

STAFF REPORT

DATE: August 13, 2026
TO: Zoning Board of Appeals
FROM: Helen Miller, Planner
RE: Petition Number: 2026-35 and 2026-36
Applicant: Abraham Garcia
Status of Applicant: Property owner
Location: 540 Bluff Street (Council District #4)
Request: 2026-35: Variation of Use to allow conversion of a single-unit residence into a two-unit residence, an R-3 (one- and two-family residential) use, in the R-2 (single-family residential) zoning district
2026-36: Variation to reduce the front yard setback to allow a second story addition

Purpose

The applicant is requesting a Variation of Use to allow the conversion of a single-unit residence into a two-unit residence, an R-3 (one- and two-family residential) use, within the R-2 (single-family residential) zoning district at 540 Bluff Street. The Variation of Use request must be considered by the City Council following the recommendation of the Zoning Board of Appeals.

The applicant is also requesting a Variation to reduce the required front yard setback from 30 feet to 12.9 feet to allow a second story addition on the existing structure. The Zoning Board of Appeals makes the final decision on this Variation request.

Site Specific Information

The subject site is an 80-foot by 100-foot double lot (8,000 square feet) that contains a one-story single-unit residence built around 1906. There is an existing asphalt driveway along the south side of the house. The property is zoned R-2 (single-family residential).

The property was reclassified from the R-4 (multi-family residential) zoning district to the R-2 (single-family residential) zoning district in 1995 as part of a neighborhood-wide rezoning process. At that time, the property was identified as a single-family use. Based on historic Joliet Street Directory information, the property appears to have been a single-family residence since its construction.

The house has an existing nonconforming front yard setback: the setback to the porch is around 8.3 feet and the setback to the front wall of the house is around 12.9 feet. The

required front yard setback in the R-2 district is 30 feet. Section 47-17.22(3) *Non-conforming Structures* of the Zoning Ordinance allows pre-existing nonconformities to remain as long as the structures are not enlarged or altered in a way that increases their nonconformity. The addition of a full second story, with the same 12.9-foot front yard setback as the existing structure, increases the nonconformity and requires approval of a Variation.

The petitioner previously submitted the same Variation and Variation of Use requests for 540 Bluff Street, which were heard at the April 16, 2026 Zoning Board of Appeals meeting. The Zoning Board of Appeals denied the Variation request and recommended denial of the Variation of Use request. The Variation of Use request did not move forward for Council review because the proposed floor plans and elevations were not valid without the approval of the setback Variation for the second story.

Surrounding Zoning, Land Use and Character

The property is located in the Bicentennial Bluffs neighborhood on the east side of Bluff Street, south of Lime Street. The area contains a mix of single-unit, two-unit, and multi-unit residential uses. The zoning and land use for the adjacent properties are as follows:

- North: R-2 (single-family residential), residence
- South: R-2 (single-family residential), residence and auto repair business
- East: Des Plaines River
- West: R-2 (single-family residential), residences

Applicable Regulations

- Section 47-7 R-3 (One- and Two-Family Residential) District
- Section 47-6 R-2 (Single-Family Residential) District
- Section 47-19.8 Findings of Facts Supporting a Variation (refer to attachment)
- Section 47-17.28 Variation of Use

Section 47-17.28: Variation of Use: A "variation of use" shall be defined to mean relief from strict compliance with the use limitations of this Ordinance regarding the classification, regulation, and restriction of the location where trades, industries, businesses, and residences may exist.

Discussion

The petitioner, Abraham Garcia, is requesting a Variation of Use to allow a two-unit residence in the R-2 (single-family residential) zoning district and a Variation to reduce the front yard setback to allow a full second story on an existing structure. The house was previously a single-unit one-story structure with around 1000 square feet of first floor living area. The petitioner purchased the property in December 2025 and began construction without permits to convert the structure into a two-story, two-unit residence. When City

staff alerted the owner to apply for building permits, staff also informed the owner that a two-unit was a prohibited use in the R-2 zoning district and that approvals of a Variation of Use and Variation would also be needed. The owner ceased work on the structure and applied for these petitions in March of 2026.

The initial Variation and Variation of Use petitions were heard at the April 16, 2026 Zoning Board of Appeals meeting. After the Variation was denied at that meeting, the petitioner worked with their architect to revise the proposed elevations for a second submittal. The revised elevations include two dormers on the north side of the gable roof and an updated porch railing. There are no other changes to the elevations or floor plans since the first petition. The proposed two-story structure would have a gable roof with a 4:12 pitch. The existing front porch and enclosed side porch would remain. The proposed floor plans show that each floor would contain one dwelling unit with three bedrooms and approximately 1,012 square feet of living area. The units would have separate entrances and no interior connections. The structure prior to the recent construction is shown in Figure 1; the current structure is shown in Figures 2 and 3. The proposed elevations and floor plans are included in the staff report packet.

The required number of off-street parking spaces for a two-unit residence is three spaces. The site plan shows that these will be provided on the existing paved driveway along the south side of the house. As a condition of approval, the parkway along the frontage of the north side of the lot would need to be returned to grass and not used for parking. The property meets the required lot area per family of 3,500 square feet, which is the area required per unit for two-unit dwellings in the R-3 (one- and two-family residential) district.

The construction of a full second story requires approval of a Variation because the front wall of the second story has the same nonconforming front yard setback of 12.9 feet as the existing structure. The Variation for the second story addition is required even if the structure remains as a single-unit residence. The petitioner will be required to pull all necessary building permits and receive approval of their building plans prior to re-starting construction work on the site.

The petitioner states that they plan to live in one of the units and rent out the other unit. If the Variation of Use is approved, the property will need to be enrolled in and comply with the City's Rental Inspection Program.

Recommended Action

Staff does not find that the Variation of Use request meets the criteria for hardship or practical difficulties. However, staff does find that the proposed two-unit use would not be out of character with other uses in the area. The neighborhood has a mix of single- and multi-unit properties. The property in question can accommodate the required number of off-street parking spaces for two units.

Staff finds that the setback Variation request meets the following criteria: there is a physical hardship due to the house's existing location on the lot. The house was built prior to the adoption of the Zoning Ordinance bulk requirements and has an existing nonconforming front yard setback. The petitioner would not be able to add a second story in an architecturally sensitive manner and meet the current front yard setback requirement of 30 feet. Staff does not find the addition of a full second story to be out of character with the area, as there are other two-story structures in the neighborhood. However, staff believes the proposed roof pitch and style as well as the massing of the addition to be out of character with other houses along the street and surrounding streets. Staff recommends that the roof pitch be increased to at least a 7:12 pitch and that the dormers be eliminated for the proposed structure to be more contextually appropriate.

Staff recommends considering the Variation and Variation of Use requests separately and voting on these requests as separate items. Approval of the Variation would allow a full second story on what was previously a one-story structure. Approval of the Variation of Use would allow one additional dwelling unit within the neighborhood.

Conditions

2026-35: If the Zoning Board desires to approve the Variation of Use to allow conversion of a single-unit residence into a two-unit residence at 540 Bluff Street, staff recommends that the following conditions would be included:

1. That the property shall be enrolled in and comply with the City's Rental Inspection Program;
2. That a building permit shall be applied for and approved prior to any construction commencing;
3. That the area between the street edge and the front property line shall be seeded or sodded with turf grass prior to issuance of a Certificate of Occupancy;
4. That the use of the property shall not be expanded in the future; and
5. Should the property be declared a public nuisance, the property may be subject to a rehearing and a possible revocation of the Variation of Use.

2026-36: If the Zoning Board desires to approve the Variation to reduce the front yard setback to allow a second story addition at 540 Bluff Street, staff recommends that the following conditions would be included:

1. That a building permit shall be applied for and approved prior to any construction commencing; and
2. That the area between the street edge and the front property line shall be seeded or sodded with turf grass prior to issuance of a Certificate of Occupancy.

Figure 1: One-story structure at 540 Bluff Street (April 2025)



Figure 2: Current structure at 540 Bluff Street (August 2026)

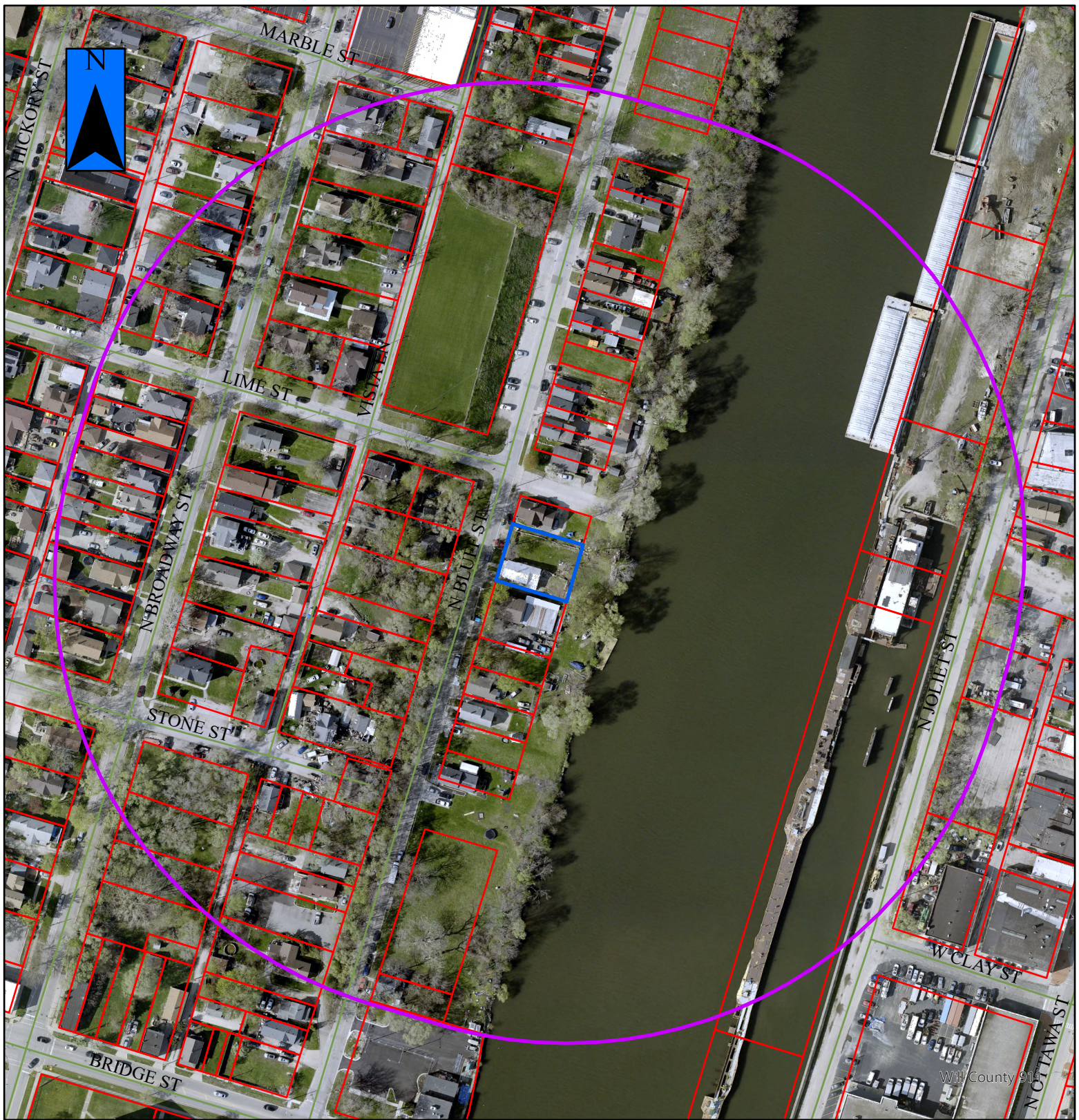


Figure 3: Current structure at 540 Bluff Street (April 2026)



Figure 4: Aerial view of the subject site (2025)

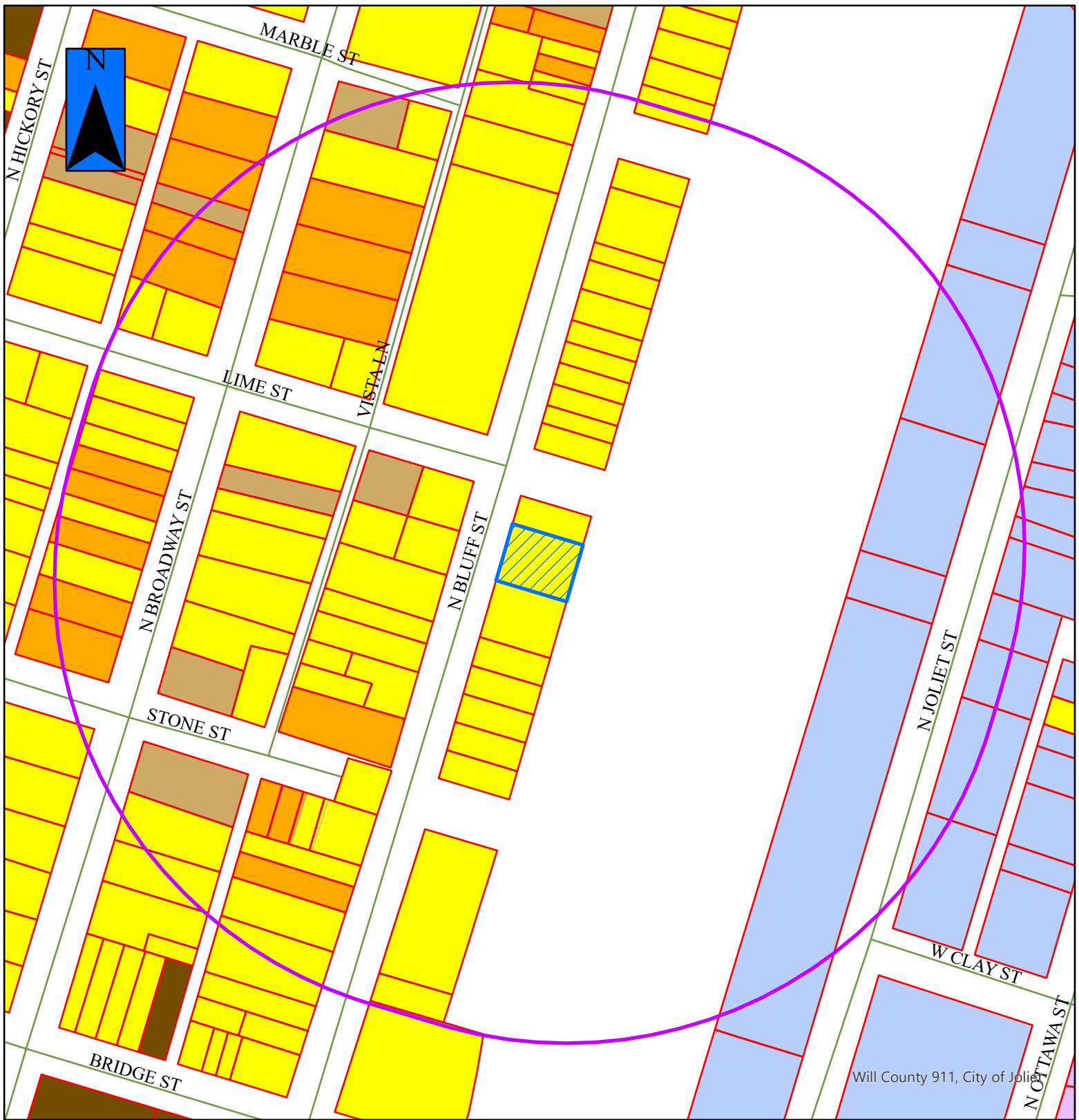




2026-35a & 2026-36a



- = Property in Question / Propiedad en cuestión
- = 600' Public Notification Boundary /
Límite de notificación pública de 600 ft (180 m)



2026-35 & 2026-36



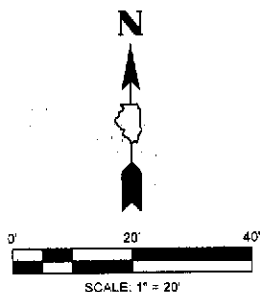
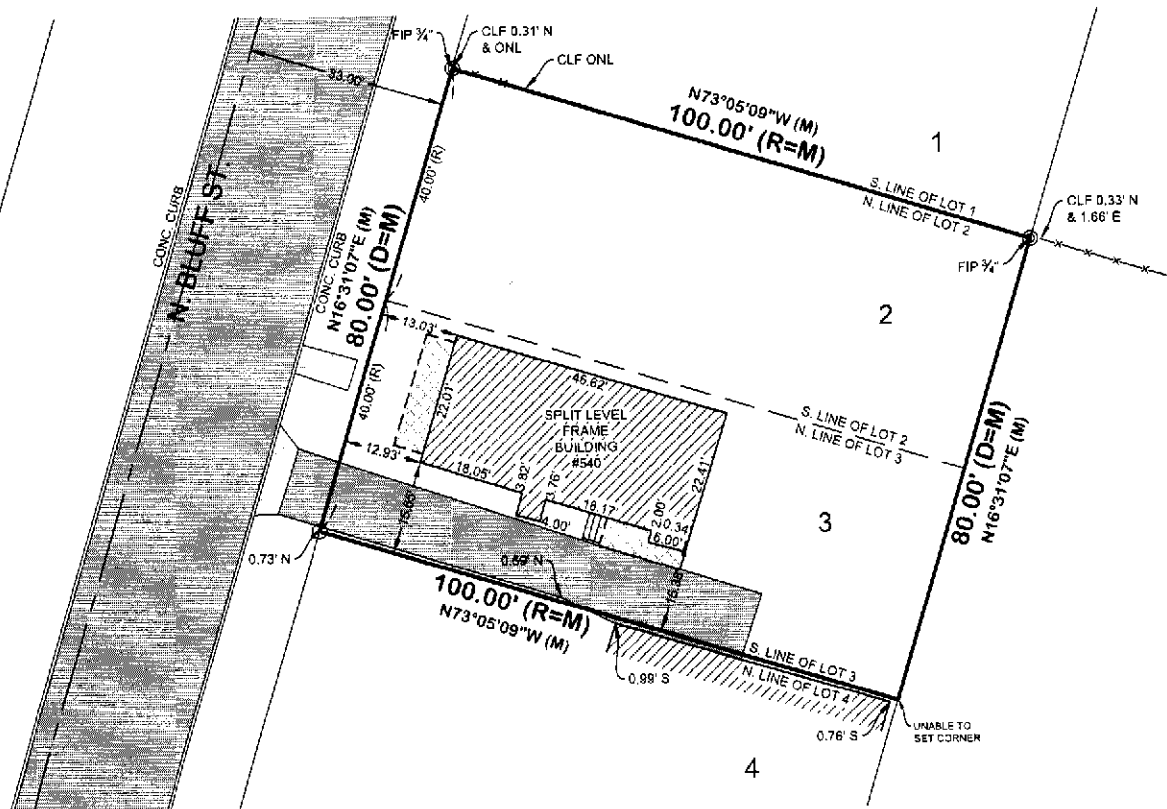
 = Property in Question
 = 600' Public Notification Boundary

Legend

	B-1		I-TA		R-2
	B-2		I-TB		R-2A
	B-3		I-TC		R-3
	I-1		R-1		R-4
	I-2		R-1A		R-5
	I-T		R-1B		R-B

PLAT OF SURVEY

OF
LOTS 2 AND 3, IN BLOCK 4, IN NORTH JOLIET, IN THE CITY OF JOLIET, A SUBDIVISION OF PART OF THE NORTHEAST 1/4 OF SECTION 9, IN TOWNSHIP 35 NORTH, AND RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, IN WILL COUNTY, ILLINOIS.



LEGEND

(M)	MEASURED DIMENSION	ONL	ON LINE	⊙	FOUND IRON PIPE 1/2" (FIP)		BUILDING
(R)	RECORD DIMENSION	POB	POINT OF BEGINNING	⊙	SET IRON PIPE 1/2" (SIP)		CONCRETE
(D)	DEED DIMENSION	POC	POINT OF COMMENCEMENT	⊙	FOUND IRON ROD 5/8" (FIR)		ASPHALT
CH	CHORD DIMENSION	OH	OVERHANG	⊙	SET IRON ROD 5/8" (SIR)		WOOD
BSL	BUILDING SETBACK LINE	TYP	TYPICAL	⊙	CUT CROSS		METAL
PC	POINT OF CURVATURE	CLF	CHAIN LINK FENCE	⊙	FOUND CROSS		BRICK
PT	POINT OF TANGENCY	WF	WOOD FENCE	⊙	CUT NOTCH		GRAVEL
PRC	POINT OF RETURN CURVE	MF	IRON/METAL FENCE	⊙	FOUND CROSS		STONE
L	ARC LENGTH DIMENSION	PF	PLASTIC/VINYL FENCE	⊙	FOUND MAG NAIL (FMAG)		WATER
R	ARC RADIUS DIMENSION	WRF	WIRE FENCE	⊙	SET MAG NAIL (SMAG)		OVERHANG
CH	ARC CHORD DIMENSION	GR	GUARD RAIL	⊙	RTW		ADDITION

SURVEY NOTES:

- FOR BUILDING LINES, EASEMENTS AND OTHER RESTRICTIONS NOT SHOWN HEREON, REFER TO YOUR DEED, TITLE POLICY AND LOCAL ZONING ORDINANCE ETC.
- ALL DIMENSIONS ARE IN FEET AND DECIMAL PARTS THEREOF.
- REVIEW LEGAL DESCRIPTION AND RECORD MEASUREMENT ON THIS PLAT AND REPORT ANY DISCREPANCIES TO SURVEYOR AT ONCE, BEFORE DAMAGE MAY OCCUR.
- COMPARE ALL POINTS BEFORE BUILDING BY SAME.
- WE DO NOT CERTIFY UTILITIES, THEREFORE, CONTACT UTILITIES COMPANIES BEFORE BUILDING.
- BASIS OF BEARING IF SHOWN IS ASSUMED UNLESS NOTED.
- DATE OF FIELD WORK IS DATE SHOWN IN CERTIFICATION.
- NO MEASUREMENTS ARE TO BE ASSUMED BY SCALING.
- ANY COMMENTS, MODIFICATIONS, ALTERATIONS AND REVISIONS MUST BE BROUGHT TO OUR ATTENTION WITHIN 90 DAYS OF DATE OF COMPLETION OF THIS SURVEY.
- TREES AND UTILITIES ARE NOT SHOWN HEREON.
- CATEGORY OF THIS SURVEY IS BASED UPON CLIENT'S REQUEST.
- TO ENSURE LEGITIMACY OF THIS PLAT, IT MUST CARRY THE SEAL OF THE PROFESSIONAL LICENSEE WHO PREPARED THIS PLAT.
- ALL BUILDING DIMENSIONS AND TIES ARE TO CURRENT SIDING MATERIAL AND NOT TO FOUNDATION.
- ARCHITECT, OWNER OR ENGINEER SHOULD VERIFY AND RE-MEASURE BUILDING FOR BUILDING ADDITION PURPOSES.
- NO PHOTOCOPIES/SCANNED COPIES SHALL BE MADE WITHOUT EXPRESS AUTHORIZATION FROM PROFESSIONAL LAND SURVEYOR.
- NO IMPROVEMENTS SHALL BE CONSTRUCTED BASED ON TIES SHOWN HEREON WITHOUT PRIOR WRITTEN APPROVAL FROM THE PROFESSIONAL LAND SURVEYOR. REFERENCE SHALL BE MADE ONLY TO EXISTING MONUMENTATION.
- REFER TO LOCAL TAX ASSESSOR'S OFFICE FOR REPORTED SQUARE FOOTAGE.

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SNOW NOTE:

DUE TO SNOW OR ICE COVERAGE, SOME IMPROVEMENTS MAY NOT BE SHOWN HEREON.

SUBJECT SITE AREA:
8,000.2± SQ. FT.

BASIS OF BEARINGS:

THE BASIS OF BEARINGS IS THE STATE PLANE COORDINATE SYSTEM (SPCS) NAD 83 (2011) EAST ZONE. ALL MEASUREMENTS ARE ON THE GROUND.

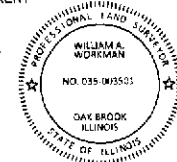
STATE OF ILLINOIS
COUNTY OF DUPAGE

WE, PI SURVEYING PLLC, AN ILLINOIS PROFESSIONAL DESIGN FIRM DO HEREBY CERTIFY THAT THE SURVEY WAS MADE UNDER ITS SUPERVISION ON THE GROUND AND THE PLAT HEREON DRAWN IS A REPRESENTATION OF SAME. THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR BOUNDARY SURVEY.

DATED AT OAK BROOK, ILLINOIS THIS 9th DAY OF DECEMBER, 2025.

BY: _____
ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 035.003501
LICENSE EXPIRES 11/30/2026

ILLINOIS PROFESSIONAL DESIGN FIRM NO. 184.008811-0003



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LAND SURVEYORS

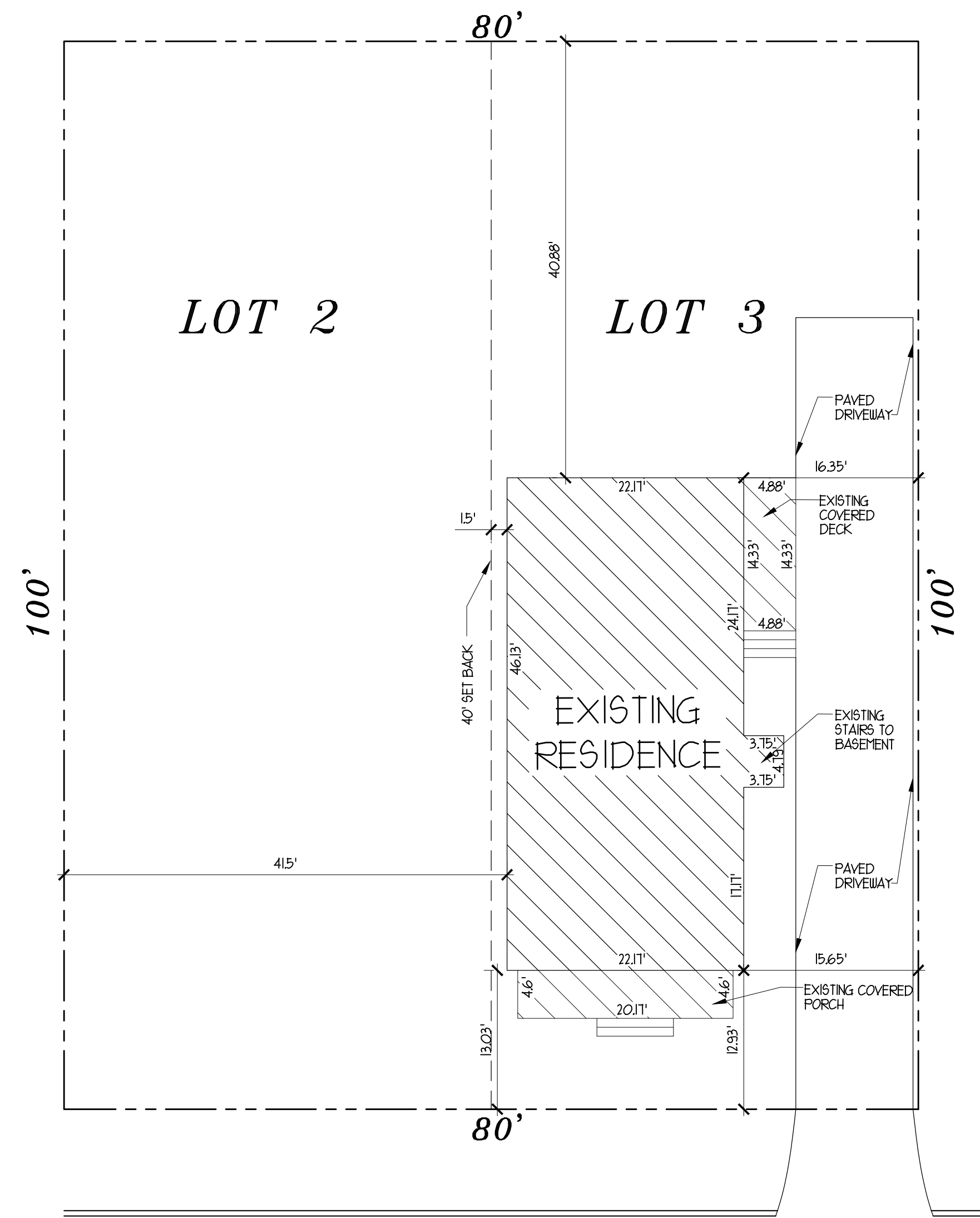
903 COMMERCE DRIVE, SUITE 210, OAK BROOK, IL 60623
PHONE: (773) 444-0445 www.pisurveying.com

ADDRESS: 540 NORTH BLUFF STREET, JOLIET, IL, 60435

FILE NUMBER: L25-5782

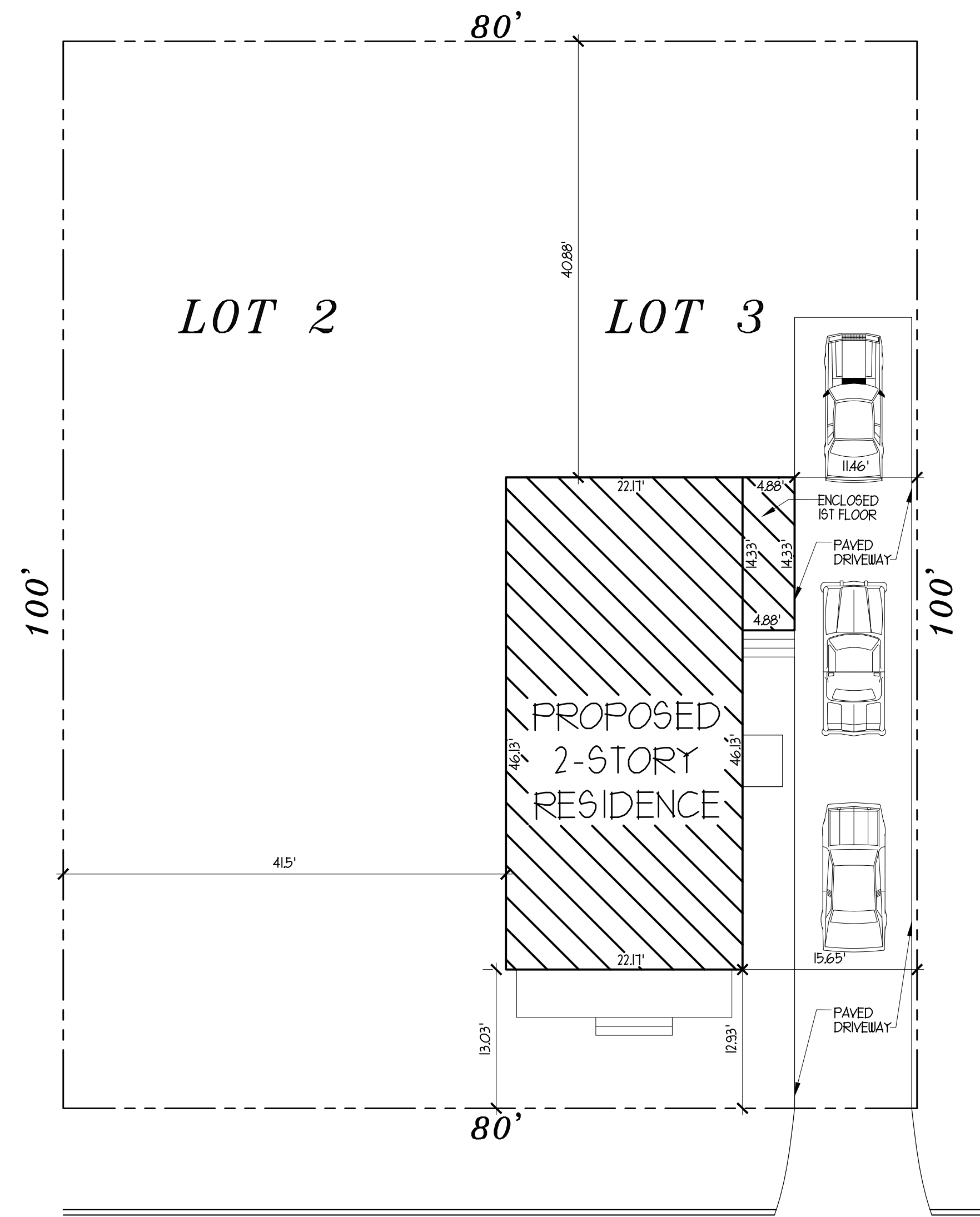
ORDERED BY: HANSON & ASSOCIATES, LTD

CATEGORY: BOUNDARY FIELD BY: AV DRAWN BY: AB CHECKED BY: WAW



EXISTING SITE PLAN

SCALE : 1" = 10'-0"



PROPOSED SITE PLAN

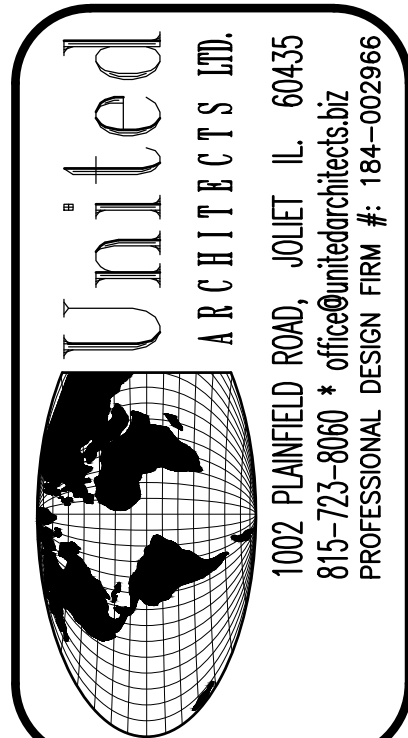
SCALE : 1" = 10'-0"



DRAWING INDEX	
S-1	EXISTING & PROPOSED SITE PLANS
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ISSUED FOR OWNER'S REVIEW JUNE 1, 2026

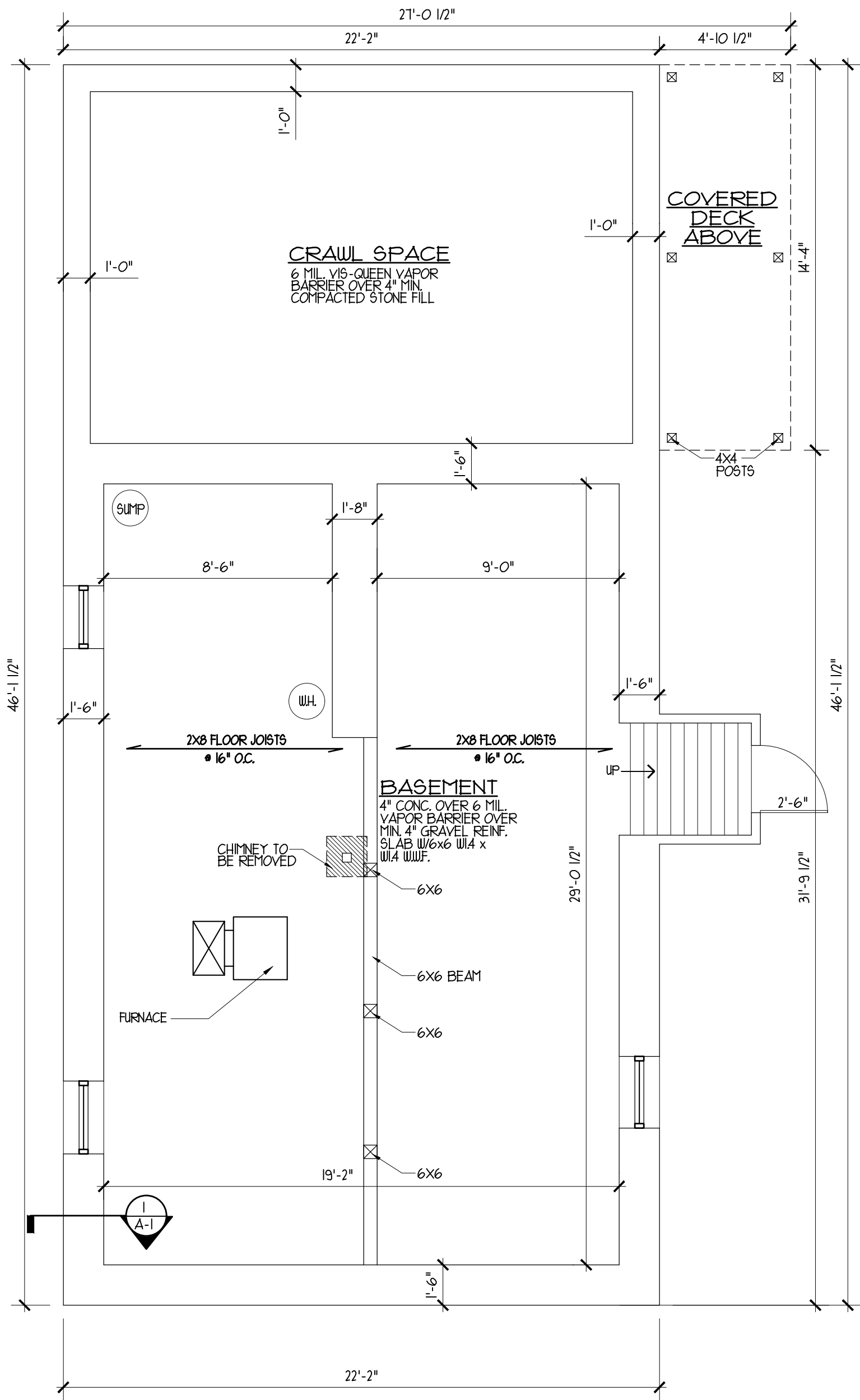


REVISION NO.	DATE	REMARKS

PROPOSED 2ND FLOOR ADDITION
FOR : GARCIA
540 N. BLUFF ST., JOLIET, IL, 60435

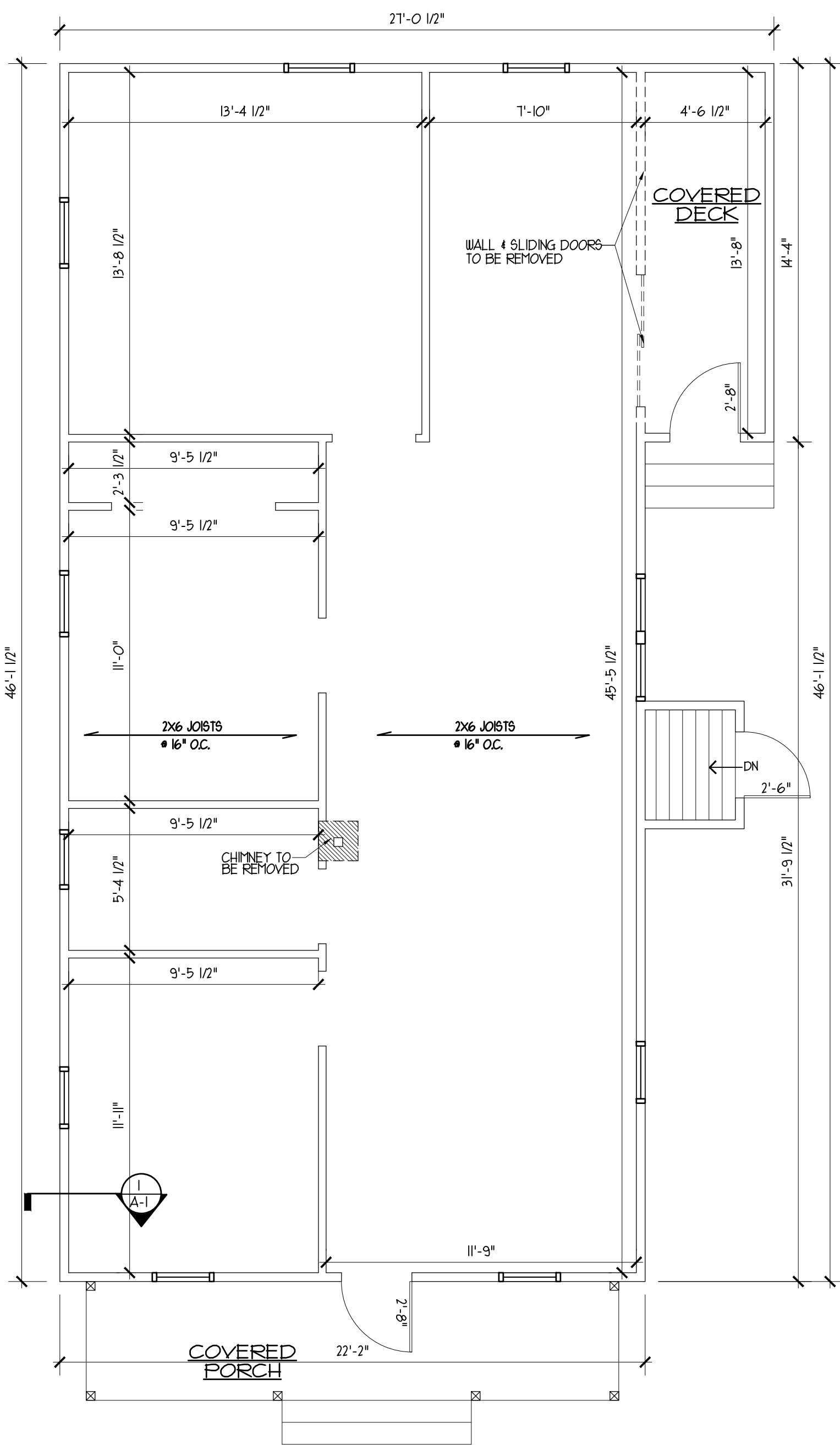
DRAWN BY: M.A.
CHECKED BY: BOB GEBEL
DATE : JUNE 1, 2026
PROJECT NO: 26-02
TITLE: EXISTING FLOOR PLANS

SHEET
A-1



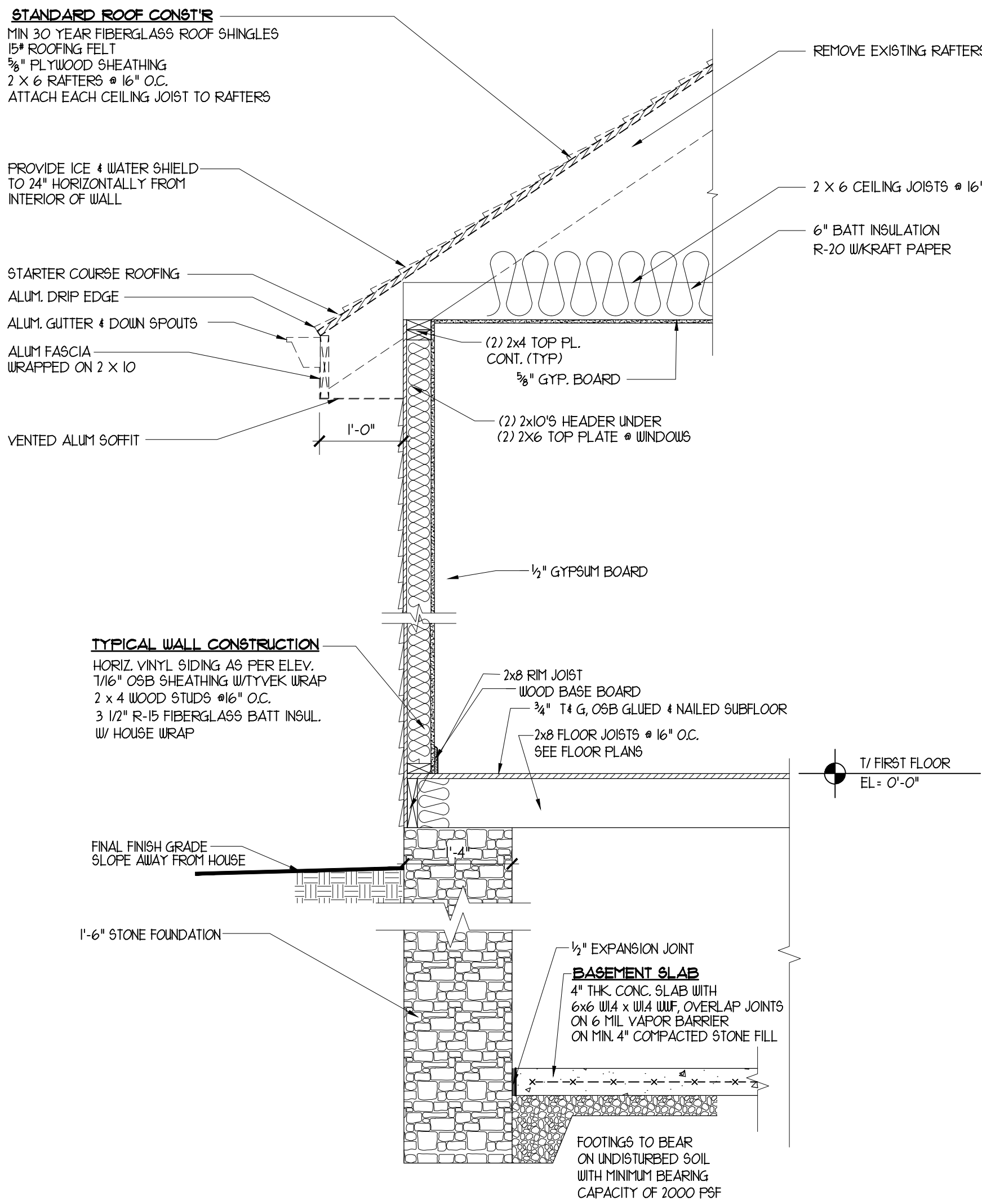
EXISTING FOUNDATION PLAN

SCALE : 1/4" = 1'-0"



EXISTING FIRST FLOOR PLAN

SCALE : 1/4" = 1'-0"



EXISTING WALL SECTION

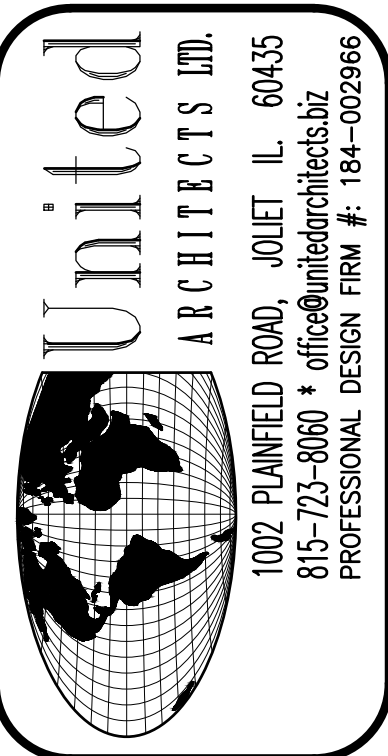
SCALE : 3/4" = 1'-0"

ADMINISTRATIVE NOTES

- THIS ARCHITECT HAS **NOT** BEEN RETAINED TO SUPERVISE CONSTRUCTION OF THIS PROJECT. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE CONSTRUCTION BASED ON THE DRAWINGS.
- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PREFERENCE OVER SCALED DIMENSIONS.
- THE INFORMATION CONTAINED IN THESE DRAWINGS WAS OBTAINED PREVIOUSLY. IF CONDITIONS HAVE CHANGED SUBSEQUENT TO COMPLETION OF THE DRAWING (I.E. DESIGN, CONTRACTOR , PRE-FABRICATED METAL BUILDING DESIGN OR SUPPLIER) THE ARCHITECT SHALL BE CONTACTED FOR REVISIONS TO THE DRAWINGS. IF NOT CONTACTED THE CONTRACTOR AND OWNER SHALL ASSUME RESPONSIBILITY FOR ANY VARIATIONS OR CHANGES FROM ANY INFORMATION, MATERIAL, ETC., ON THESE DRAWINGS.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD PRIOR TO STARTING THE WORK.
- ALL DIMENSIONS ON STRUCTURAL DRAWINGS TO BE CHECKED AND COORDINATED AGAINST ARCHITECTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS BY CONTRACTOR.
- THE CONTRACTOR, OWNER OR OTHER SHALL BE RESPONSIBLE FOR ANY DEVIATIONS OR CHANGES FROM THESE PLANS WITHOUT APPROVAL OF THE ARCHITECT.
- ALL CONSTRUCTION SHALL BE DONE BY A LICENSED CONTRACTOR AND ACCORDING TO THE ICC INTERNATIONAL RESIDENTIAL CODE 2015.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE LOCATION AND PLACEMENT OF INSERTS, HANGERS, SLEEVES, DUCTWORK, PADS AND ANCHOR BOLTS THAT ARE REQUIRED BY THE MECHANICAL EQUIPMENT. NO SLEEVES GREATER THAN 4 INCH DIAMETER OR ANY OPENINGS CLOSER THAN 12 INCHES TO A COLUMN SHALL BE ALLOWED IN THE CONCRETE WORK, UNLESS SHOWN ON THE STRUCTURAL DRAWINGS OR APPROVAL BY THE STRUCTURAL ENGINEER OR ARCHITECT. THE GENERAL CONTRACTOR SHALL VERIFY ALL OPENINGS THROUGH FLOORS AND WALLS WITH MECHANICAL AND ELECTRICAL CONTRACTORS.
- THE INFORMATION CONTAINED ON THE STRUCTURAL DRAWINGS IS IN ITSELF INCOMPLETE AND VOID UNLESS USED IN CONJUNCTION WITH THE CONTRACT DOCUMENTS AND WITH ALL THE SPECIFICATIONS, TRADE PRACTICES , OR APPLICABLE STANDARDS, CODES, ETC., INCORPORATED THEREIN BY REFERENCE WHICH THE CONTRACTOR CERTIFIES KNOWLEDGE OF BY SIGNING THE CONTRACT.
- ALL PLUMBING SHALL BE DONE BY A LICENSED CONTRACTOR AND ACCORDING TO ILLINOIS STATE PLUMBING CODE 2014.
- ALL ELECTRICAL WORK SHALL BE DONE BY A LICENSED CONTRACTOR AND ACCORDING TO THE NATIONAL ELECTRICAL CODE 2014.
- ALL MECHANICAL WORK SHALL BE DONE BY A LICENSED CONTRACTOR AND ACCORDING TO THE INTERNATIONAL MECHANICAL CODE 2015.
- ALL INSULATION & ENERGY CONSERVATION WORK SHALL BE DONE ACCORDING TO THE THE INTERNATIONAL ENERGY CONSERVATION CODE 2012.

ROOF LOADS	SECOND FLOOR LOADS
30 PSF LIVE LOAD 15 PSF DEAD LOAD	30 PSF LIVE LOAD 15 PSF DEAD LOAD
FIRST FLOOR LOADS	
40 PSF LIVE LOAD 15 PSF DEAD LOAD	
ATTIC FLOOR LOAD	
NO STORAGE 10 PSF LIVE LOAD 15 PSF DEAD LOAD	
WIND LOADS	
115 MPH	

ISSUED FOR OWNER'S REVIEW JUNE 1, 2026



REVISION NO. -DATE- -REMARKS-

PROPOSED 2ND FLOOR ADDITION

FOR : GARCIA

540 N. BLUFF ST., JOLIET, IL, 60435

DRAWN BY: M.A.

CHECKED BY: BOB GEBEL

DATE : JUNE 1, 2026

PROJECT NO: 26-02

TITLE: EXISTING FLOOR PLANS

SHEET
A-1

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REVISION NO. -DATE- -REMARKS-

PROPOSED 2ND FLOOR ADDITION
FOR : GARCIA

540 N. BLUFF ST., JOLIET, IL, 60435

DRAWN BY: M.A.

CHECKED BY: BOB GEBEL

DATE : JUNE 1, 2026

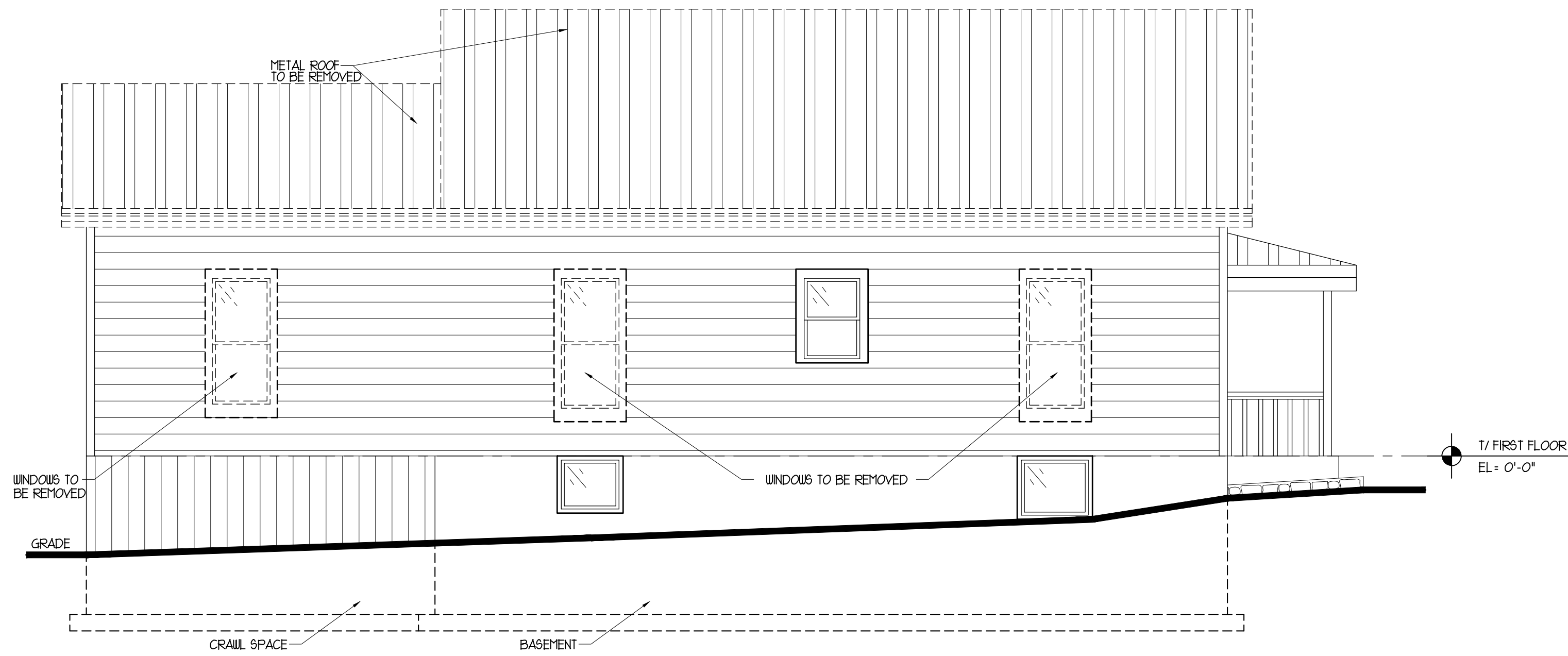
PROJECT NO: 26-62

TITLE: EXISTING ELEVATIONS

SHEET
A-2

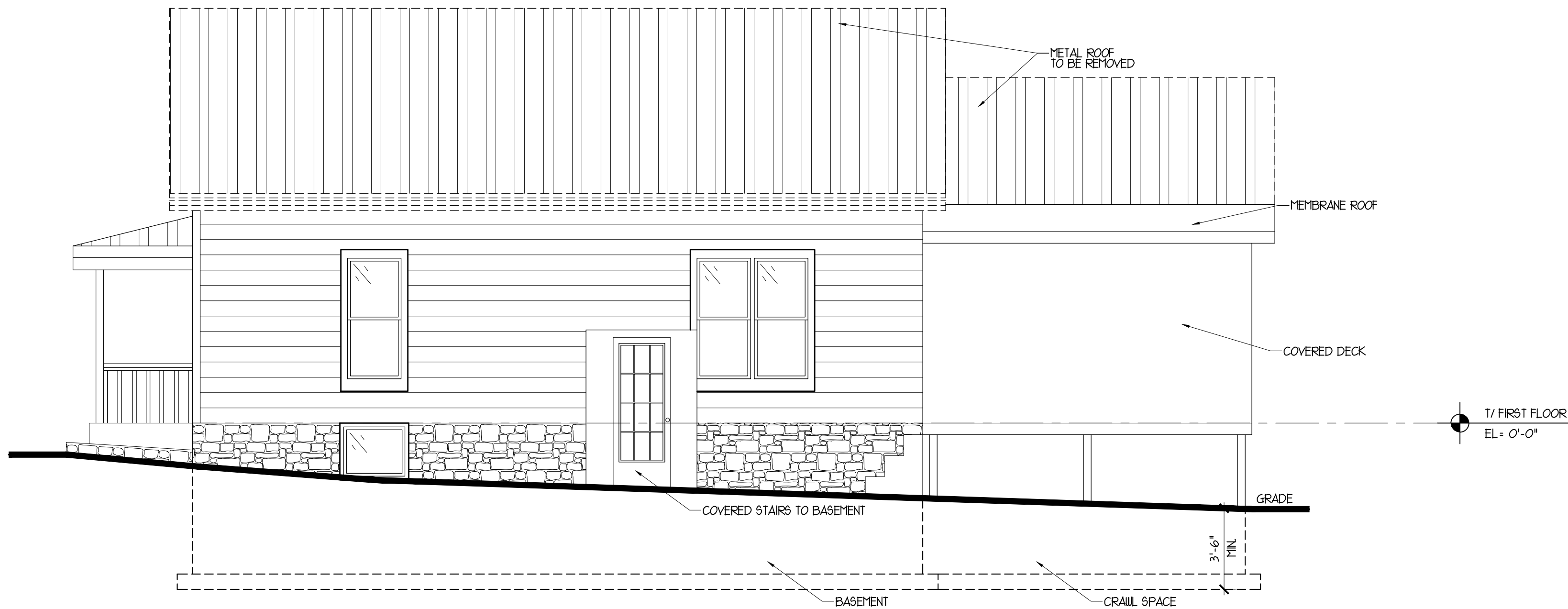
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ISSUED FOR OWNER'S REVIEW JUNE 1, 2026



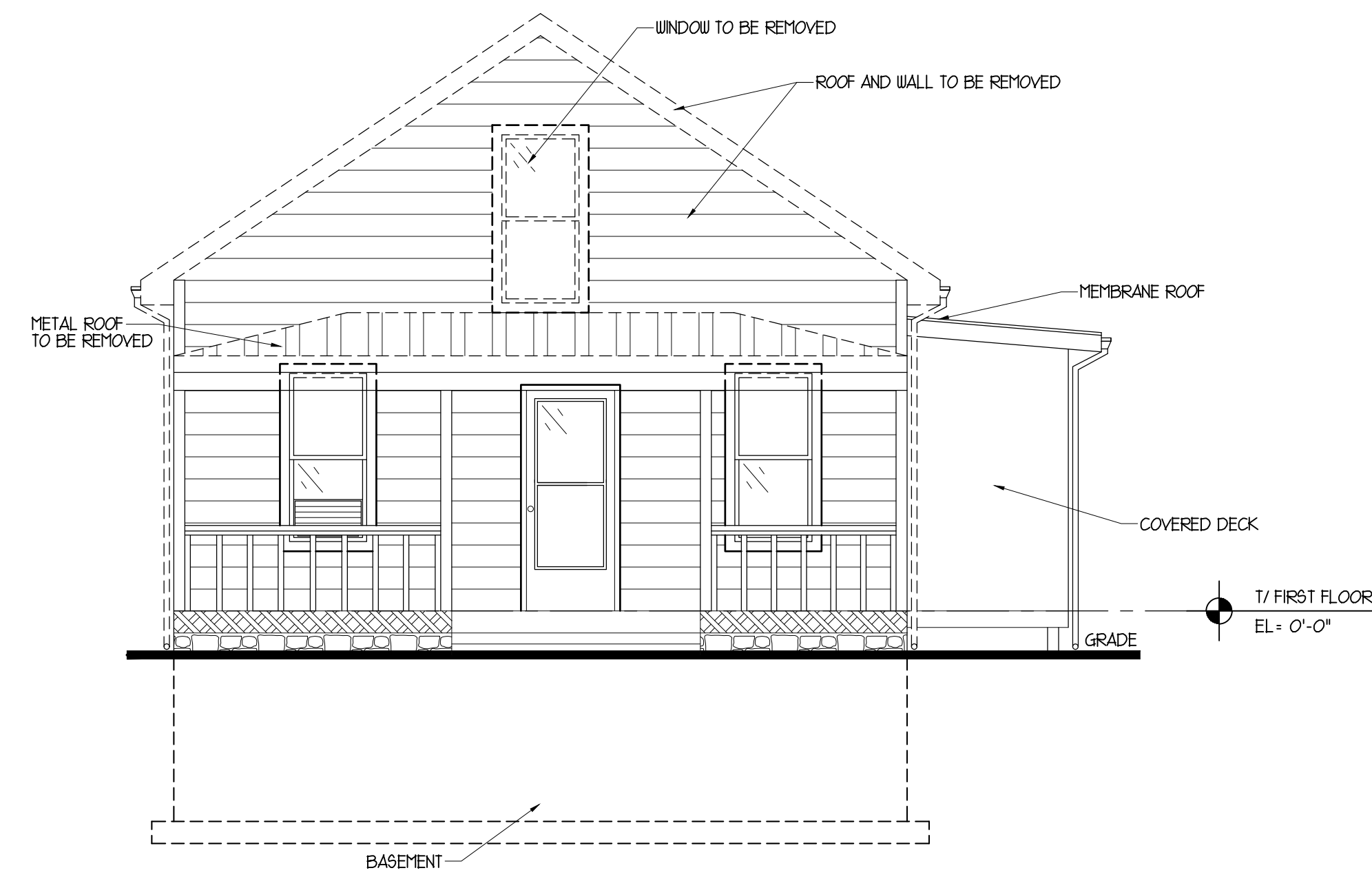
EXISTING LEFT ELEVATION

SCALE : 1/4" = 1'-0"



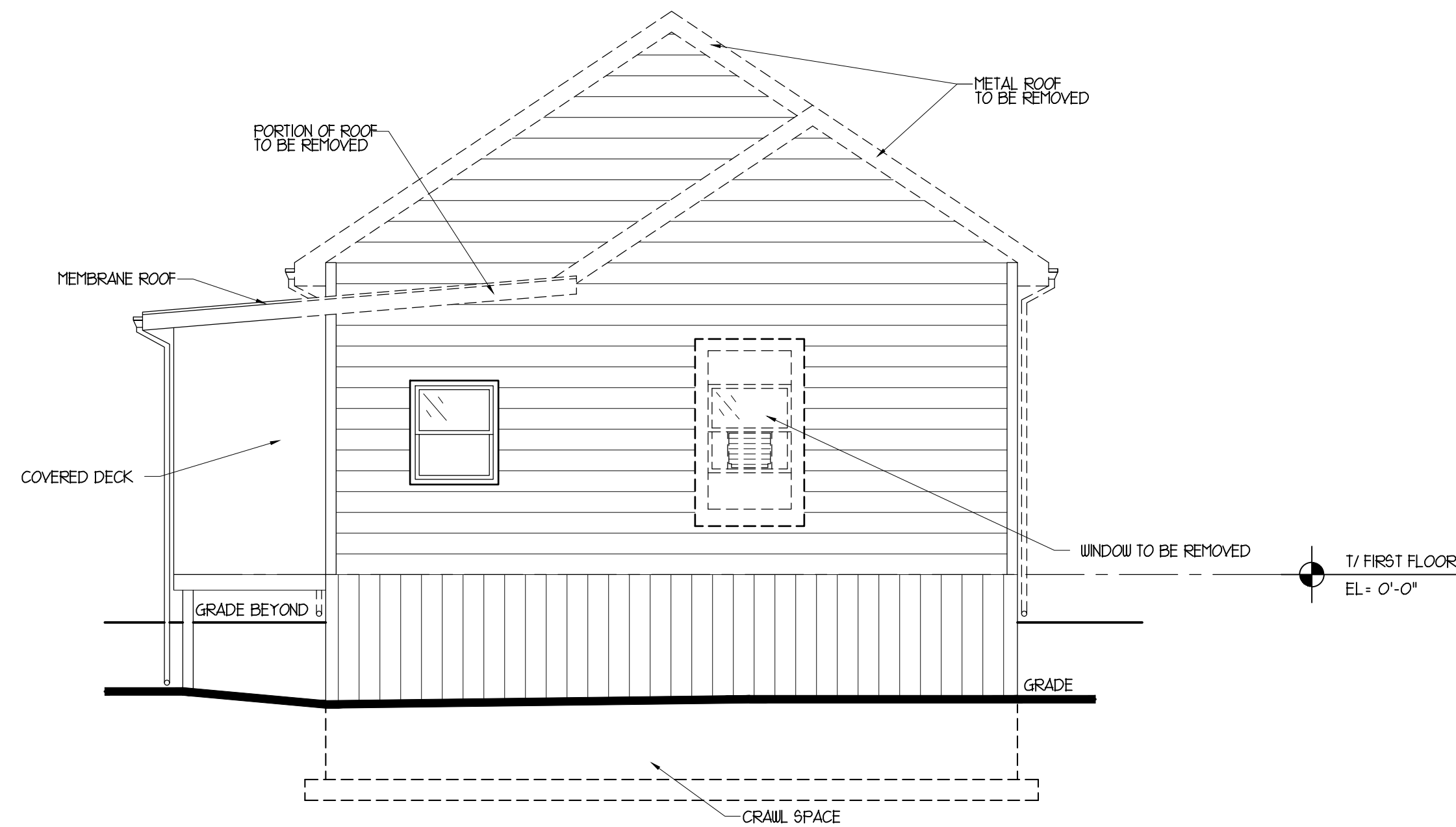
EXISTING RIGHT ELEVATION

SCALE : 1/4" = 1'-0"



EXISTING FRONT ELEVATION

SCALE : 1/4" = 1'-0"



EXISTING REAR ELEVATION

SCALE : 1/4" = 1'-0"

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REVISION NO.	DATE	REMARKS

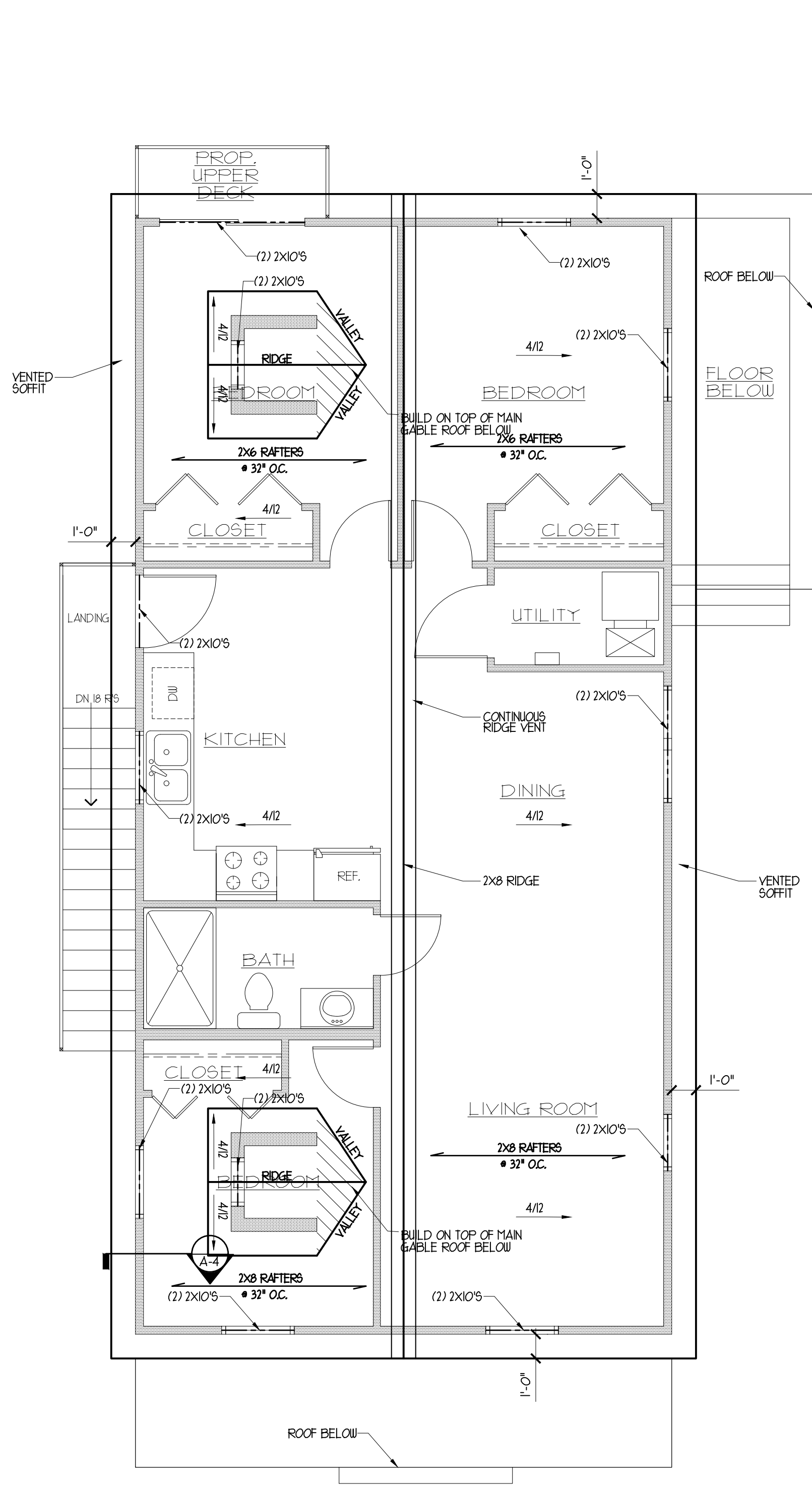
ISSUED FOR OWNER'S REVIEW JUNE 1, 2026

PROPOSED 2ND FLOOR ADDITION
FOR : GARCIA
540 N. BLUFF ST., JOLIET, IL, 60435

DRAWN BY: M.A.
CHECKED BY: BOB GEBEL
DATE : JUNE 1, 2026
PROJECT NO: 26-02
TITLE: PROPOSED ROOF PLAN & SECTION

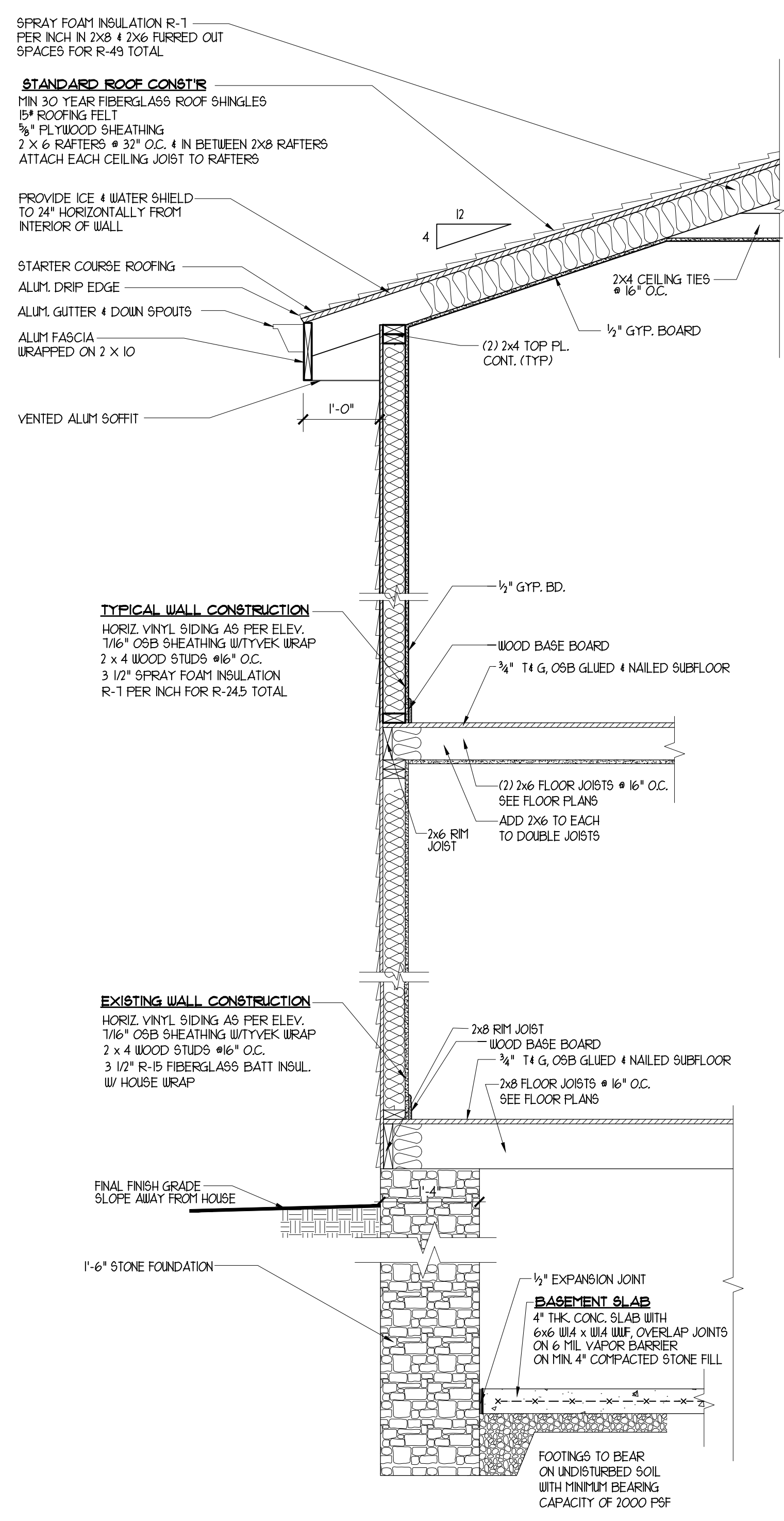
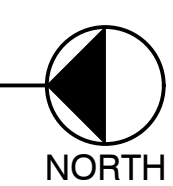
CONSTRUCTION NOTES & SPECIFICATIONS

- CONTRACTOR TO LOCATE ALL UNDERGROUND UTILITIES PRIOR TO COMMENCING WORK.
- ALL EXCAVATIONS SHALL BE SUBSTANTIALLY FREE OF WATER DURING FOUNDATION CONSTRUCTION WORK.
- ALL FOOTINGS SHALL BEAR ON UNDISTURBED SOIL CAPABLE OF SUPPORTING 1500 PSF. ALL FOOTINGS SHALL BE MIN. 3'-6" BELOW GRADE. THE BEARING CAPACITY OF THE SOIL IS TO BE DETERMINED BY THE CONTRACTOR BEFORE CONSTRUCTION BEGINS. SPECIFIC SOIL CONDITIONS AT VARIANCE WITH THIS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT, BY THE CONTRACTOR.
- SITE GRADING SHALL DIRECT WATER AWAY FROM BUILDINGS.
- CONCRETE SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3,000 PSI. ALL CONCRETE EXPOSED TO WEATHER SHALL HAVE AIR ENTRAINMENT OF 5% TO 7% & A MINIMUM COMPRESSIVE STRENGTH OF 3,500 PSI.
- STEEL REINFORCEMENT SHALL CONFORM TO ASTM-605 GRADE 60. ANCHOR BOLTS SHALL CONFORM TO ASTM A-325.
- ALL STRUCTURAL STEEL SHALL BE ASTM A-36, A-50.
- WOOD FLOOR JOISTS, CEILING JOISTS, & ROOF RAFTERS SHALL HAVE A MINIMUM FIBER STRESS IN BENDING OF 850 PSI & A MINIMUM MODULUS OF ELASTICITY OF 1,000,000 PSI. EXAMPLE- SPRUCE-PINE-FIR NO. 2, DOUGLAS FIR LARCH NO. 2, OR HEM-FIR NO. 2.
- PROVIDE SOLID WOOD BRIDGING @ MID-SPAN OF ALL WOOD 2" X MEMBER JOISTS & RAFTERS.
- PROVIDE DOUBLE JOISTS @ ALL PARALLEL WALLS ABOVE & AS SHOWN ON FRAMING PLANS. PROVIDE DOUBLE HEADERS AROUND OPENINGS IN FLOORS, CEILINGS, OR ROOFS.
- WOOD MICROLAM BEAMS NOTED AS LVL SHALL BE 20 LAMINATED VENEER LUMBER AS MANUFACTURED BY Weyerhaeuser.
- WOOD TIMBERSTRAND BEAMS SHALL BE 15E LAMINATED STRAND LUMBER AS MANUFACTURED BY WEYERHAEUSER.
- WOOD PARALLAM BEAMS NOTED AS "PSL'S" SHALL BE 20E PARALLEL STRAND LUMBER AS MANUFACTURED BY WEYERHAEUSER.
- ALL WOOD STUDS SHALL BE SPRUCE-PINE-FIR, HEM-FIR OR DOUGLAS-FIR 2" GRADE OR BETTER WITH A MINIMUM COMPRESSIVE STRENGTH PARALLEL TO THE GRAIN OF 800 PSI. ALL WOOD MEMBERS TO HAVE A MOISTURE CONTENT OF 19% OR LESS.
- WHERE WOOD FRAMING MEMBERS ARE SUPPORTED BY OTHER WOOD MEMBERS AT A SIMILAR ELEVATION, USE METAL JOIST HANGERS OF APPROPRIATE SIZES.
- ALL STRUCTURAL WOOD FRAMING TO BE 2" CLEAR OF FLUES, CHIMNEYS, AND FIREPLACES AND 6" CLEAR OF THE OPENINGS.
- ALL WOOD POSTS ARE TO BE (2) 2"x4'S OR (3) 2"x4'S AT CORNERS, EXCEPT WHERE NOTED.
- ALL EXTERIOR WOOD FRAMING & SILL PLATES ON FOUNDATIONS TO BE PRESSURE TREATED.
- WOOD HEADERS TO BE (2) 2" X 10'S, UNLESS NOTED OTHERWISE.
- WINDOW NUMBERS LISTED ON PLANS ARE WINDOWS AS MANUFACTURED BY SILVERLINE. SEE WINDOW SCHEDULE. PROVIDE TEMPERED SAFETY GLASS WHERE REQUIRED BY CODE. GLASS IN WINDOWS SHALL BE "LOW E" ARGON GAS FILLED INSULATING PERFORMANCE GLASS.
- PROVIDE AT LEAST ONE EGRESS WINDOW IN EACH SLEEPING ROOM & BASEMENT. THE WINDOWS SHALL HAVE A SILL HEIGHT NOT MORE THAN 44 INCHES ABOVE THE FLOOR. ALL EGRESS OR RESCUE WINDOWS FROM SLEEPING ROOMS MUST HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET. THE MINIMUM NET CLEAR OPENING HEIGHT SHALL BE 24 INCHES, & THE MINIMUM NET CLEAR OPENING WIDTH DIMENSION SHALL BE 20 INCHES. SHALL BE OPERATIONAL FROM INSIDE WITHOUT USE OF KEYS, TOOLS OR SPECIAL KNOWLEDGE. SUBMIT MANUFACTURERS CUT SHEETS FOR ALL ESCAPE AND EGRESS WINDOWS.
- ALL OPERABLE WINDOWS SHALL HAVE SCREENS AND INTERIOR SASH LOCKS.
- ALL GLASS WITHIN TUB ENCLOSURES AND ANY GLASS WITHIN 18" OF THE FINISHED FLOOR SHALL BE SAFETY GLASS. ALL GLASS IN DOORS & WINDOWS WITHIN 2'-0" OF DOORS SHALL BE SAFETY GLAZING.
- INTERIOR DOORS SHALL BE WOOD SOLID CORE 6" PANEL DOORS AS MANUFACTURED BY WESTERN DOORS. DOOR & GARAGE AND HOUSE SHALL BE INSULATED HOLLOW METAL W/ A U-VALUE OF LESS THAN .34 & SHALL BE A ONE HOUR RATED DOOR AS MANUFACTURED BY THERMA-TRU.
- HOUSE ENTRANCE DOORS SHALL BE FIBERGLASS AS MANUFACTURED BY THERMA-TRU AND AS APPROVED BY OWNER, W/ A U-VALUE OF LESS THAN .30.
- ALL HARDWARE SHALL BE AS APPROVED BY OWNER.
- FLOORING SHALL BE AS APPROVED BY OWNER.
- WOOD TRIM FOR WINDOWS, DOORS, AND BASEBOARDS SHALL BE 2" WIDE AS APPROVED BY OWNER.
- WALL INSULATION SHALL BE R-24.5 SPRAY FOAM INSULATION AS MANUFACTURED BY JOHNS-MANVILLE INTERNATIONAL INC, QUIK'S CORNING OR EQUAL.
- ATTIC-ROOF INSULATION SHALL BE R-49 SPRAY FOAM INSULATION AS MANUFACTURED BY JOHNS-MANVILLE INTERNATIONAL INC, QUIK'S CORNING OR EQUAL.
- VNTL SIDING SHALL BE DOUBLE 4" SIDING AS MANUFACTURED BY ABT CO OR EQUAL.
- ROOFING SHALL BE ASPHALT/FIBERGLASS SHINGLES-MIN. 30 YEAR, CLASS A SHINGLE BY CELOTEX, GAF, GLOBE, OR APPROVED EQUAL.
- RIDGE VENT SHALL BE COR-A-VENT "V-400" USE WITH ALUMINUM SOFFIT VENTS. THE TOTAL NET VENTILATING AREA SHALL NOT BE LESS THAN 1/50TH OF THE AREA TO BE VENTILATED, EXCEPT THAT THE AREA MAY BE 1/200TH IF AT LEAST 50% OF THE REQUIRED VENTILATING AREA IS PROVIDED BY MECHANICAL VENTILATORS.
- ALUMINUM SOFFITS SHALL BE "SYSTEM 3" 12" CENTER VENTED SOFFIT PROFILE AS MANUFACTURED BY ROLLEX OR APPROVED EQUAL. COLOR AS SELECTED BY STANDARD COLORS.
- ALUMINUM FASCIA SHALL BE "L6 OR L8" SMOOTH FASCIA COVER AS MANUFACTURED BY ROLLEX, OR APPROVED EQUAL. COLOR AS SELECTED BY STANDARD COLORS.
- PROVIDE ALUMINUM GUTTERS & DOWNSPOUTS FOR THE ENTIRE HOUSE. DRAIN ALL DOWNSPOUTS AWAY FROM HOUSE.
- "HARDBOARD" TRIM AT EXTERIOR SHALL BE TREATED EXTERIOR COMPOSITE TRIM AS MANUFACTURED BY MIRATEC.
- GYPSUM BOARD SHALL BE 1/2" GYPSUM BOARD, PROVIDE 5/8" TYPE "X" FIRE RESISTANT PROVIDE CEMENT, FIBER CEMENT OR GLASS MAT GYPSUM BACKERS BE INSTALLED AS BACKERS FOR WALL TILE APPLIED IN TUB/ SHOWER AREAS AND WALL PANELS IN SHOWER AREAS WHICH ARE IN DIRECT CONTACT WITH WATER OR HIGH HUMIDITY. WATER RESISTANT GYPSUM BOARD ONLY TO BE USED WITHIN THE LIMITS LISTED IN R102.3.8.
- PRIME W/ COAT & PAINT W/ 2 COATS ALL NEW WALL AND EXPOSED CEILING SURFACES SHERWIN-WILLIAM OR EQUAL.
- SMOKE DETECTORS SHALL BE LOCATED AS SHOWN ON PLANS, AND/OR AT LEAST ONE ON EACH FLOOR, EACH SLEEPING ROOM, AND EACH HALL TO BEDROOMS. SMOKE DETECTORS SHALL BE INTERCONNECTED & WIRED TO THE ELECTRICAL POWER, SO THAT THE ACTUATION OF ONE DETECTOR WILL ACTIVATE ALL ALARMS.
- DUCT ALL EXHAUST FANS TO THE EXTERIOR.
- STAIRS : RISERS 7 3/4" MAXIMUM. TREADS : 10" MINIMUM. 6'-8" MINIMUM HEADROOM.
- ALL CLOSETS TO HAVE ONE SHELF AND ONE CLOTHES POLE UNLESS OTHERWISE NOTED. LINEN AND PANTRY CLOSETS TO HAVE FIVE SHELVES.
- GENERAL CONTRACTOR IS TO PROVIDE AND INSTALL FLASHING AT ALL ENTRANCE SLABS ADJACENT TO WALL CONSTRUCTION.
- PROVIDE ALUMINUM FLASHING AT ALL WALL / ROOF INTERSECTIONS TO INSURE WATERTIGHT CONDITIONS.
- ALL SKYLIGHTS, METAL FLUES, VENTS, STACKS, OR OTHER ROOF ACCESSORIES REQUIRING FLASHINGS SHALL BE INSTALLED AS PER MANUFACTURERS SPECIFICATIONS.



PROPOSED ROOF PLAN

SCALE : 1/4" = 1'-0"



1
A-4
PROPOSED WALL SECTION

SCALE : 3/4" = 1'-0"

REVISION NO. -DATE- -REMARKS-

PROPOSED 2ND FLOOR ADDITION

FOR : GARCIA

540 N. BLUFF ST., JOLIET, IL, 60435

DRAWN BY: M.A.

CHECKED BY: BOB GEBEL

DATE : JUNE 1, 2026

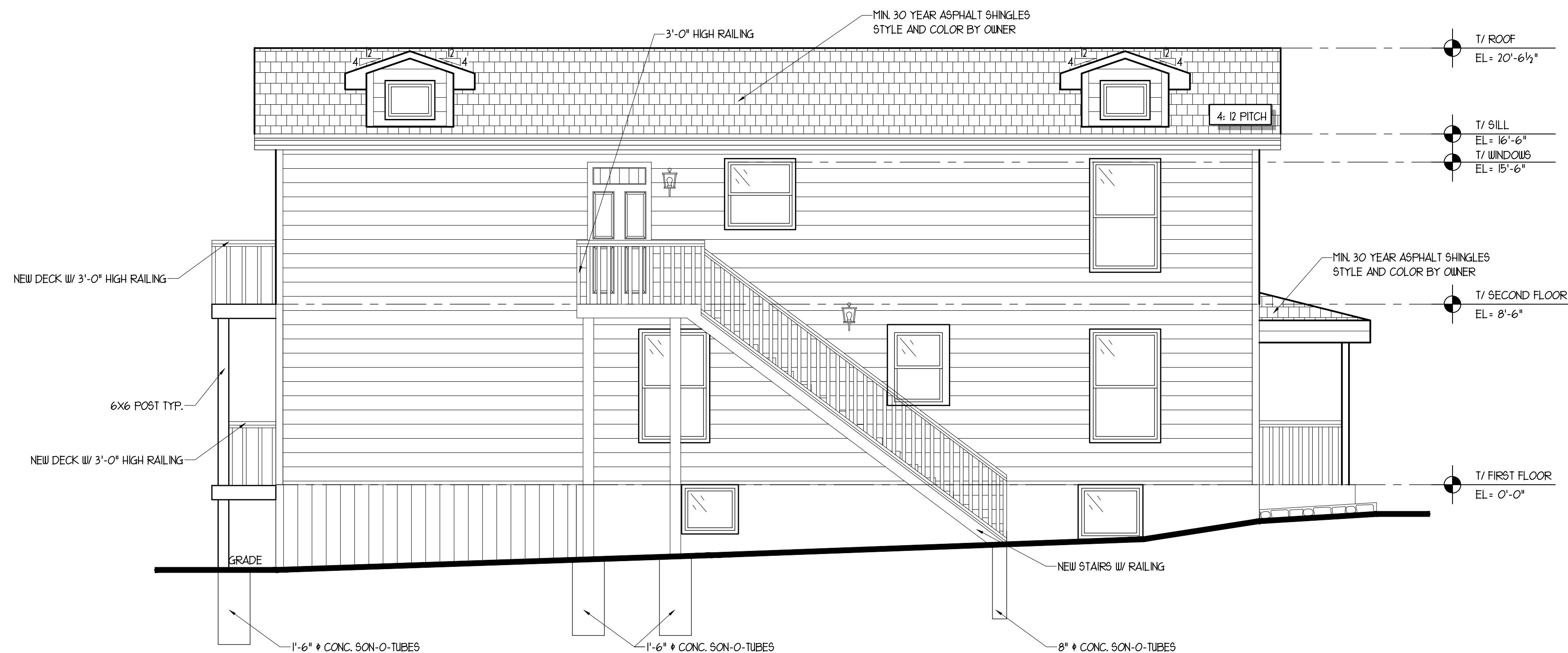
PROJECT NO: 26-02

TITLE: PROPOSED ELEVATIONS

SHEET
A-5

ISSUED FOR OWNER'S REVIEW JUNE 1, 2026

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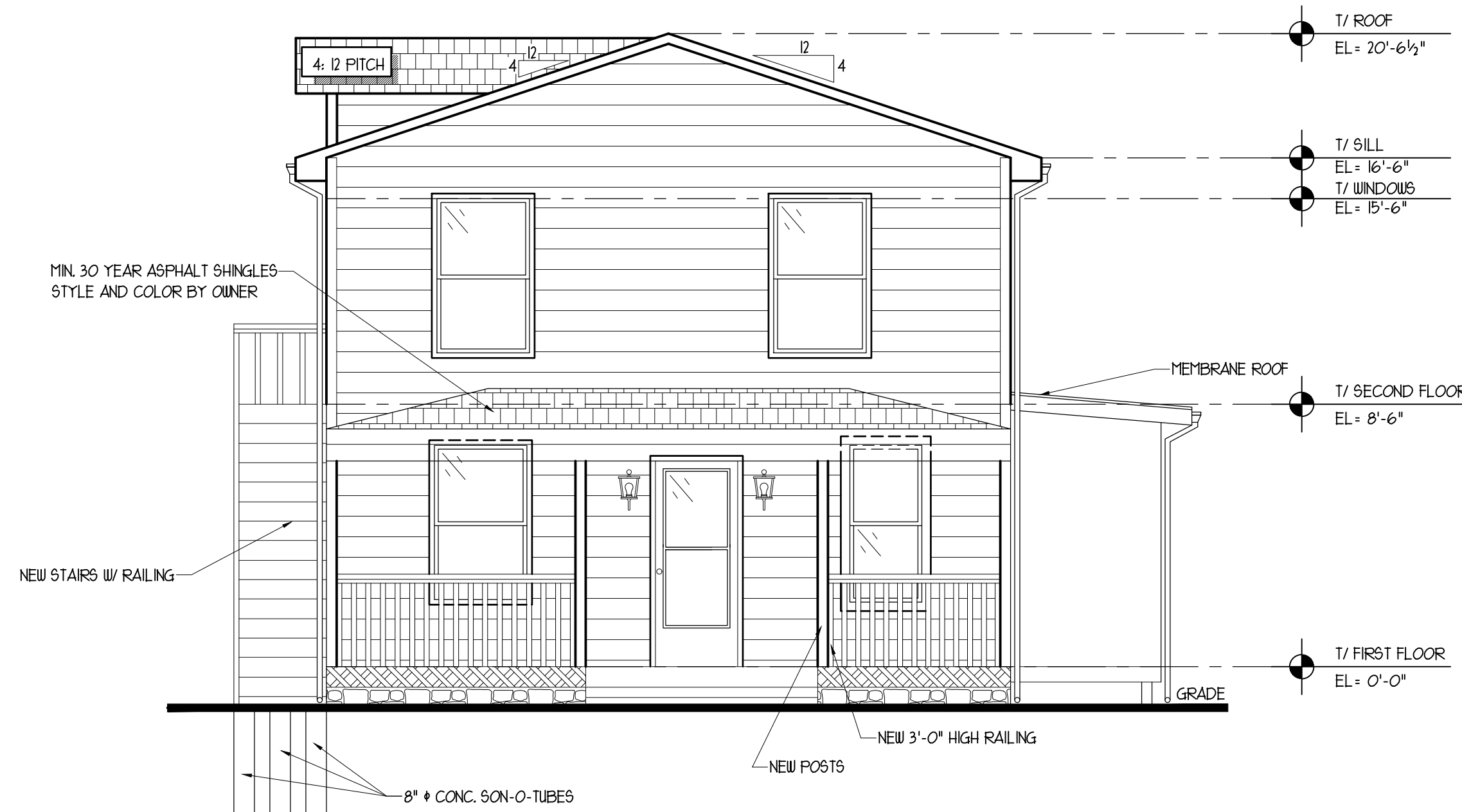
PROPOSED LEFT ELEVATION

SCALE : 1/4" = 1'-0"



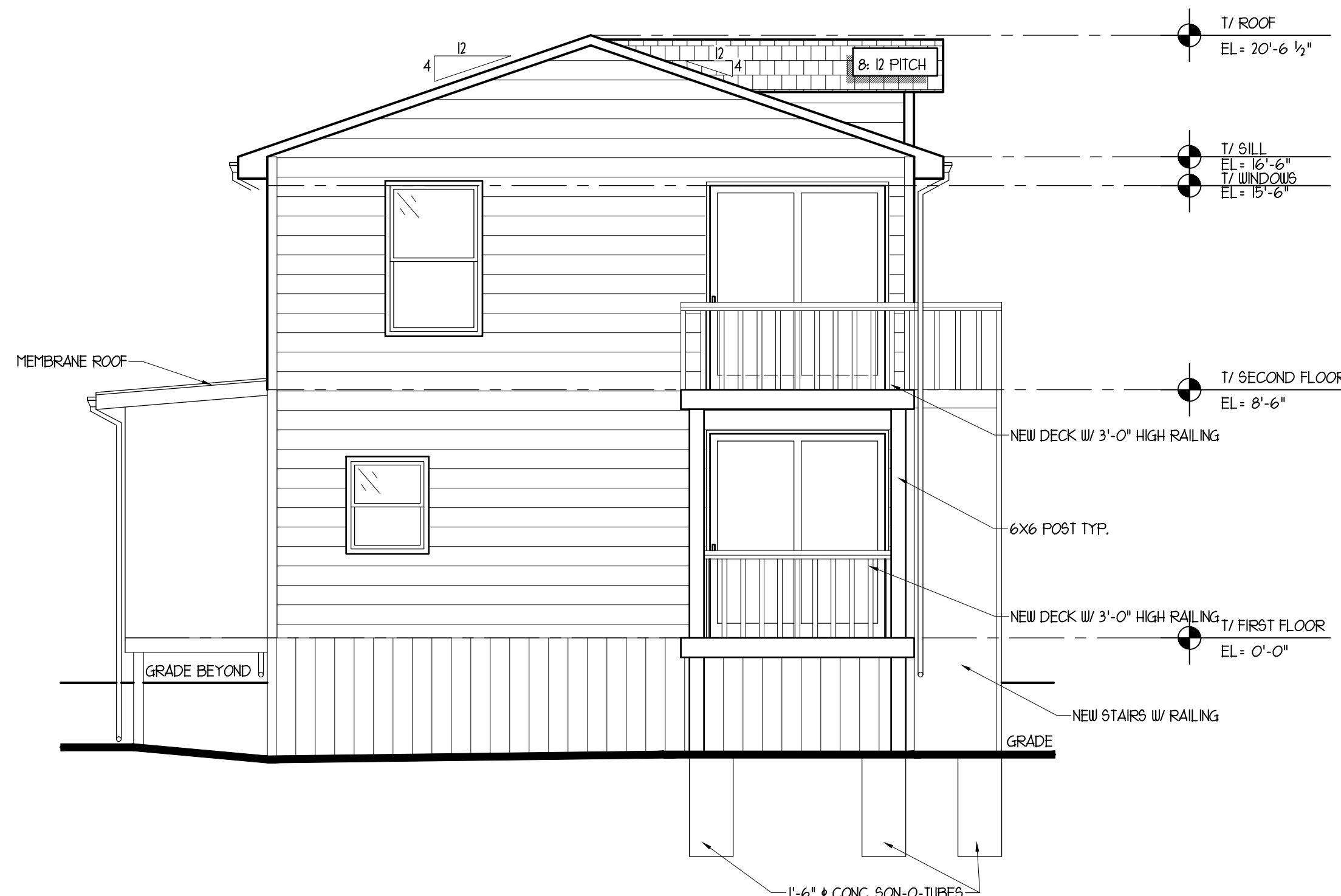
PROPOSED RIGHT ELEVATION

SCALE : 1/4" = 1'-0"



PROPOSED FRONT ELEVATION

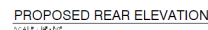
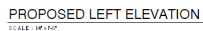
SCALE : 1/4" = 1'-0"



PROPOSED REAR ELEVATION

SCALE : 1/4" = 1'-0"

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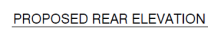
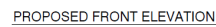


DRAWN BY: M.A.
CHECKED BY: BOB GEBEL
DATE : JUNE 1, 2026
PROJECT NO: 26-02
TITLE: PROPOSED ELEVATION

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DATE: FEBRUARY 9, 2026
SHEET NO: 26-02
TITLE: PROPOSED ELEVATIONS

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SHEET			
A 5			

2/10/2026 11:43:34 AM

ZONING BOARD OF APPEALS
CRITERIA FOR VARIATIONS

Section 47-19.8 of the Zoning Ordinance states:

A variation shall not be granted in any case unless the Board shall find and clearly state in its record of the case that:

	Does the evidence presented sustain this criteria?	Comments
(1) Reasons sustaining the contention that strict enforcement of the Ordinance would involve practical difficulties or impose exceptional hardship were found as follows: (a) _____ (b) _____ (c) _____ (list of reasons)		
(2) Adequate evidence was submitted to establish practical difficulties or particular hardship so that, in the judgment of the Board, a variation is permitted because the evidence sustained the existence of each of the three following conditions: (a) The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in the particular district or zone. (b) The plight of the owner is due to unique circumstances. (c) The variation, if granted, will not alter the essential character of the locality.		
(3) A public hearing was held on such variation of which at least 15 days and not more than 30 days notice was published in the _____ (name of newspaper) on _____ (date).		