMENT NE CORNER OF RT 59 & THEODORE JOLIET IL. 60586			REVISIONS NO. DATE DESCRIPTION		DATE 8/6/26
2810 RFD Long Grove, IL. 60047 773-796-5992, GZIOMEK@SBCGLOBAL.NET								JOB # 2512Z
								SHEET A-8
								OF 8 SHEETS



COFFEE SHOP SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



COFFEE SHOP WEST ELEVATION

SCALE: 1/8" = 1'-0"



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ARCHITECTURE, ENGINEERING

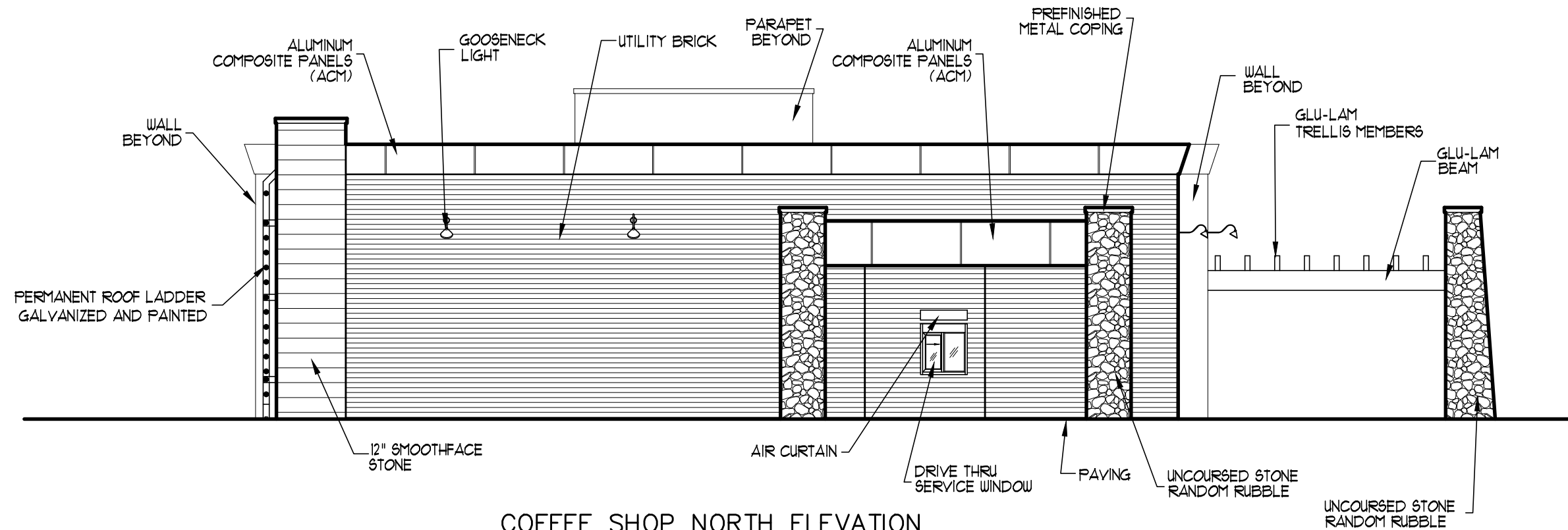
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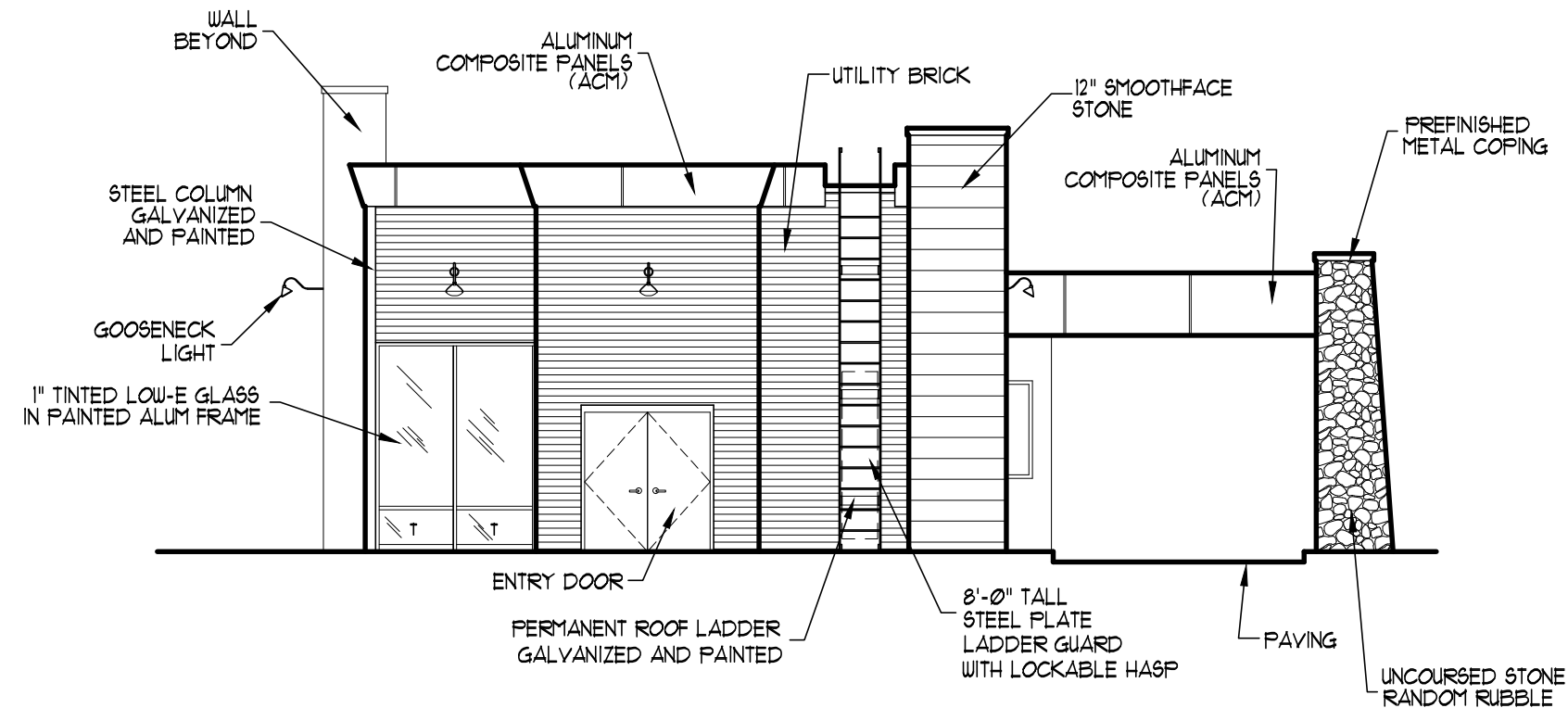
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DATE	8/6/26
JOB #	2512Z
SHEET	A-3
OF	3 SHEETS



COFFEE SHOP NORTH ELEVATION

SCALE: 1/8" = 1'-0"



COFFEE SHOP EAST ELEVATION

SCALE: 1/8" = 1'-0"



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SHEET	Δ - 4
OF	9 SHEETS

ZONING BOARD OF APPEALS

CRITERIA FOR SPECIAL USES

Section 47-5.2 (C) of the Zoning Ordinance states:

A special use permit shall not be granted unless the applicant establishes by clear and convincing evidence:

	Does the evidence presented sustain this criteria?	Comments
(1) That the establishment, maintenance or operation of the special use will not be detrimental to or endanger the public health, safety, morals, comfort, or general welfare; and		
(2) That the special use will not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood; and		
(3) That the establishment of the special use will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the district; and		
(4) That adequate utilities, access roads, drainage, and/or other necessary facilities have been or will be provided; and		
(5) That adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets; and		
(6) That the special use shall in all other respects conform to the applicable land use regulations of the district in which it is located and shall not be in violation of any other applicable law, ordinance or regulation; and		
(7) At least one (1) year has elapsed since any denial of any prior application for a special use permit that would have authorized substantially the same as all or part of the sites, unless conditions in the area have substantially changed.		