

DATE: November 14, 2024
TO: Joliet Plan Commission
FROM: Planning Staff
SUBJECT: PUD-7-24: Preliminary Planned Unit Development of Hope Manor Village
Joliet
PUD-8-24: Final Planned Unit Development of Hope Manor Village Joliet

GENERAL INFORMATION:

APPLICANT: Volunteers of America of Illinois (VOA Illinois)
STATUS OF APPLICANT: Developer and future owner
REQUESTED ACTION: Approval of the preliminary and final planned unit development of Hope Manor Village Joliet
PURPOSE: To allow development of a 48-unit supportive living facility
EXISTING ZONING: R-B (Restricted Business)
LOCATION: 1301 Copperfield Avenue (30-07-11-201-035-0000 and part of 30-07-11-201-045-0000)
SIZE: 2.11 acres
EXISTING LAND USE: Undeveloped

SURROUNDING LAND USE & ZONING:

NORTH: Undeveloped (former Silver Cross Hospital campus), R-B
SOUTH: Vacant (future veterans' organizations and services) and residential (Hope Manor supportive living facility), R-B
EAST: Residential, R-3 (One-and Two-Family Residential)
WEST: Undeveloped (former Silver Cross Hospital campus), R-B

SITE HISTORY: The subject site at 1301 Copperfield Avenue comprises 2.1 acres of the former Silver Cross Hospital campus at the southeast corner of Maple Road and Walnut Street. The north part of the former campus, which surrounds the subject site, is undeveloped. Other uses on the former hospital campus include the Department of Veteran Affairs Joliet Outpatient Clinic, Aunt Martha's Joliet Community Health Center,

and Hope Manor Joliet, a supportive living facility for veterans and their families that is owned and managed by the petitioner, VOA Illinois. The proposed development, called Hope Manor Village Joliet, will be located on the north side of Copperfield Avenue across from Hope Manor.

In December 2023, the City Council approved a Special Use Permit for this development to allow a women's opioid addiction supportive living facility at 1301 Copperfield Avenue (Ordinance # 18575). Supportive living facilities may be allowed as special uses in the R-B (restricted business) district. The submission of a planned unit development is the next step for this multi-family development.

SPECIAL INFORMATION: The petitioner, VOA Illinois, is a social service provider dedicated to improving the lives of veterans, seniors, adults with disabilities, and individuals and families facing economic instability. In addition to delivering trauma-informed and culturally-sensitive programs, VOA Illinois also provides, owns, and manages affordable housing properties across Illinois. The proposed development, Hope Manor Village Joliet, is a 48-unit supportive living facility for women recovering from addiction, especially opioid addiction. The development would serve individual women and women with their children and offer supportive services such as counseling, recovery groups, and children's programming. VOA Illinois will be the owner and service provider for the facility.

The Planned Unit Development for Hope Manor Village Joliet consists of two 24-unit buildings, accessory surface parking, and an outdoor recreation area. The east building, Building B, will contain a one-story common space with offices, meeting rooms, and activity areas. The buildings are three stories and collectively contain 44 two-bedroom units and 4 one-bedrooms units. Two-bedroom units average 850 square feet in area and one-bedroom units average 629 square feet in area. The building exteriors will be a mix of face brick and fiber cement board (James Hardie board). The proposed landscape plan meets the City's landscaping requirements and includes building perimeter landscaping, parkway trees, and miscellaneous parking lot and site landscaping. The site has two parking areas with a total of 48 spaces.

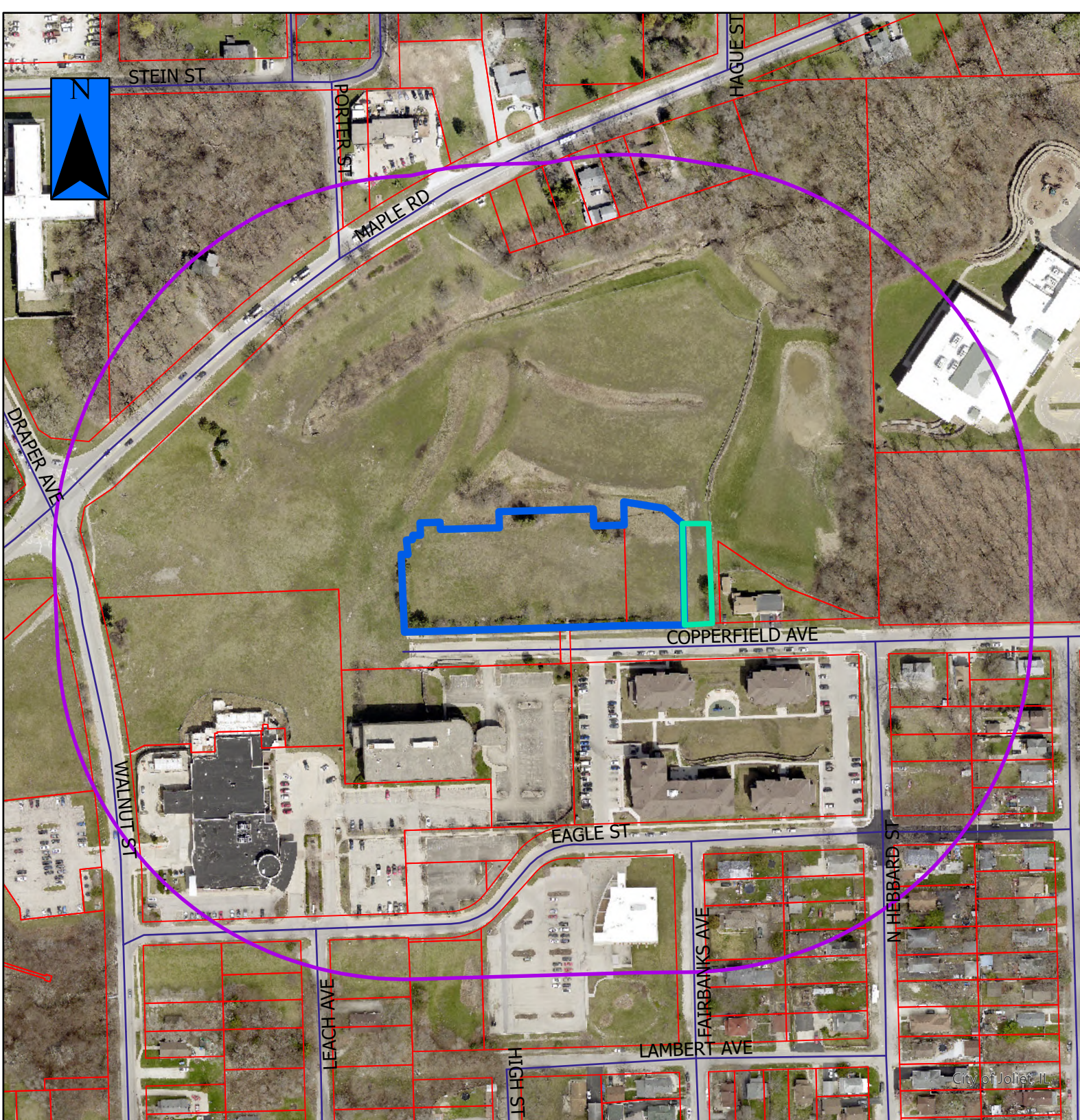
There are two vehicular access points for the site: the west parking area is accessed from Copperfield Avenue and the north parking area is accessed from a private driveway along the east side of the development. The private driveway, as well as the western portion of Copperfield Avenue that was previously vacated, are owned by Silver Cross Hospital. An ingress/egress easement will need to be provided over the private driveway. Site improvements include resurfacing Copperfield Avenue from its western terminus to Hebbard Street, providing streetlights along Copperfield Avenue, and

replacing any deteriorated public sidewalk. Storm detention is provided off-site in the existing detention facility to the north.

The PUD attachments include the site plan, floor plans, landscaping plan, architectural plans and renderings, and project narrative. The project narrative includes a scope of development, phasing plan, financial plan, and marketing plan. The project will be primarily funded through programs from the Illinois Housing Development Authority (IHDA). Residents will be identified through referrals from the Will County Problem Solving Courts as outlined in the attachment.

Water and sewer connection fees, school donation fees, and development impact fees will be required for this development. This site does not require a park district contribution due to its location in the Des Plaines River Valley Enterprise Zone, per Section 8.9 of the Subdivision Regulations.

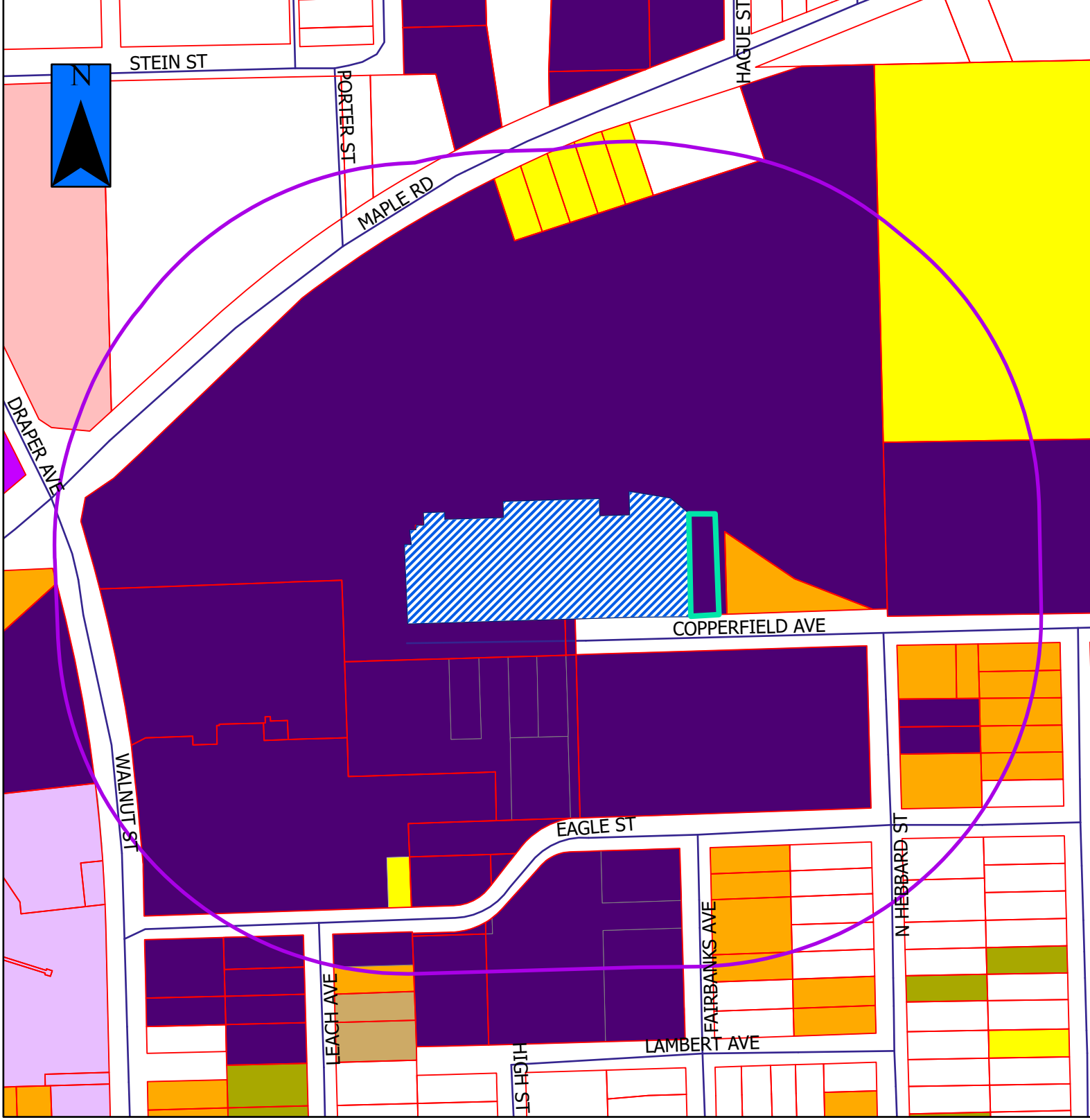
ANALYSIS: Approval of the Preliminary and Final Planned Unit Development of Hope Manor Village Joliet will allow the development of a 48-unit multi-family supportive living facility on 2 acres within the undeveloped portion of the former Silver Cross Hospital campus.



PUD-7-24a & PUD-8-24a



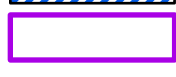





- = Easement Area
- = Property in Question / Propiedad en cuestión
- = 600' Public Notification Boundary /
Límite de notificación pública de 600 ft (180 m)



PUD-7-24 & PUD-8-24

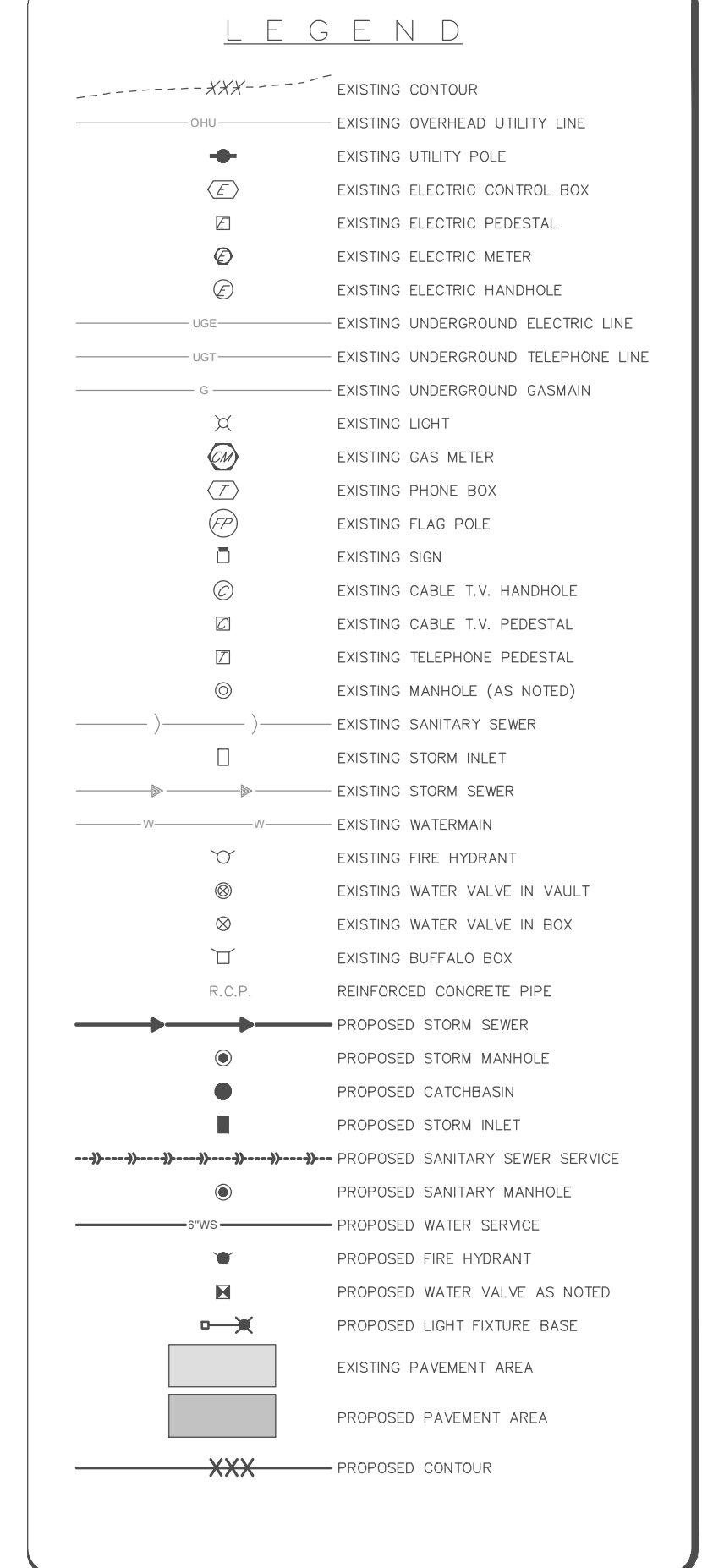


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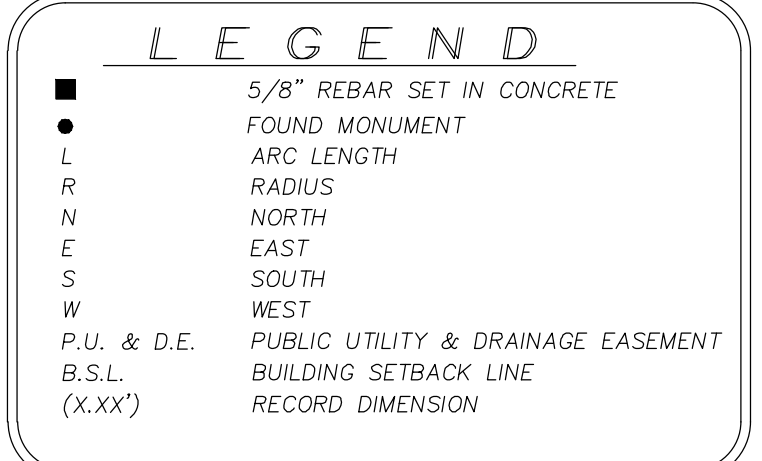
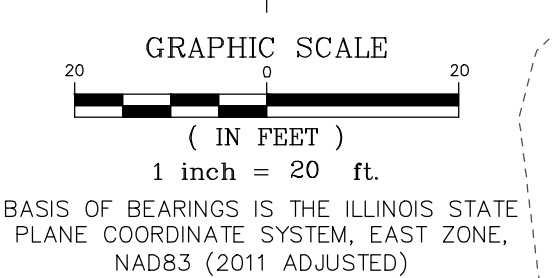
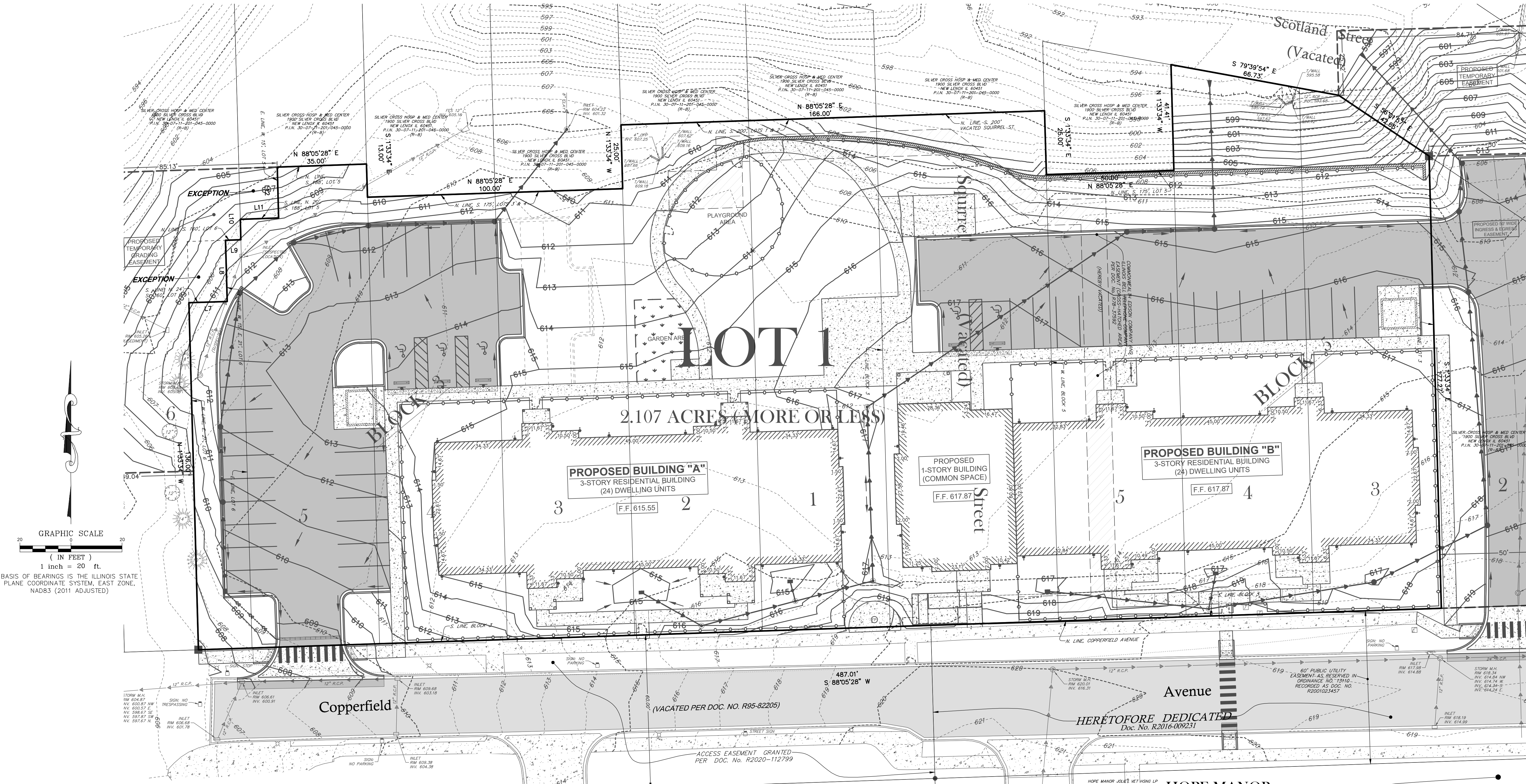
Legend					
	B-1		I-TA		R-2
	B-2		I-TB		R-2A
	B-3		I-TC		R-3
	I-1		R-1		R-4
	I-2		R-1A		R-5
	I-T		R-1B		R-B

PRELIMINARY P.U.D. of HOPE MANOR VILLAGE

A RESUBDIVISION PART OF BLOCK 3, PART OF BLOCK 5, AND PART OF VACATED SQUIRREL STREET, ALL IN HICKORY HILLS SUBDIVISION, A SUBDIVISION BY WILLIAM E. GRINTON, OF THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 11, TOWNSHIP 35 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN WILL COUNTY, ILLINOIS.



- NOTES:**
- 1) THE PUBLIC UTILITY EASEMENT RESERVED OVER THE 16 FOOT WIDE ALLEY AND THE EAST 50' OF VACATED SQUIREL STREET IN ORDINANCE 13110 RECORDED AS DOCUMENT R2001023457 IS HEREBY VACATED.
 - 2) STORM WATER DETENTION FOR THE HOPE MANOR VILLAGE DEVELOPMENT IS PROVIDED IN THE EXISTING DETENTION FACILITY LOCATED IN THE SILVER CROSS HOSPITAL II SUBDIVISION.
 - 3) THE NATIONAL WETLAND INVENTORY DOES NOT INDICATE THE PRESENCE OF WETLAND, WITHIN THE SUBDIVISION.
 - 4) THE SUBDIVISION LIES OUTSIDE OF ANY FLOODPLAIN LIMITS ACCORDING TO FIRM MAP 17197C0170 G, EFFECTIVE 2-15-2019.
 - 5) REMOVE AND REPLACE ANY DETERIORATED OR DAMAGED SIDEWALK ADJACENT TO LOT 1.
 - 6) REMOVE AND REPLACE CURB AND GUTTER THROUGH DRIVEWAY APRONS. NEW CURB AND GUTTER SHALL BE DEPRESSED B-6.12.
 - 7) DRIVEWAY APRONS SHALL BE 8" P.C.C. WITH WIRE MESH. REINFORCEMENT OVER 4" AGGREGATE BASE COURSE.
 - 8) COPPERFIELD AVENUE RESURFACING SHALL INCLUDE A 1 1/2" BITUMINOUS SURFACE REMOVAL WITH INSTALLATION OF 1 1/2" BITUMINOUS SURFACE COURSE FROM THE WEST END TO HEBBARD STREET
 - 9) THE PROPOSED STREET LIGHTS ARE TO BE COMED 25 FT MOUNTING HEIGHT CONCRETE POLES WITH 150 WATT HIGH PRESSURE SODIUM BULBS.



HOPE MANOR
Silver Cross Hospital II
Subdivision Unit I
Per Doc. No. R2016-009231

LINE	LENGTH	BEARING
L7	15.00'	N 88°05'28" E
L8	24.00'	N 1°33'34" W
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RT & TWIG
Ruettiger, Tonelli & Associates, Inc. & TWIG Technologies

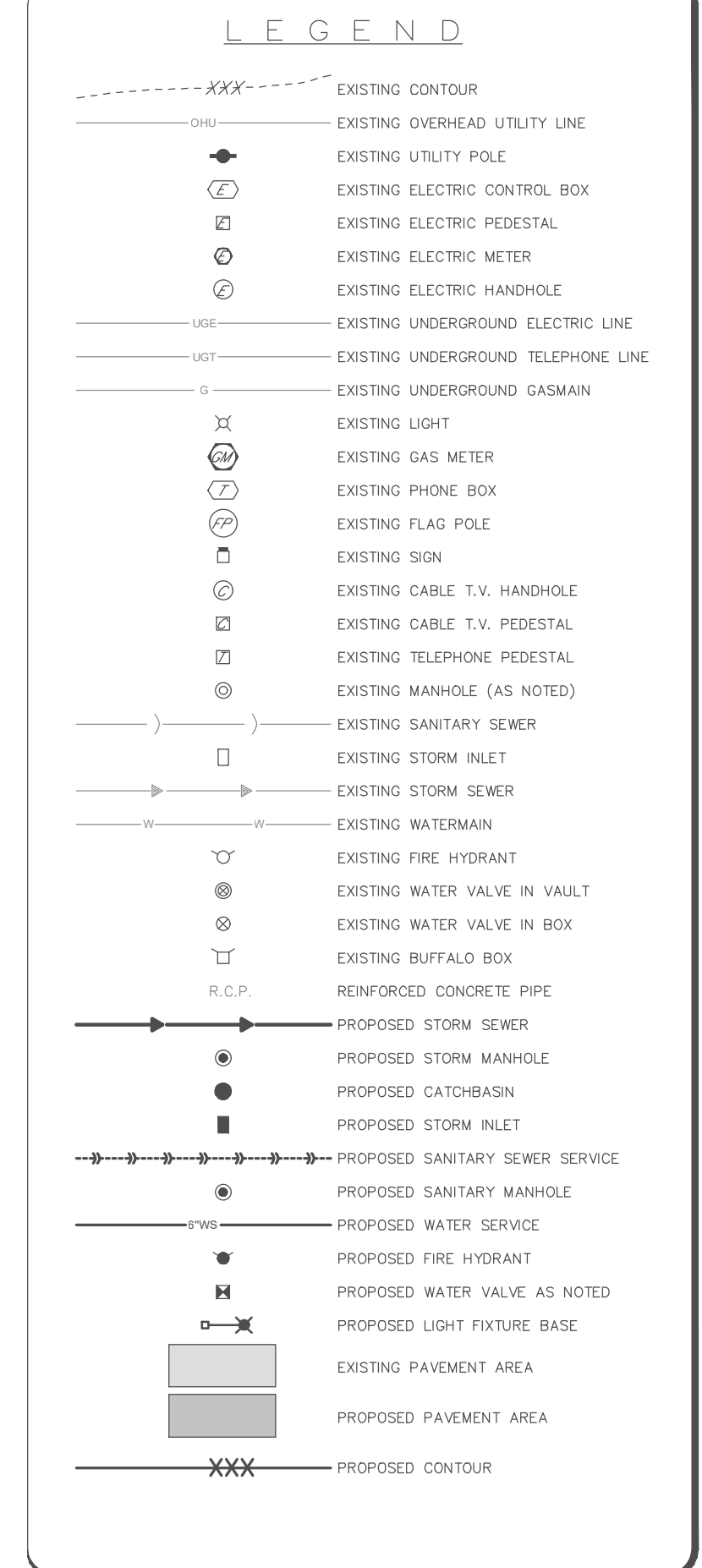
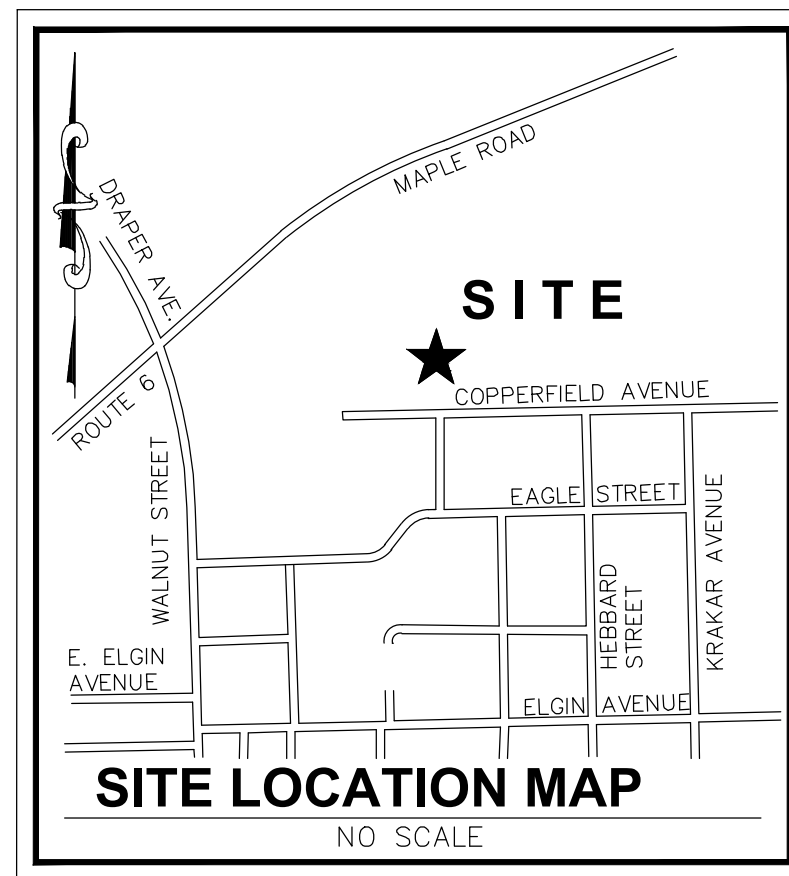
Surveyors - Engineers - Planners - G.I.S. Consultants
129 Capita Drive - Shorewood, Illinois 60404
Ph: (815) 744-6600 Website: www.ruettigertonnelli.com

DATE CREATED: 10/01/2024
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PAGE: *
DRAWN BY: bsm

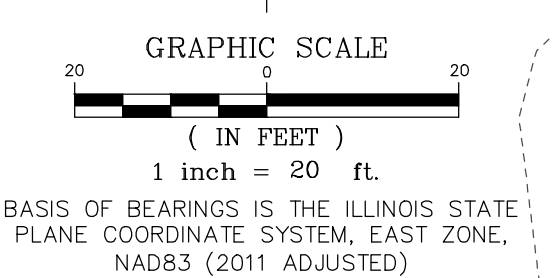
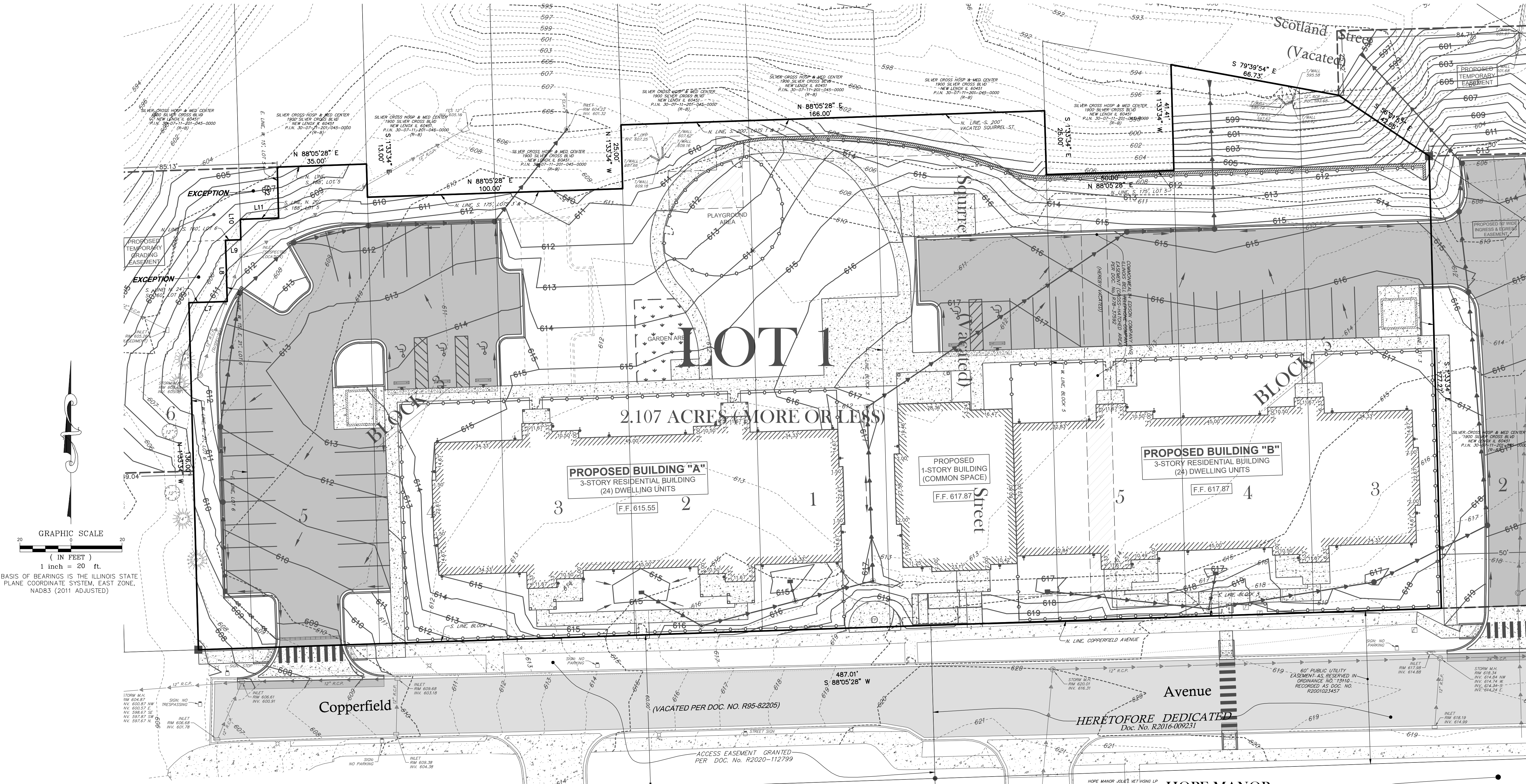
R. T. & A. REG. NO.: *
REVISION *
DESCRIPTION *
BY *
DATE *
321-1113-F

FINAL P.U.D. of HOPE MANOR VILLAGE

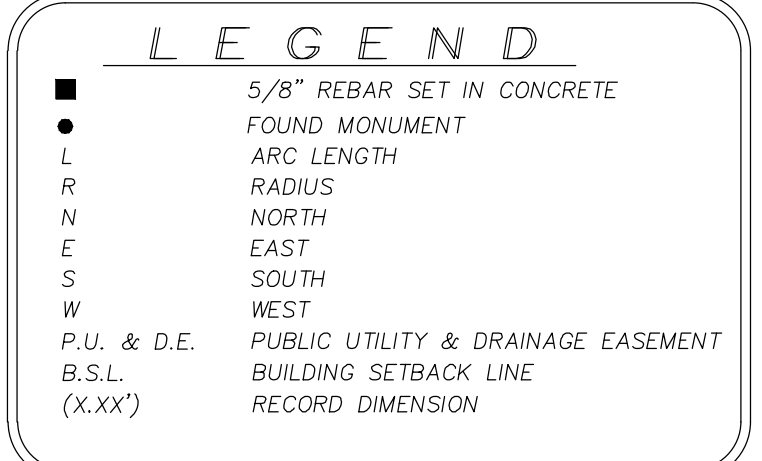
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LOT 1
Silver Cross Hospital II
Subdivision Unit I
Per Doc. No. R2020-112799



HOPE MANOR
Silver Cross Hospital II
Subdivision Unit I
Per Doc. No. R2016-009231

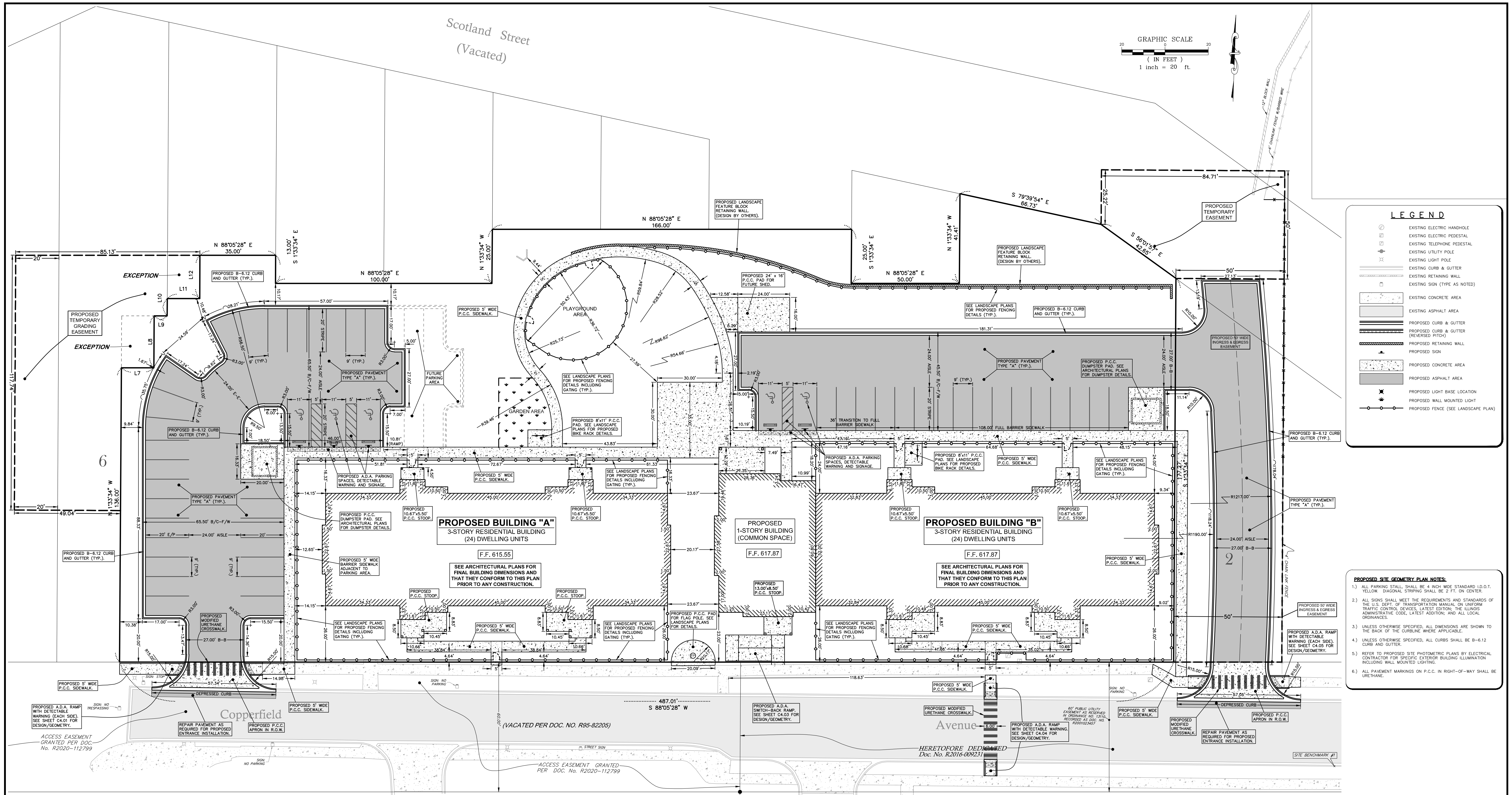
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RT & TWIG
Ruettiger, Tonelli & Associates, Inc. & TWIG Technologies

Surveyors - Engineers - Planners - G.I.S. Consultants
129 Capita Drive - Shorewood, Illinois 60404

DATE CREATED: 10/01/2024
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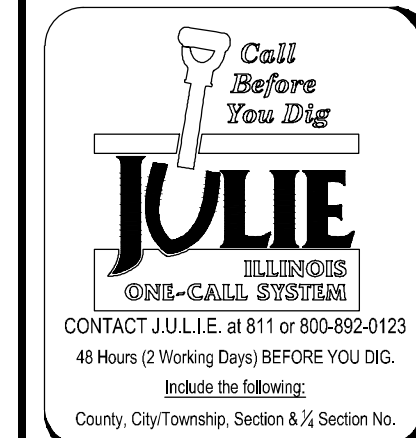
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DESCRIPTION: *
321-1113-F



LEGEND

- EXISTING ELECTRIC HANDHOLE
- EXISTING ELECTRIC PEDESTAL
- EXISTING UTILITY POLE
- EXISTING RETAINING WALL
- EXISTING SIGN (TYPE AS NOTED)
- EXISTING CONCRETE AREA
- EXISTING ASPHALT AREA
- PROPOSED CURB & GUTTER
- PROPOSED RETAINING WALL
- PROPOSED SIGN
- PROPOSED CONCRETE AREA
- PROPOSED ASPHALT AREA
- PROPOSED LIGHT BASE LOCATION
- PROPOSED WALL MOUNTED LIGHT
- PROPOSED FENCE (SEE LANDSCAPE PLAN)

- ### PROPOSED SITE GEOMETRY PLAN NOTES
- 1.) ALL PARKING STALLS SHALL BE 4 INCH WIDE STANDARD I.D.O.T. YELLOW DIAGONAL STRIPING SHALL BE 2 FT. ON CENTER.
 - 2.) ALL SIGNS SHALL MEET THE REQUIREMENTS AND STANDARDS OF THE U.S. DEPT. OF TRANSPORTATION MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION; THE ILLINOIS ADMINISTRATIVE CODE, LATEST ADDITION; AND ALL LOCAL ORDINANCES.
 - 3.) UNLESS OTHERWISE SPECIFIED, ALL DIMENSIONS ARE SHOWN TO THE BACK OF THE CURBLINE WHERE APPLICABLE.
 - 4.) UNLESS OTHERWISE SPECIFIED, ALL CURBS SHALL BE 8-6.12 CURB AND GUTTER.
 - 5.) REFER TO PROPOSED SITE PHOTOMETRIC PLANS BY ELECTRICAL CONTRACTOR FOR SPECIFIC EXTERIOR BUILDING ILLUMINATION INCLUDING WALL MOUNTED LIGHTING.
 - 6.) ALL PAVEMENT MARKINGS ON P.C.C. IN RIGHT-OF-WAY SHALL BE URETHANE.



LOT 1
Silver Cross Hospital II
Subdivision Unit 1
Per Doc. No. R2020-112799

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BENCHMARKS:
MILL COUNTY CONTROL MONUMENT STATION NAME 716.
ELEVATION = 542.82 (NAVD 88)

SITE BENCHMARK #1:
MAGNOLIA IN TOP CURB OPPOSITE OF FIRE HYDRANT
LOCATED ON THE SOUTH SIDE OF COPPERFIELD AVENUE
NEAR THE SOUTHWEST CORNER OF SUBJECT PARCEL.
ELEVATION = 419.70 (NAVD 88)

Parking Summary:

Standard Parking Spaces: 43
A.D.A. Parking Spaces: 5
Total Spaces Provided On-Site: 48

REVISIONS				DOCUMENTATION:			
No.	DATE	DESCRIPTION	BY	No.	DATE	DESCRIPTION	BY
0	10-18-2024	ISSUED FOR PERMIT	R.P.				

PROJECT TITLE: **HOPE MANOR VILLAGE**
129 Cassius Drive - Shorewood, Illinois 60404
Pl. (815) 744-6600 Website: www.ruettingertonielli.com

RT & TWiG
Ruettinger, Tonelli & Associates, Inc. & TWiG Technologies
Surveyors - Engineers - Planners - G.I.S. Consultants

PROJECT TITLE: **HOPE MANOR VILLAGE**
1301 COPPERFIELD AVENUE / 1200 MAPLE ROAD
JOLIET, ILLINOIS 60432

DRAWING TITLE: **ISSUED FOR PERMIT**
DRAWING No. 321-1113-C1
SCALE: AS NOTED
SHEET **C5.00**

N:\Projects\2024\1113\Engineering\Plan_Site\1 - Hope Manor Phase 02.00 Proposed Site Geometry\Plan_001 - 10/17/2024 1:42:09 PM - Michael Cheney

PLANT SCHEDULE:

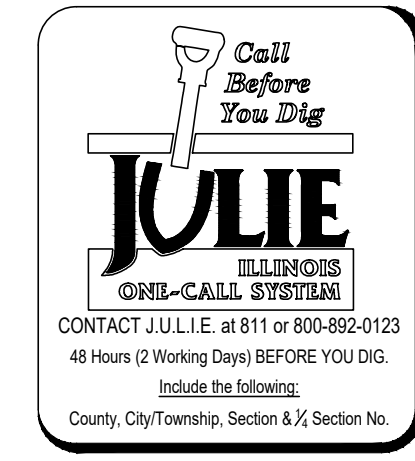
SYMBOL	KEY	COMMON/LATIN NAME	SIZE	CONDITION*	SPACING
SHADE TREES					
AM	+	AUTUMN BLAZE MAPLE ACER X FREEMANII JEFFRESD	2" CAL.	B & B	SPECIMEN
BC	+	BALD CYPRESS TAXODIUM DISTICHUM	2" CAL.	B & B	SPECIMEN
CH	+	COMMON HACKBERRY CELTIS OCCIDENTALIS	2" CAL.	B & B	SPECIMEN
GP	+	PRINCETON SENTRY MAIDENHAIR TREE GINKGO BILOBA PRINCETON SENTRY	2" CAL.	B & B	SPECIMEN
HL	+	SKYLINE THORNLESS HONEYLOCUST GLEDITSIA TRIACANTHOS VAR. INERMIS	2" CAL.	B & B	SPECIMEN
KC	+	KENTUCKY COFFEETREE GYMNOCLADUS DIOICUS 'ESPRESSO'	2" CAL.	B & B	SPECIMEN
SW	+	SWAMP WHITE OAK QUERCUS BICOLOR	2" CAL.	B & B	SPECIMEN
RO	+	REGAL PRINCE OAK QUERCUS X WAREI LONG	2" CAL.	B & B	SPECIMEN

NOTE: ALL PLANTS TO BE SELECTED FROM THIS LIST

SYMBOL	KEY	COMMON/LATIN NAME	SIZE	CONDITION*	SPACING
EVERGREEN TREES					
BS	+	BLACK HILLS SPRUCE PICEA GLAUCA VAR. DENSATA	6" HT.	B & B	SPECIMEN
CJ	+	CANAERTI RED CEDAR JUNIPER JUNIPERUS VIRGINIANA CANAERTII	6" HT.	B & B	SPECIMEN
EW	+	EASTERN WHITE PINE PINUS STROBUS	6" HT.	B & B	SPECIMEN
LP	+	LIMBER PINE PINUS FLEXILIS	6" HT.	B & B	SPECIMEN
SS	+	SERBIAN SPRUCE PICEA AMORICA	6" HT.	B & B	SPECIMEN
ORNAMENTAL TREES					
FC	+	RED JEWEL FLOWERING CRABAPPLE MALUS SPECIES	6" HT.	B & B	SPECIMEN
JL	+	JAPANESE TREE LILAC SYRINGA RETICULATA	6" HT.	B & B	SPECIMEN
RB	+	RIVER BIRCH BETULA NIGRA	6" HT.	B & B	SPECIMEN
SB	+	SHADBLOW SERVICEBERRY AMELANCHER CANADENSIS	6" HT.	B & B	SPECIMEN

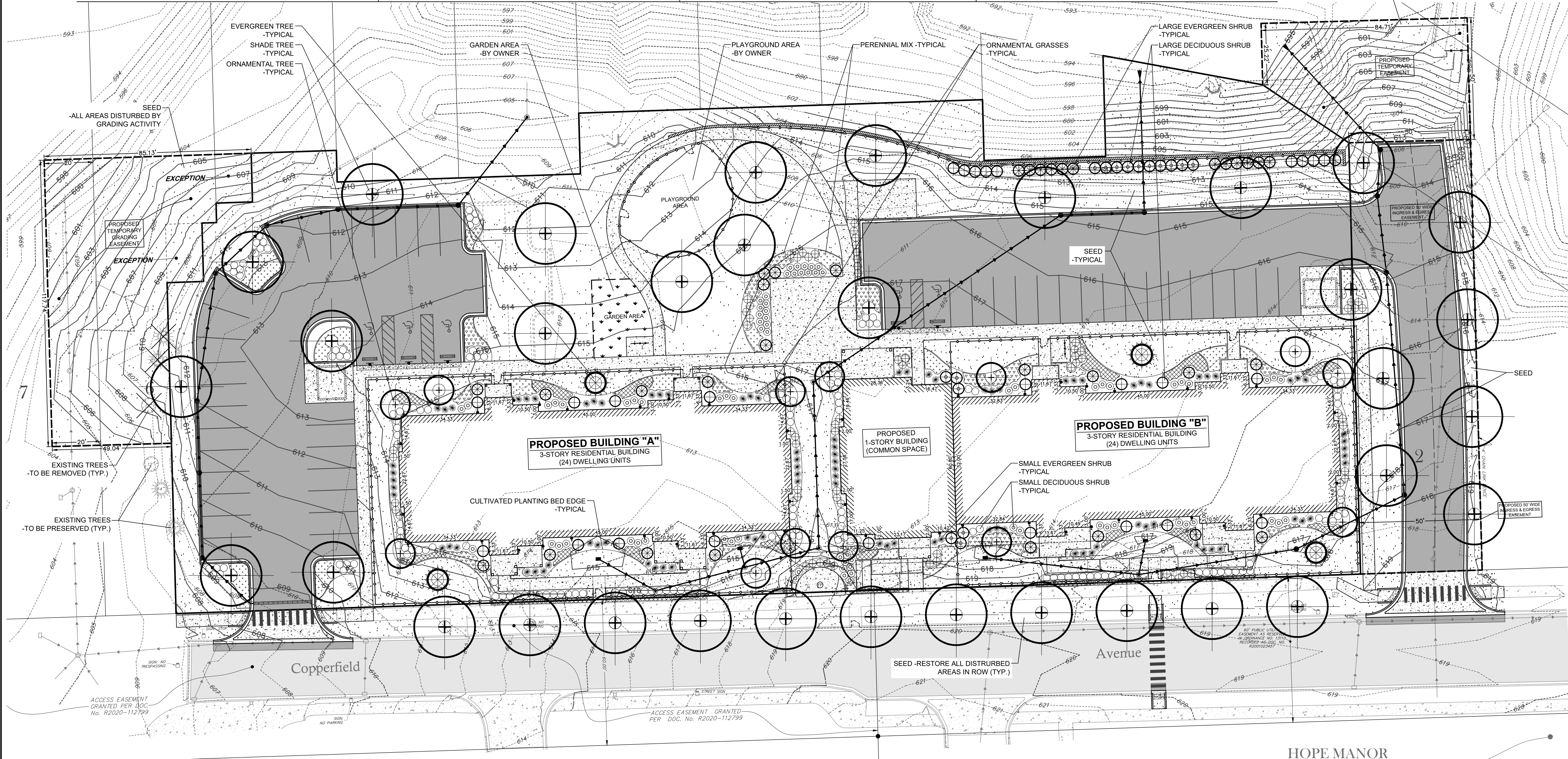
SYMBOL	KEY	COMMON/LATIN NAME	SIZE	CONDITION*	SPACING
EVERGREEN SHRUBS					
DY	+	DENSE YEW TAXUS X MEDIA DENSIFORMIS	24"	B & B	3' O.C.
EA	+	EMERALD GREEN ARBORVITAE THUJA OCCIDENTALIS SMARAGD	5' HT.	B & B	4.5' O.C.
KJ	+	KALLAY JUNIPER JUNIPERUS CHINENSIS VAR. KALLAY'S COMPACT	24"	B & B	4.5' O.C.
DECIDUOUS SHRUBS					
AC	+	DWARF ALPINE CURRANT RIBES ALPNUM GREEN MOUND	24"	B & B	3' O.C.
AV	+	ARROWWOOD VIBURNUM VIBURNUM DENTATUM CHICAGO LUSTRE	24"	B & B	4.5' O.C.
GS	+	GRO-LOW SUMAC RHUS AROMATICA	24"	B & B	3' O.C.
KH	+	KODIAK RED BUSH HONEYSUCKLE DIERVILLA G2X85411	24"	B & B	3' O.C.
LH	+	LIMELIGHT HYDRANGEA HYDRANGEA PANICULATA	30"	B & B	4.5' O.C.
ML	+	MISS KIM LILAC SYRINGA PATULA	36"	B & B	4.5' O.C.
RD	+	RED DRIFT ROSE ROSA MEIGALPIO	18"	B & B	3' O.C.

SYMBOL	KEY	COMMON/LATIN NAME	SIZE	CONDITION*	SPACING
GROUNDCOVERS AND PERENNIALS					
KG	+	KARL FOERSTER FEATHER REED GRASS CALAMAGROSTIS X ACUTIFLORA	3G.	CONTR.	3' O.C.
PD	+	PRAIRIE DROPSIDE SPOROBOLEUS HETEROLEPIS	1G.	CONTR.	2' O.C.
PM1	+	PERENNIAL MIX #1 HAPPY RETURNS DAHLIA / HEMEROCALLIS SPECIES 60% RUSSIAN SAGE / PEROVSKIA ATRIPLICIFOLIA 40%	1G.	CONTR.	2' O.C.
PM2	+	PERENNIAL MIX #2 AUTUMN MOOR GRASS / SELARIA AUTUMNALIS 50% WESUVE SALVIA / SALVIA NEMOROSA 50%	1G.	CONTR.	2' O.C.
SEED	+	SEEDED LAWN SUNGOLD TURF TYPE TALL FESCUE BLEND**	S.Y.	WI BLANKET***	



* IF B & B PLANTS ARE NOT AVAILABLE DUE TO TIME OF SEASON, CONTAINER PLANTS MAY BE SUBSTITUTED, AS APPROVED BY THE LANDSCAPE ARCHITECT (5 GAL. MINIMUM FOR ALL SHRUBS).
 ** SEED MIX TO BE SUPPLIED BY CLESEN (708) 444-2177 (OR APPROVED EQUAL). INSTALL PER MFR. SPECIFICATIONS.
 *** ALL SEEDED AREAS TO BE COVERED WITH SEED BLANKET. 10S-75 SEED BLANKET TO BE INSTALLED IN ALL AREAS AS SUPPLIED BY NORTH AMERICAN GREEN (800) 772-2040 (OR APPROVED EQUAL). INSTALL PER MFR. SPECIFICATIONS.

SEED - ALL AREAS DISTURBED BY GRADING ACTIVITY



REVISIONS	
DATE	DESCRIPTION

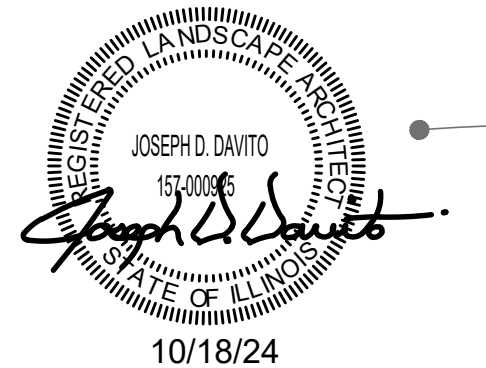
HOPE MANOR VILLAGE
 1301 COPPERFIELD AVE. / 1200 MAPLE AVE.
 JOLIET, ILLINOIS

PRELIMINARY LANDSCAPE PLAN
 SCALE: 1" = 20'-0"
 DATE: OCTOBER 18, 2024
 DRAWN BY: J. DAVITO, PLA
 CHECKED BY: JDD

J. DAVITO DESIGN, INC.
 LANDSCAPE ARCHITECTURAL DESIGN
 2735 KINGSTON DRIVE
 (847) 488-8797
 WWW.JDAVITODESIGN.COM

J. DAVITO DESIGN, INC. COPYRIGHT © 2024

LOT 1
 Silver Cross Hospital II
 Subdivision Unit 1
 Per Doc. No. R2020-112799

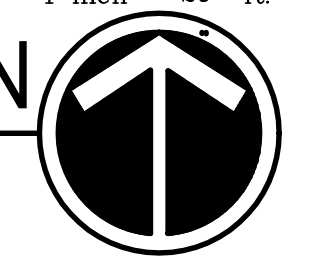
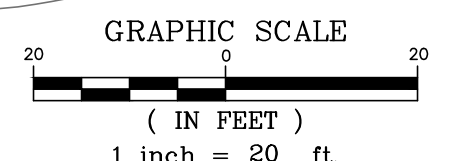


10/18/24

HOPE MANOR
 Silver Cross Hospital II
 Subdivision Unit 1
 Per Doc. No. R2016-009231

PRELIMINARY LANDSCAPE PLAN

NOTE: ALL BASE INFORMATION PROVIDED BY TWIG TECHNOLOGIES
 (815) 744-6600



PROJ. NO. 24-017
L1.00



A BUILDING A LOOKING NORTHEAST

HOPE MANOR VILLAGE JOLIET

DRAFT - NOT FOR CONSTRUCTION

VOLUNTEERS OF AMERICA OF ILLINOIS
47 W. Polk Street, Suite 250
Chicago, IL 60605

1301 Copperfield Ave. / 1200 Maple Rd.
Joliet, IL 60432
9/7/23

A4.5

©2023 WJW ARCHITECTS

WJW
Architects
401 W. Superior St., Suite 400 Chicago, IL 60654
312-642-5587 www.wjwarchitects.com



A BUILDING B LOOKING NORTHEAST

DRAFT - NOT FOR CONSTRUCTION

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Chicago, IL 60605

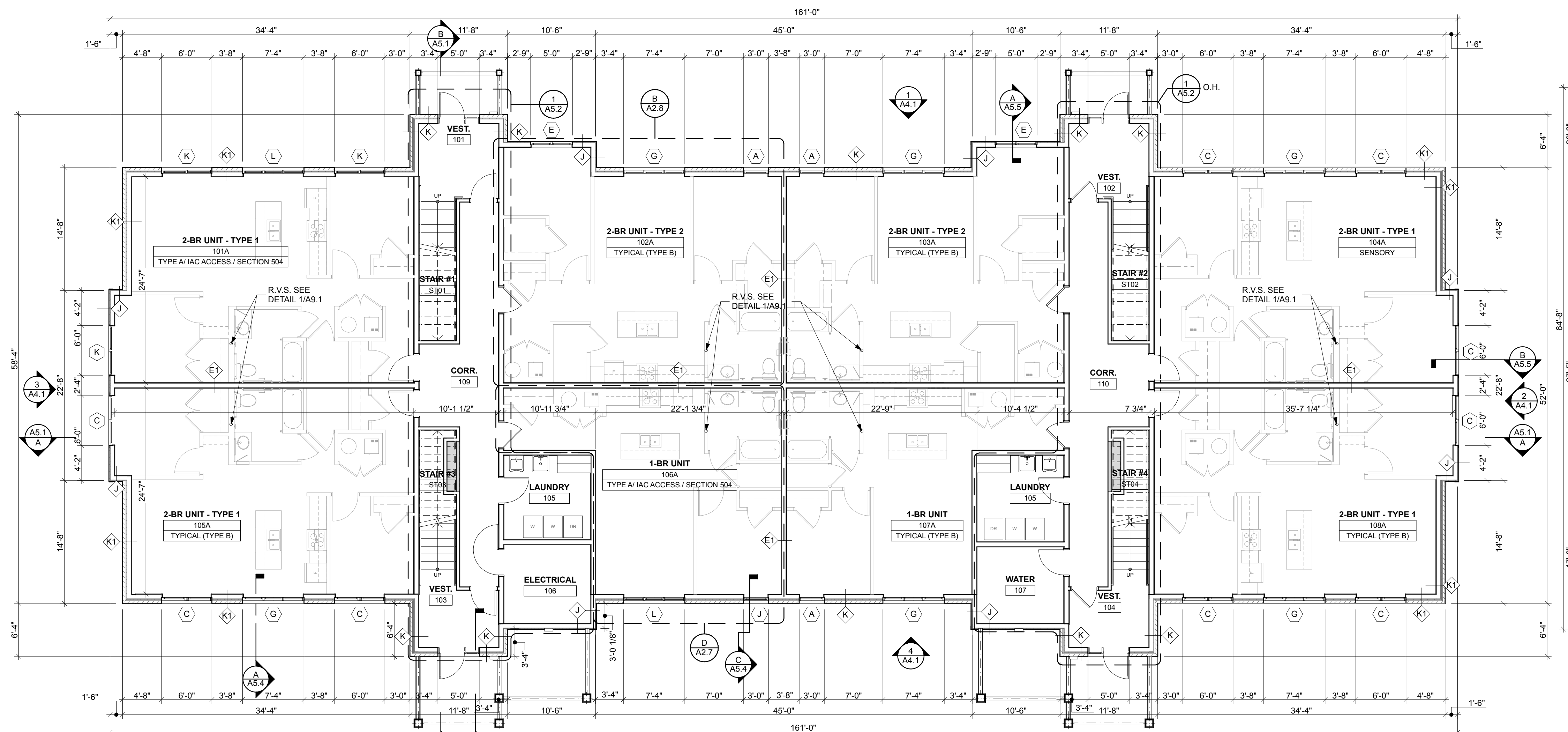
HOPE MANOR VILLAGE JOLIET

1301 Copperfield Ave. / 1200 Maple Rd.
Joliet, IL 60432
9/7/23

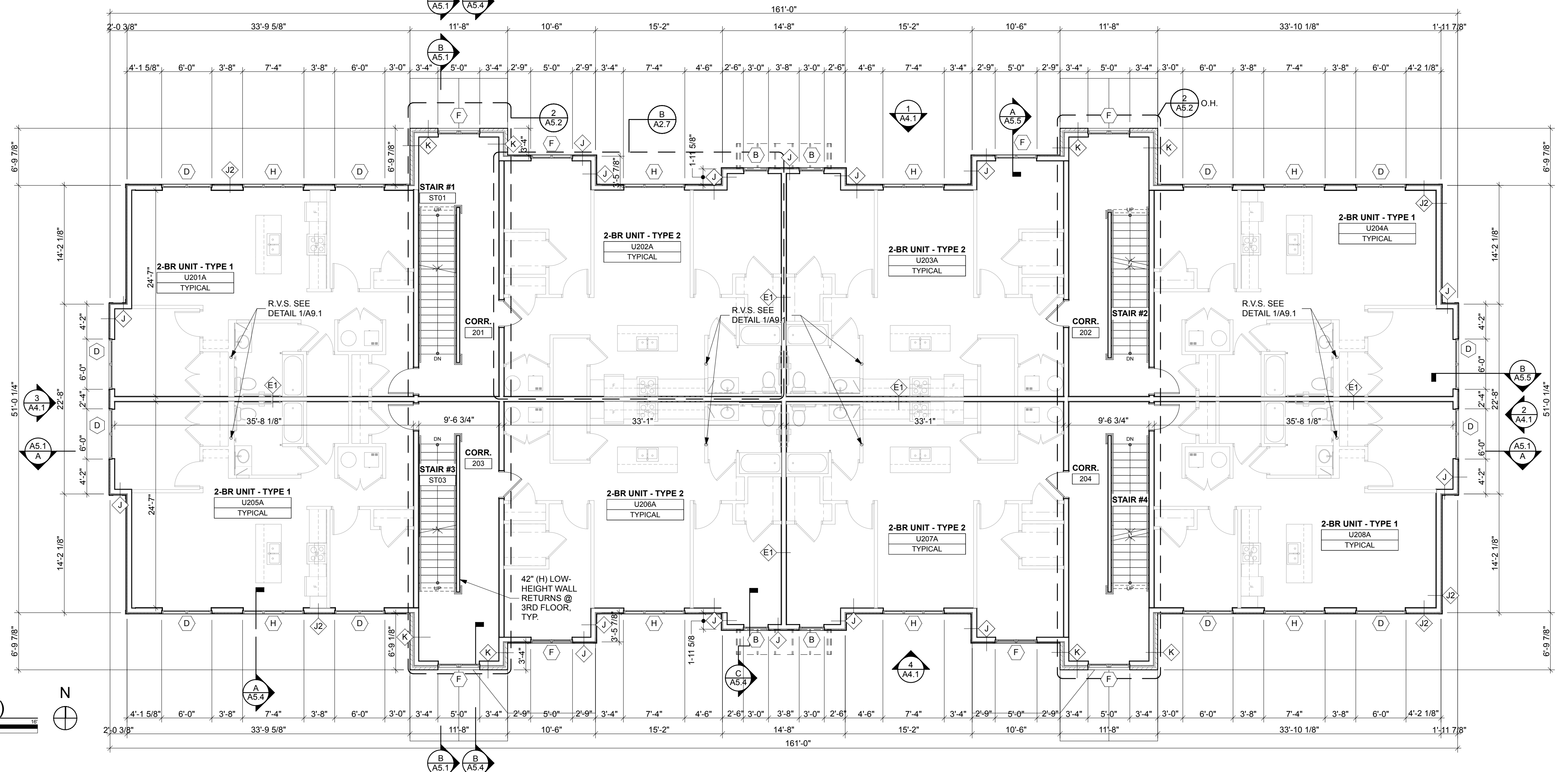
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WJW
Architects
401 W. Superior St., Suite 400 Chicago, IL 60654
312-642-5587 www.wjwarchitects.com



A BUILDING A - FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"



B BUILDING A - TYPICAL FLOOR PLAN (FLOORS 2-3)
SCALE: 1/8" = 1'-0"

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CONSULTANT INFORMATION:

GENERAL NOTES:

NO.	ISSUED FOR	DATE
1	75% DESIGN DEVELOPMENT	09/09/24
2	100% DESIGN DEVELOPMENT	09/30/24

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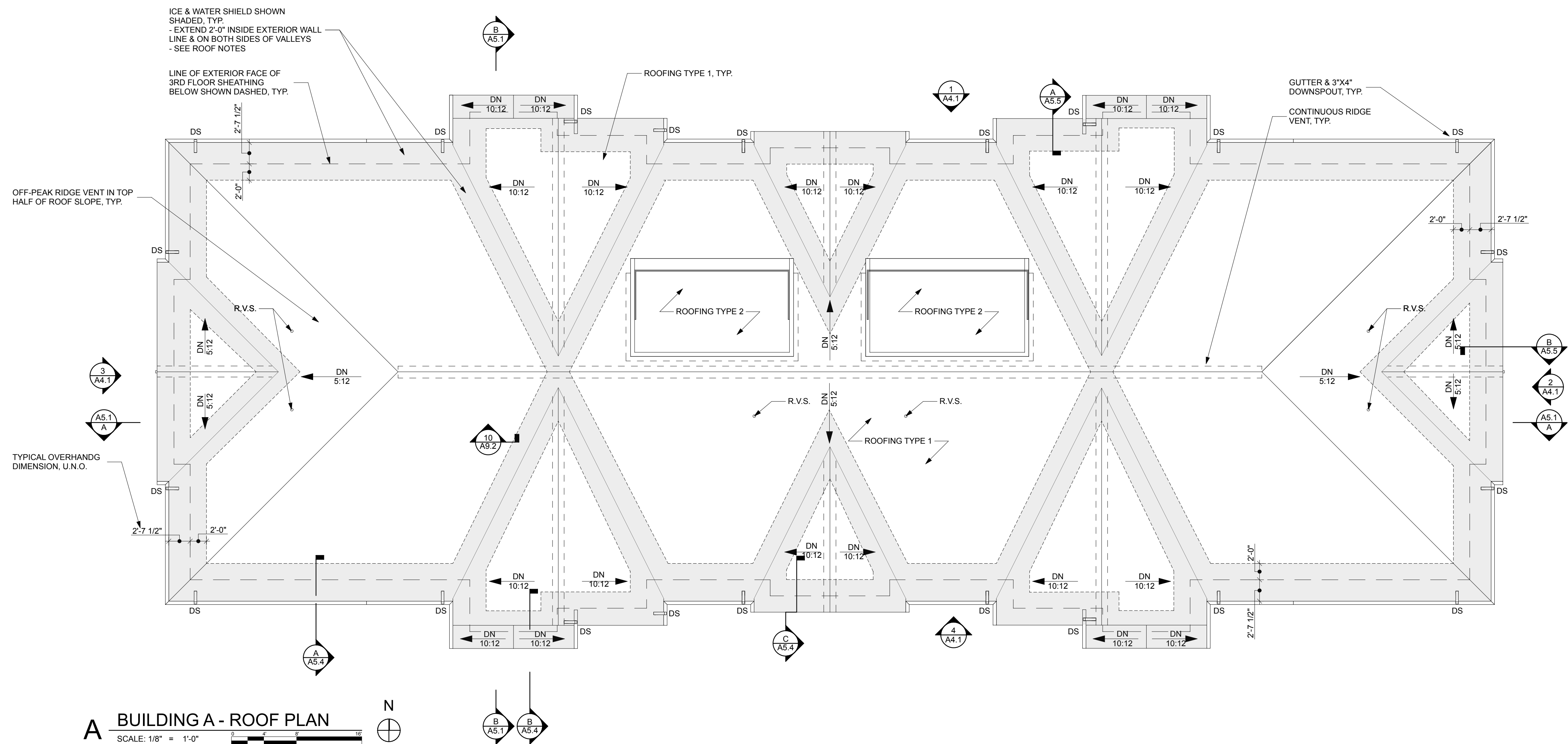
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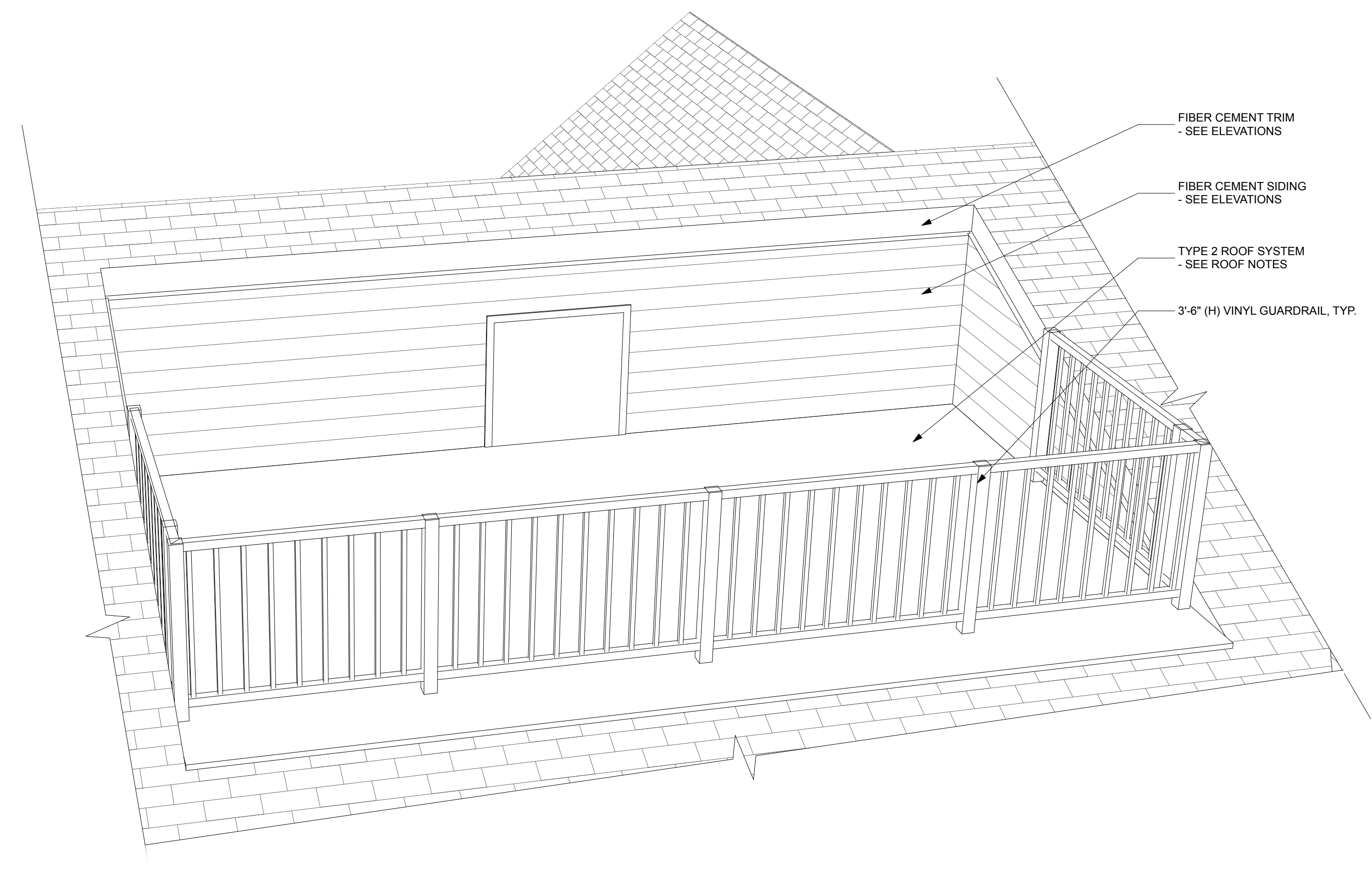
EXPIRATION DATE: 11.30.2024

BUILDING A - 1ST & TYPICAL (FLRS 2-3) FLOOR PLAN

PROJECT NUMBER XXXXX	SHEET NUMBER A2.1
WJW PROJECT NUMBER 21898	CHECKED BY EG
DRAWN BY CA/JC/JT/TT	



A BUILDING A - ROOF PLAN
SCALE: 1/8" = 1'-0"



B 3D VIEW OF ROOF WELL
NOT TO SCALE

- ROOF NOTES**
- INSTALL ROOF SYSTEMS PER MANUFACTURER'S SPECIFIED REQUIREMENTS.
 - FLASHING SHALL BE PROVIDED AT ALL ROOF PENETRATIONS, ROOF TERMINATIONS, ROOF PITCH CHANGES, VALLEYS AND ROOF WALL INTERSECTIONS PER MANUFACTURER'S SPECIFIED REQUIREMENTS.
 - REFER TO MECHANICAL PLANS FOR ROOF CURB LOCATIONS & SPECIFICATIONS.
 - INSURE THAT ALL MECHANICAL AND/OR PLUMBING CURBS ARE INSTALLED SO THAT ROOF SLOPE AND DRAINAGE ARE MAINTAINED. PROVIDE CRICKETS WHEN NECESSARY.
 - POWER & PLUMBING PENETRATIONS SHALL BE FLASHED & SEALED.
 - FLASH ALL VENT PIPES PASSING THROUGH ROOF. FLASHING SHALL EXTEND 12" IN ALL DIRECTIONS AND SHALL BE 4 LB. LEAD COATED ON BOTH SURFACES W/ LEAD ASPHALTUM. VENT FLASHING SHALL BE CARRIED UP, OVER & TURNED DOWN INTO VENT PIPES.
 - SEE MEP DRAWINGS FOR ALL MEP PENETRATIONS THROUGH ROOF.
 - ALL EQUIPMENT CURBS TO HAVE 4" (45°) CANTS.
 - ROOF/CEILING ASSEMBLY SHALL BE VENTILATED BY MEANS OF CONTINUOUS EAVE & RIDGE VENTS. THE MINIMUM NET FREE VENTILATING AREA SHALL BE 1/300 OF EACH AREA BEING VENTILATED W/ 50% OF THE VENTILATING AREA THROUGH RIDGE VENTS. THE MINIMUM NET FREE VENTILATING AREA SHALL BE 1/150 IN LOW-SLOPE ROOF AREAS.
 - ALL ROOF ASSEMBLIES TO BE 1 HOUR RATED.
 - RADON VENT STACK PENETRATIONS SHALL EXTEND A MINIMUM 1'-0" ABOVE STEEP-SLOPE ROOFS AND MINIMUM 1'-6" ABOVE LOW-SLOPE ROOFING IN ACCORDANCE WITH EPA GUIDELINES.
 - RADON VENT STACKS SHALL BE INSULATED IN ATTIC IN ACCORDANCE WITH EPA GUIDELINES.
 - INSTALL CONT. ICE & WATER SHIELD @ ROOF PERIMETER & VALLEYS PER MFG. REQUIREMENTS. ICE & WATER SHIELD TO EXTEND MIN. 24" INSIDE EXTERIOR WALL LINE OF BUILDING.
 - SEE CIVIL FOR DOWNSPOUT TERMINATION. PROVIDE PRECAST CONCRETE SPLASHBLOCK AND 1'-0" MIN. HORIZONTAL LENGTH DOWNSPOUT LEADER @ BASE WHERE SEWER TIE-IN BELOW GRADE IS NOT REQUIRED BY CIVIL.
 - CONTRACTOR SHALL VERIFY WITH ROOFING MANUFACTURER IF HIGH WIND DESIGN REQUIREMENTS MUST BE FOLLOWED. ANY SUCH REQUIREMENTS SHALL BE STIPULATED ON THE ROOFING SHOP DRAWINGS SUBMITTED TO THE ARCHITECT.
 - APPLY DOUBLE UNDERLAYMENT PER IBC 2015 CODE SECTION 1507 FOR ROOFS W/ SLOPES BETWEEN 2:12 & 4:12.
 - INSTALL GUTTER EXPANSION JOINTS IN QUANTITIES AND LOCATIONS PER MANUFACTURER'S INSTRUCTIONS. INSTALL EXPANSION JOINT COVERS AS REQ'D.
- TYPE 1 - SHINGLE ROOFING**
- ARCHITECTURAL, CLASS A, DIMENSIONAL, SELF-SEALING FIBERGLASS SHINGLE
- 30-YEAR MIN. WARRANTY
- ALGAE-RESISTANT
- CLASS A COVERING AS DEFINED BY ASTM E 108 OR UL 790
- MIN. 100 MPH WIND LOAD
- TAMKO HERITAGE, CERTANTEED LANDMARK, OR OWENS CORNING DURATION
- COLOR AND STYLE BY ARCHITECT
- SEE SECTIONS FOR FULL ASSEMBLY
- TYPE 2 - LOW-SLOPE ROOFING**
- CLASS A
- FULLY ADHERED, COLD-APPLIED, ENERGY-STAR RATED
- SINGLE- OR MULTI-PLY MEMBRANE, WHITE (79 ISRV)
- 20-YEAR WARRANTY
- SEE SECTIONS FOR FULL ASSEMBLY
- PROVIDE VENTS AS REQUIRED BY MEMBRANE MANUFACTURER

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- EXTERIOR DIMENSIONS ARE TAKEN FROM OUTSIDE FACE OF MASONRY VENEER OR OUTSIDE FACE OF SHEATHING FOR WALLS WITH SIDING FINISH, U.N.O.
- SEE INDICATED ENLARGED PLANS & UNIT PLANS FOR MORE DETAIL INFORMATION, INCLUDING DIMENSIONS & WALL TYPE TAGS.
- ALL AREAS SHOWN ON FLOOR PLANS ARE NET INTERIOR AREAS, TAKEN FROM INSIDE FACE OF EXTERIOR AND DEMISING WALLS, U.N.O.

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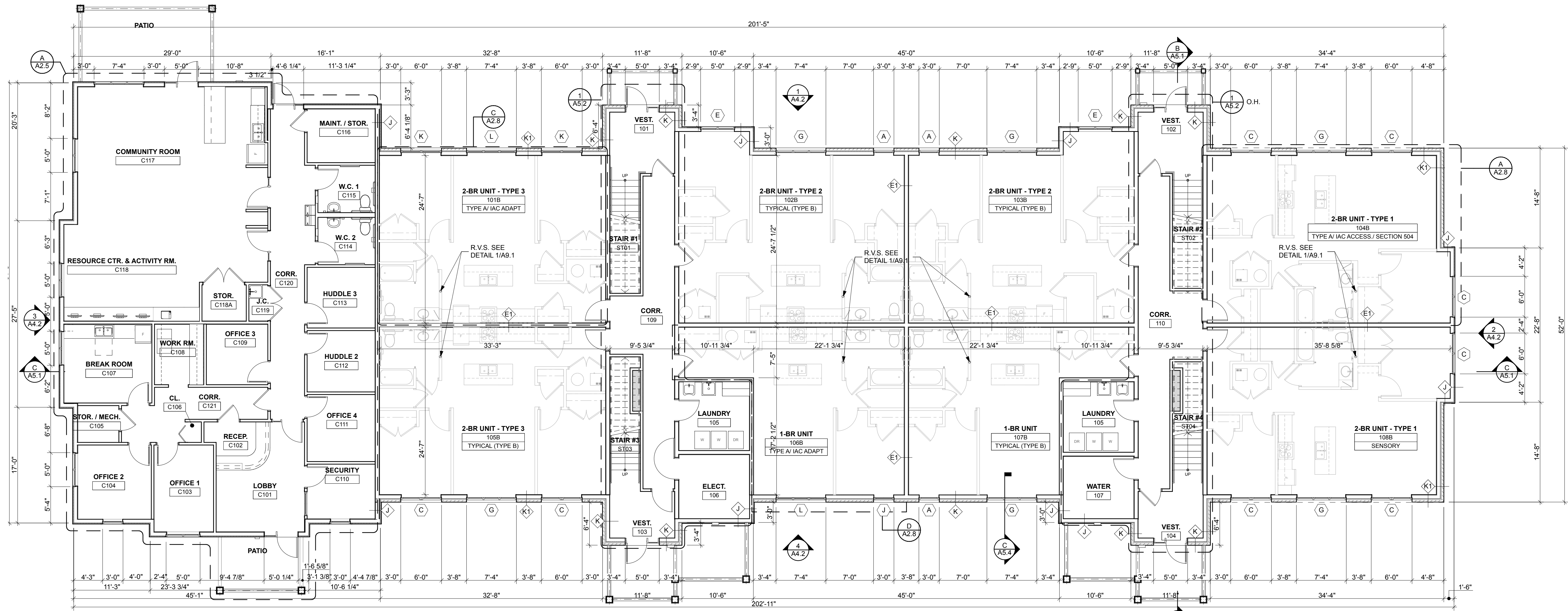
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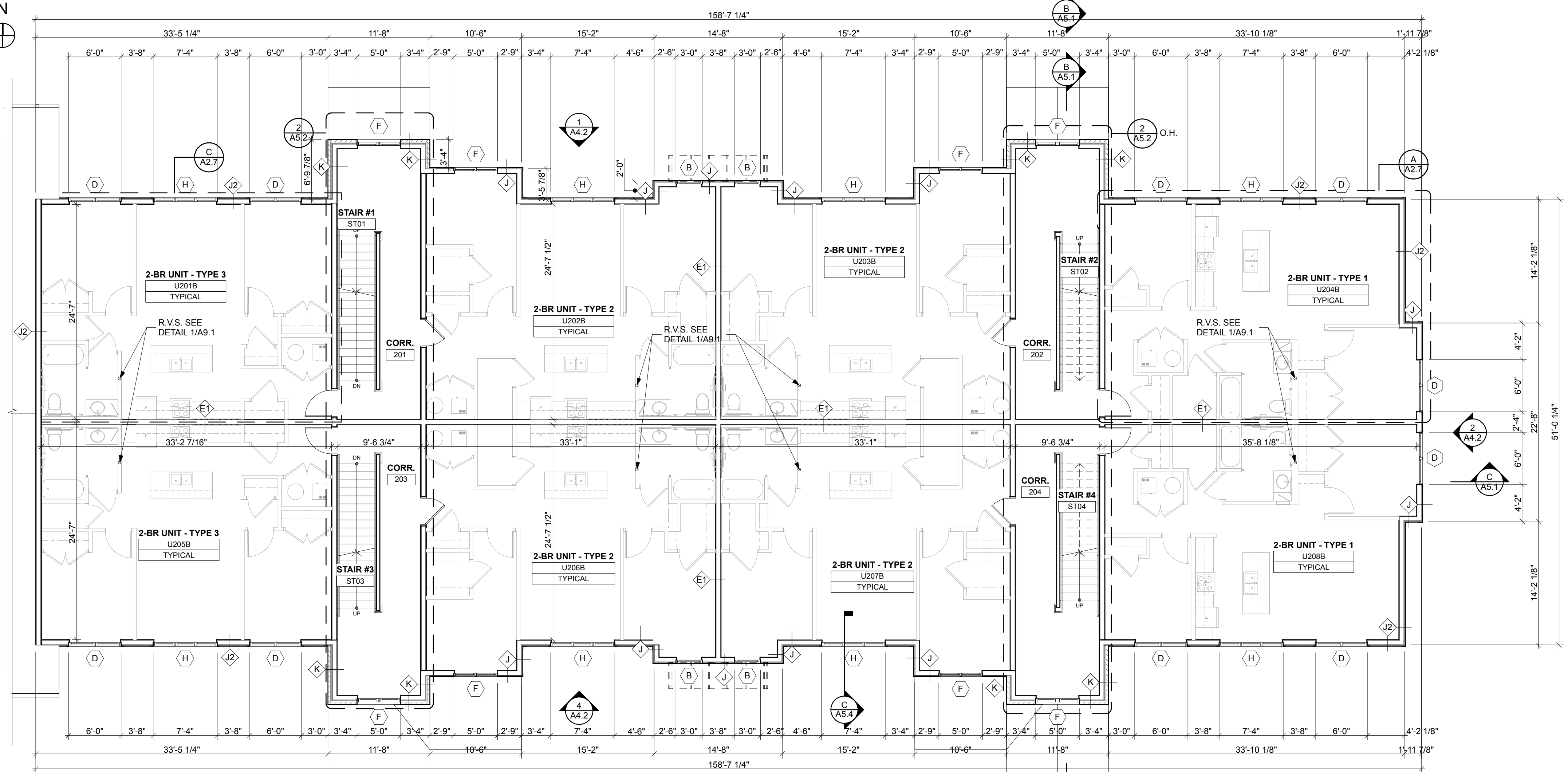
EXPIRATION DATE: 11.30.2024

SHEET NAME
BUILDING A - ROOF PLAN

PROJECT NUMBER XXXXX	SHEET NUMBER A2.2
WJW PROJECT NUMBER 21898	CHECKED BY EG
DRAWN BY CA/JC/JT/TT	



A BUILDING B - FIRST FLOOR PLAN
 SCALE: 1/8" = 1'-0"
 N



B BUILDING B - TYPICAL FLOOR PLAN (FLOORS 2-3)
 SCALE: 1/8" = 1'-0"
 N

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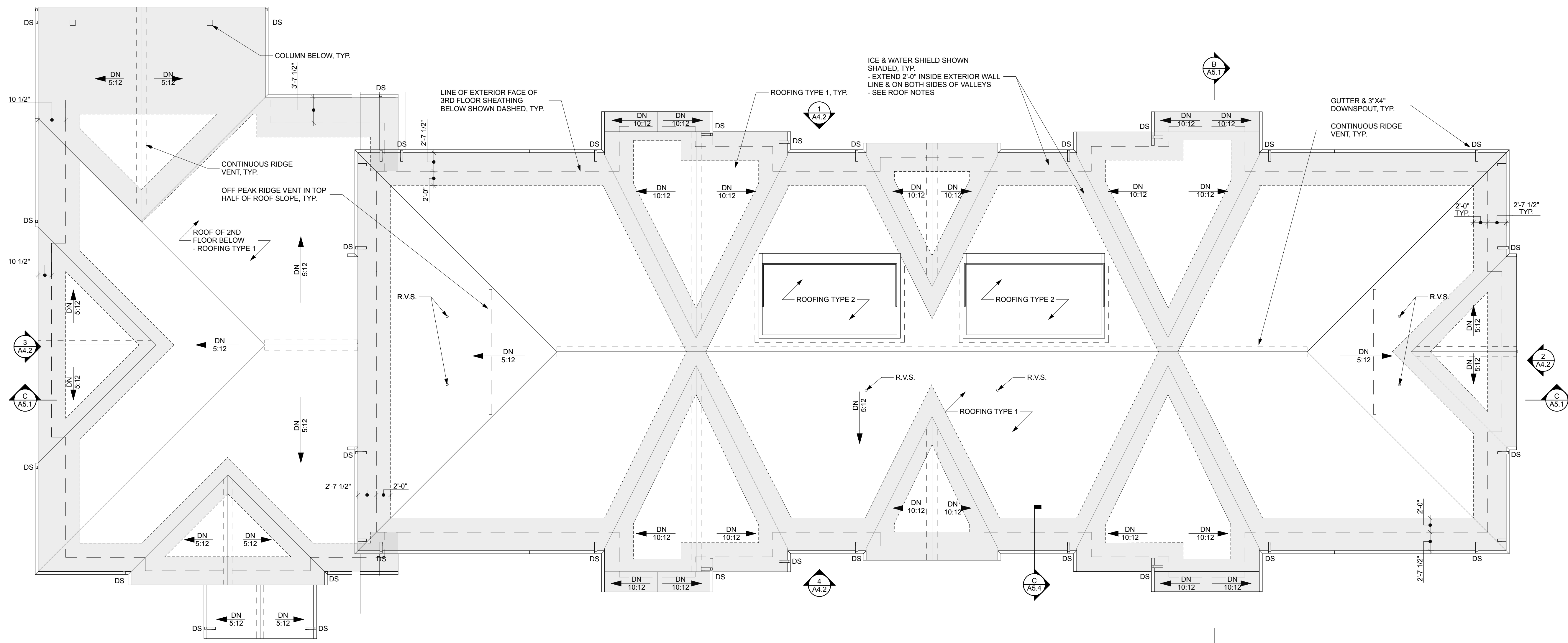
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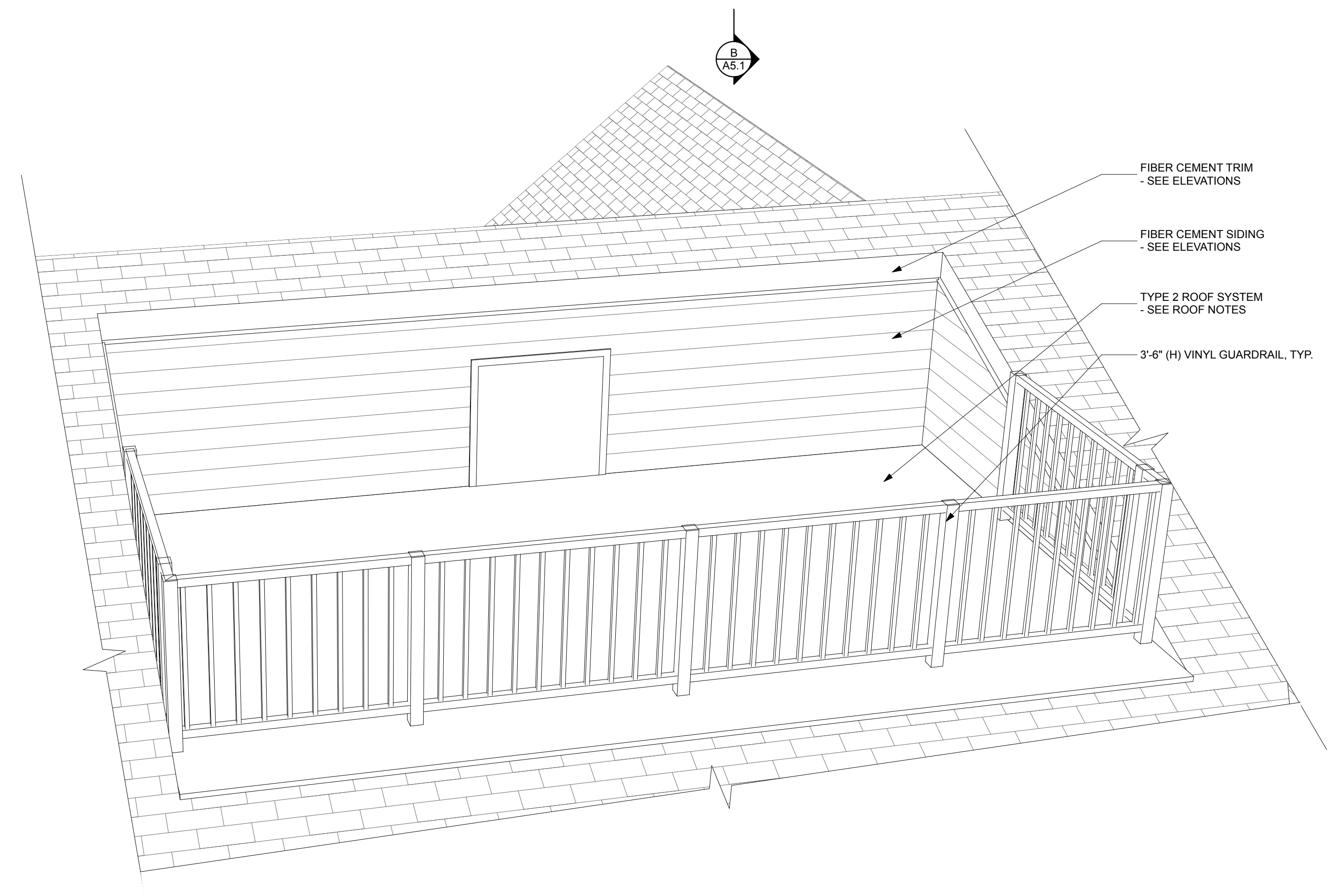
EXPIRATION DATE: 11.30.2024

BUILDING B - 1ST & TYPICAL (FLRS 2-3) FLOOR PLAN

PROJECT NUMBER XXXXX	SHEET NUMBER A2.3
WJW PROJECT NUMBER 21898	DRAWN BY CA/JC/JT/TT
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A BUILDING B - ROOF FLOOR PLAN
 SCALE: 1/8" = 1'-0"



B 3D VIEW OF ROOF WELL
 NOT TO SCALE

ROOF NOTES

- INSTALL ROOF SYSTEMS PER MANUFACTURER'S SPECIFIED REQUIREMENTS.
 - FLASHING SHALL BE PROVIDED AT ALL ROOF PENETRATIONS, ROOF TERMINATIONS, ROOF PITCH CHANGES, VALLEYS AND ROOF/WALL INTERSECTIONS PER MANUFACTURER'S SPECIFIED REQUIREMENTS.
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 - ARCHITECTURAL, CLASS A, DIMENSIONAL, SELF-SEALING FIBERGLASS SHINGLE
 - 30-YEAR MIN. WARRANTY
 - ALGAE-RESISTANT
 - CLASS A COVERING AS DEFINED BY ASTM E 108 OR UL 790
 - MIN. 100 MPH WIND LOAD
 - TAMKO HERITAGE, CERTAINTED LANDMARK, OR OWENS CORNING DURATION.
 - COLOR AND STYLE BY ARCHITECT
 - SEE SECTIONS FOR FULL ASSEMBLY
- TYPE 2 - LOW-SLOPE ROOFING**
 - CLASS A
 - FULLY ADHERED, COLD-APPLIED, ENERGY-STAR RATED
 - SINGLE-OR MULTI-PLY MEMBRANE, WHITE (79 ISRV)
 - 20-YEAR WARRANTY
 - SEE SECTIONS FOR FULL ASSEMBLY
 - PROVIDE VENTS AS REQUIRED BY MEMBRANE MANUFACTURER

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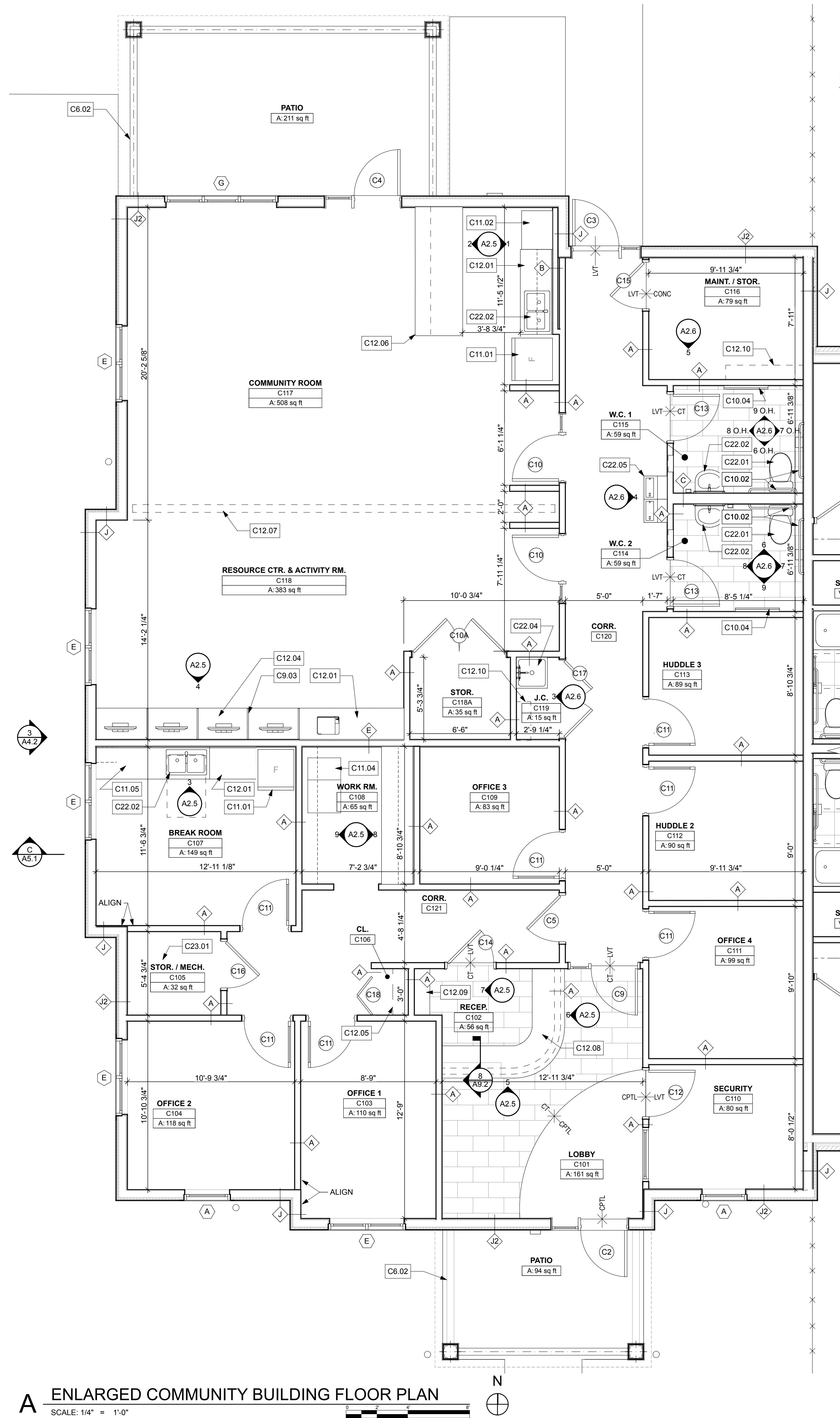
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EXPIRATION DATE: 11.30.2024

SHEET NAME
BUILDING B - ROOF PLAN

PROJECT NUMBER XXXXX	SHEET NUMBER A2.4
WJW PROJECT NUMBER 21898	DRAWN BY CA/JC/JT/TT
CHECKED BY EG	



#	NOTE	#	NOTE	#	NOTE
C10.07	TOILET PAPER DISPENSER. SEE ACCESSORIES SCHEDULE.	C12.08	RECEPTION DESK. SEE INTERIOR ELEVATIONS, MILLWORK NOTES, AND FINISH SCHEDULE.	C26.01	LIGHT FIXTURE. SEE REFLECTED CEILING PLANS AND ELECTRICAL.
C10.08	SOAP DISPENSER. SEE ACCESSORIES SCHEDULE.	C12.09	FLOATING SHELVES. SEE FINISH SCHEDULE & INTERIOR ELEVATIONS.	C26.02	WALL MOUNTED SWITCH FOR UNDERCABINET LIGHT. SEE ELECTRICAL.
C10.09	PAPER TOWEL DISPENSER. SEE ACCESSORIES SCHEDULE.	C12.10	WIRE SHELVING, TYP. SEE ACCESSORIES SCHEDULE & INTERIOR ELEVATIONS.	C26.03	WALL MOUNTED TV CONNECTION AT 5'-0" A.F.F. SEE ELECTRICAL. TV BY OWNER.
C11.01	REFRIGERATOR. SEE APPLIANCE SCHEDULE AND INTERIOR ELEVATIONS.	C12.11	CORDLESS WINDOW BLINDS, TYP. SEE ACCESSORIES SCHEDULE.	C26.04	INTERCOM ENTRY SYSTEM TIED TO EACH TENANT'S PHONE. SEE DOOR SCHEDULE AND COORDINATE W/ OWNER'S LOW VOLTAGE/ SECURITY CONSULTANT.
C11.02	COMBO WALL MICROWAVE / OVEN. SEE APPLIANCE SCHEDULE.	C22.01	ADA-COMPLIANT, LOW FLOW TOILET. SEE PLUMBING.		
C11.03	LAUNDRY EQUIPMENT BY OWNER. SEE PLUMBING & ELECTRICAL FOR CONNECTIONS.	C22.02	SINK. SEE PLUMBING.		
C11.04	PRINTER / COPIER BY OWNER.	C22.03	LAUNDRY TUB. SEE PLUMBING.		
C11.05	MICROWAVE. SEE APPLIANCE SCHEDULE & INTERIOR ELEVATIONS.	C22.04	MOP BASIN. SEE PLUMBING.		
C12.01	CABINETS & COUNTERTOPS W/ SIDESPLASHES & BACKSPASH. SEE INTERIOR ELEVATIONS, MILLWORK NOTES, & FINISH SCHEDULE.	C22.05	DRINKING FOUNTAIN. SEE INTERIOR ELEVATIONS & PLUMBING.		
C12.02	COUNTERTOP W/ SIDESPLASHES & BACKSPASH. SEE INTERIOR ELEVATIONS, MILLWORK NOTES, & FINISH SCHEDULE.	C22.06	PROTECTIVE PIPE COVER. SEE ACCESSORIES SCHEDULE.		
C12.03	PLAM SHELF & FOLDING TABLE. SEE INTERIOR ELEVATIONS, MILLWORK NOTES, & FINISH SCHEDULE. PROVIDE SUPPORT BRACKETS AT 4'-0" O.C. MAX.	C23.01	MEP EQUIPMENT. SEE MEP DRAWINGS.		
C12.04	PLAM COMPUTER STATION W/ FINISHED GROMMETS. SEE INTERIOR ELEVATIONS, MILLWORK NOTES, & FINISH SCHEDULE. PROVIDE SUPPORT BRACKETS AT 3'-0" O.C. MAX.				
C12.05	WIRE SHELVING & ROD. TYP. SEE ACCESSORIES SCHEDULE.				
C12.06	COUNTERTOP OVERHANG. PROVIDE L-BRACKET SUPPORTS. SEE INTERIOR ELEVATIONS.				
C12.07	FOLDABLE ACOUSTIC PARTITION WALL SYSTEM ATTACHED TO ROOF TRUSSES ABOVE. SEE ACCESSORIES SCHEDULE & STRUCTURAL.				

A ENLARGED COMMUNITY BUILDING FLOOR PLAN
SCALE: 1/4" = 1'-0"

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2. SEE INDICATED UNIT PLANS FOR MORE DETAIL INFORMATION, INCLUDING DIMENSIONS & WALL TYPE TAGS INSIDE UNITS.
3. ALL AREAS SHOWN ON FLOOR PLANS ARE NET INTERIOR AREAS. TAKEN FROM INSIDE FACE OF EXTERIOR & DEMISING WALLS, U.N.O.
4. VERIFY ALL DIMENSIONS IN THE FIELD. AFTER DRYWALL INSTALLED, BEFORE ORDERING CABINETS & SHELVING.
5. SEE ACCESSIBILITY NOTES & DIAGRAMS ON SHEET A6.1.
6. SEE SHEET A3.1 FOR WALL TYPE DETAILS.
7. FURNITURE SHOWN FOR REFERENCE ONLY. ALL FURNITURE BY OWNER.

NO.	ISSUED FOR	DATE
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2	100% DESIGN DEVELOPMENT	09/30/24

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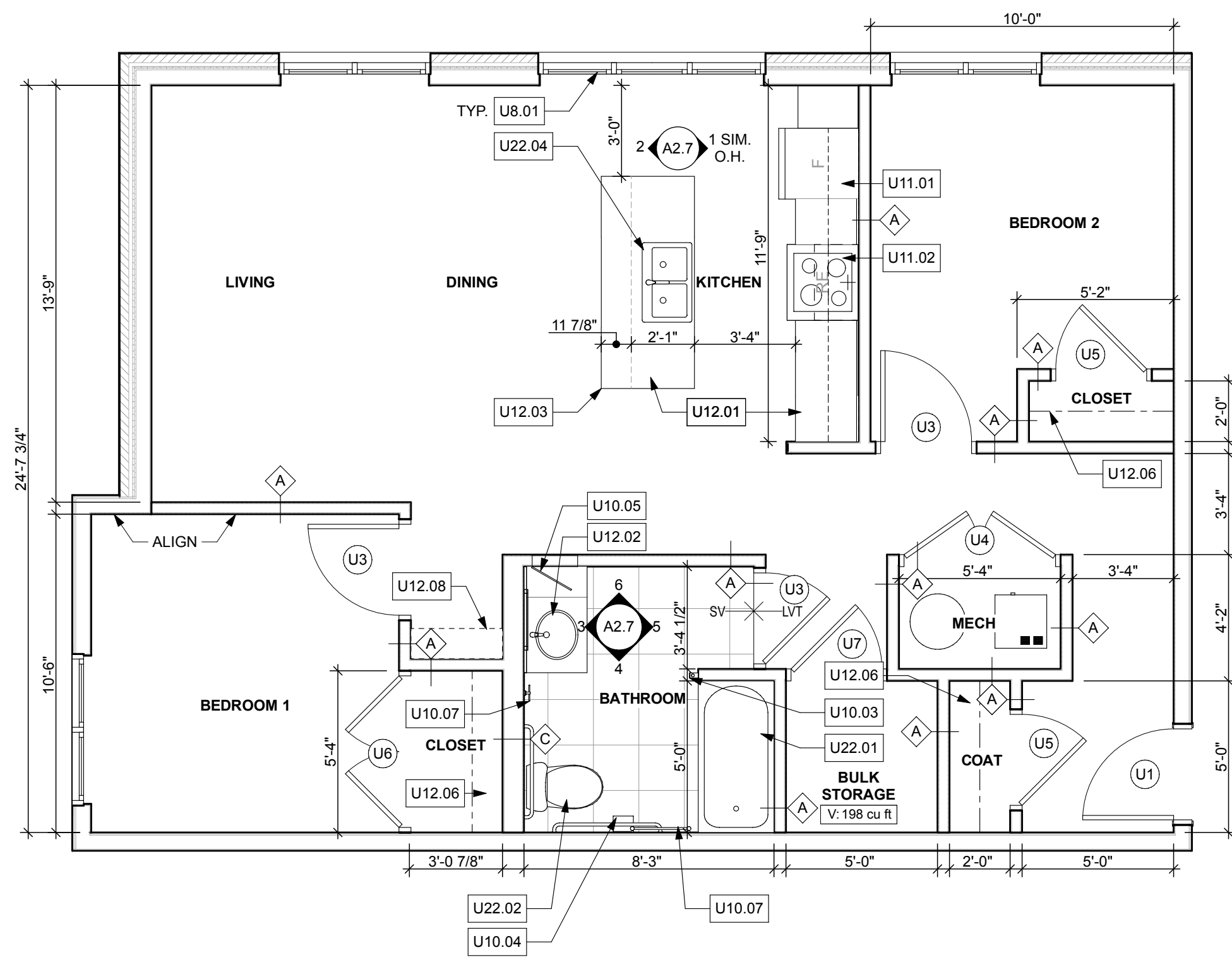
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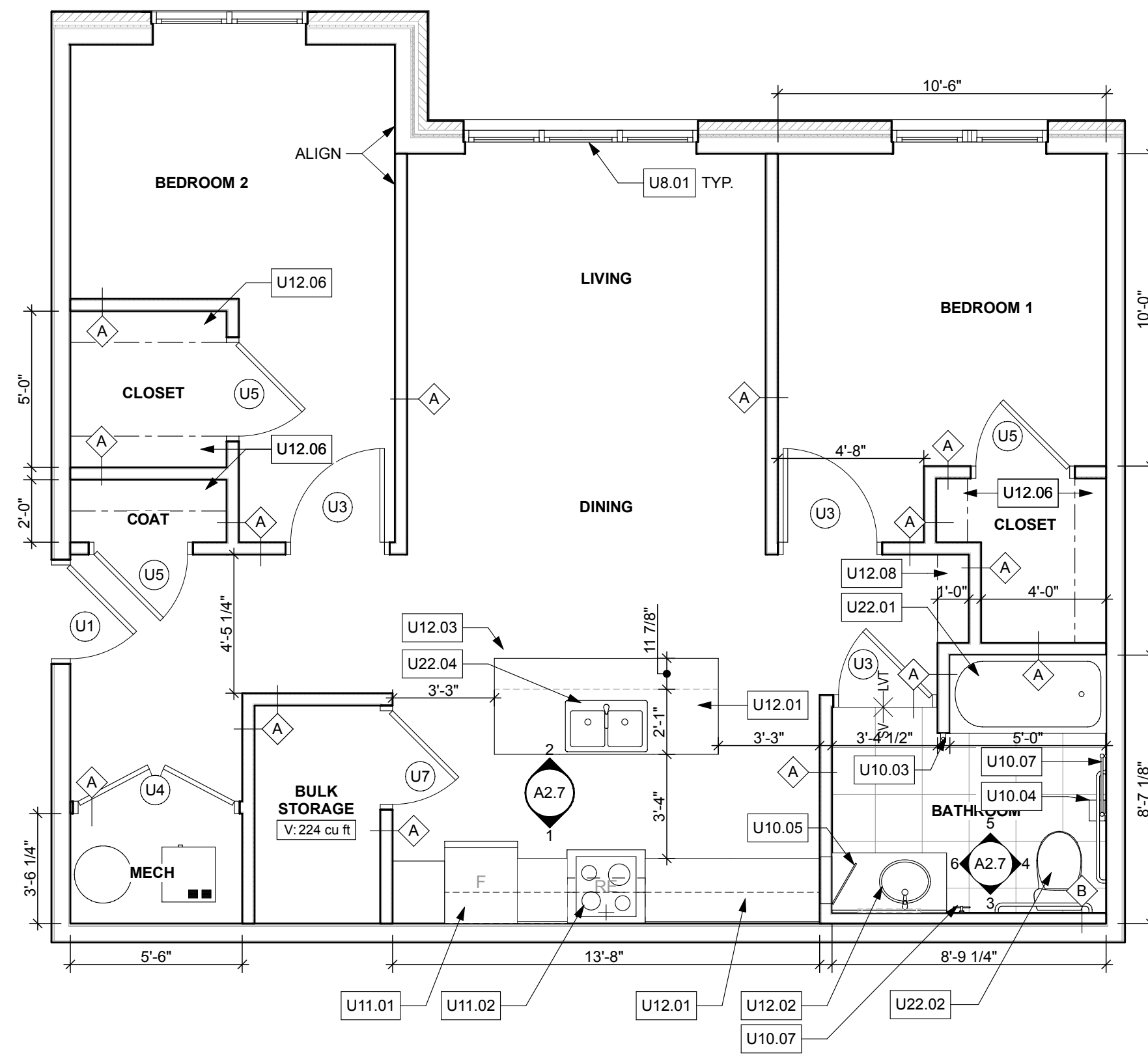
EXPIRATION DATE: 11.30.2024
SHEET NAME

ENLARGED COMMUNITY BUILDING FLOOR PLAN

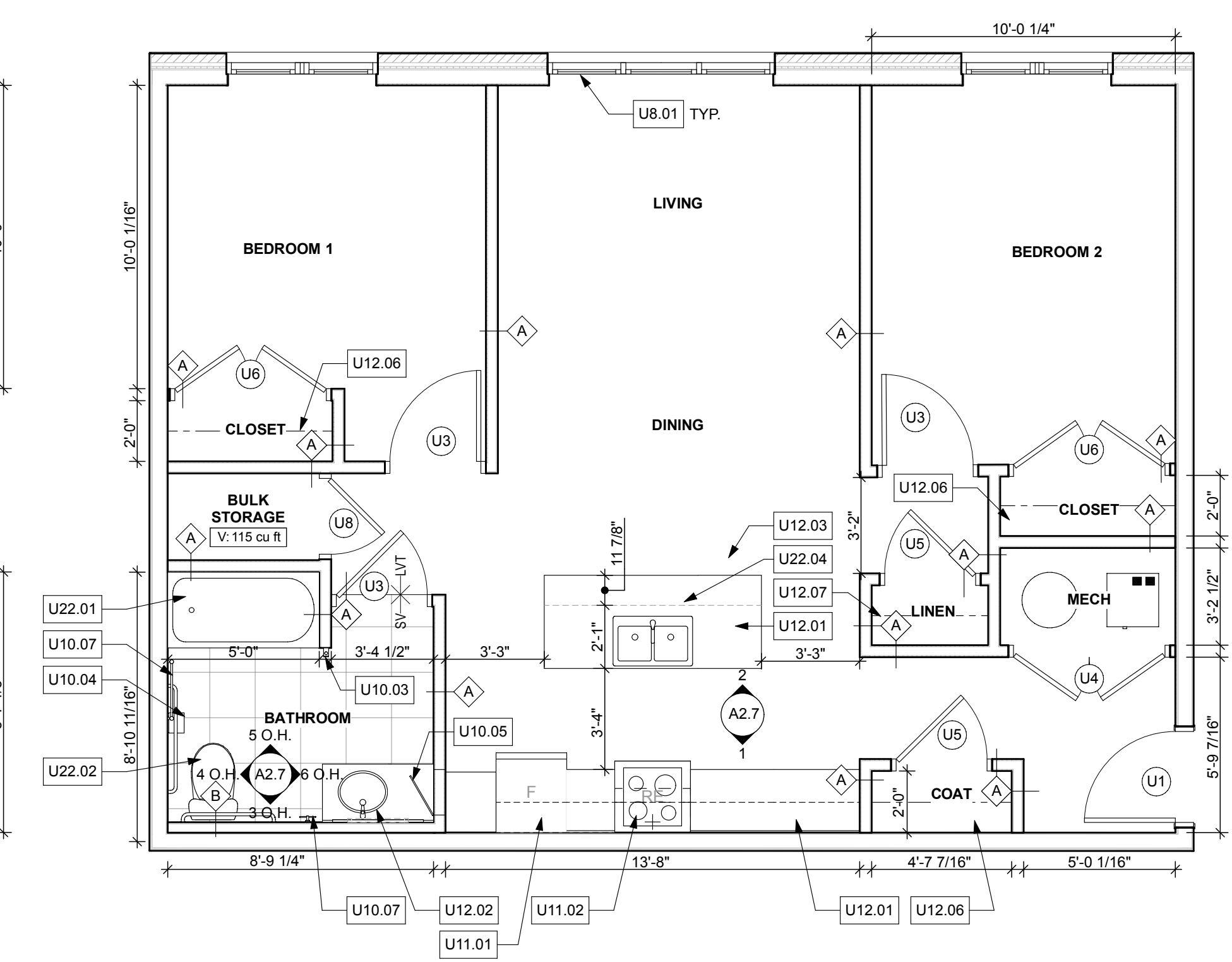
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WJW PROJECT NUMBER 21898	CHECKED BY EG
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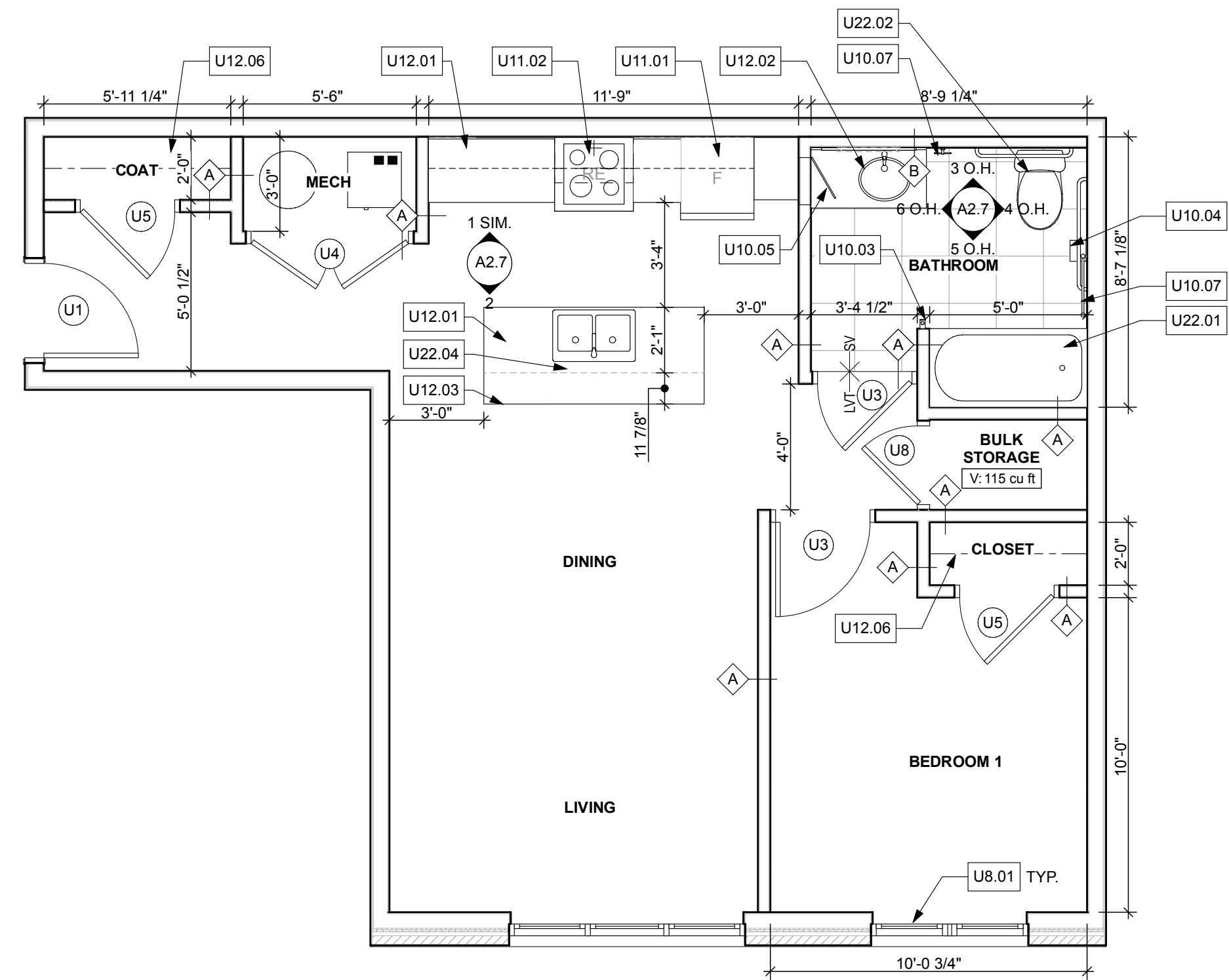
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SCALE: 1/4" = 1'-0"



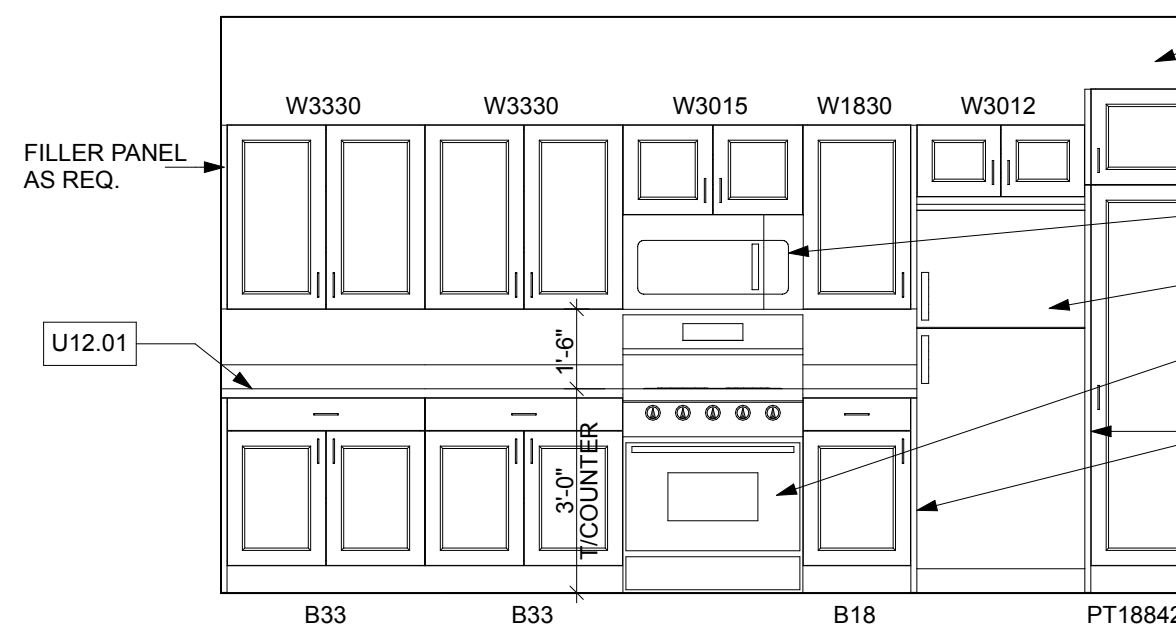
B 2 BR TYPE 2 - TYPICAL (TYPE B COMPLIANT @ FIRST FLOOR UNITS)
SCALE: 1/4" = 1'-0"



C 2 BR TYPE 3 - TYPICAL (TYPE B COMPLIANT @ FIRST FLOOR UNITS)
SCALE: 1/4" = 1'-0"

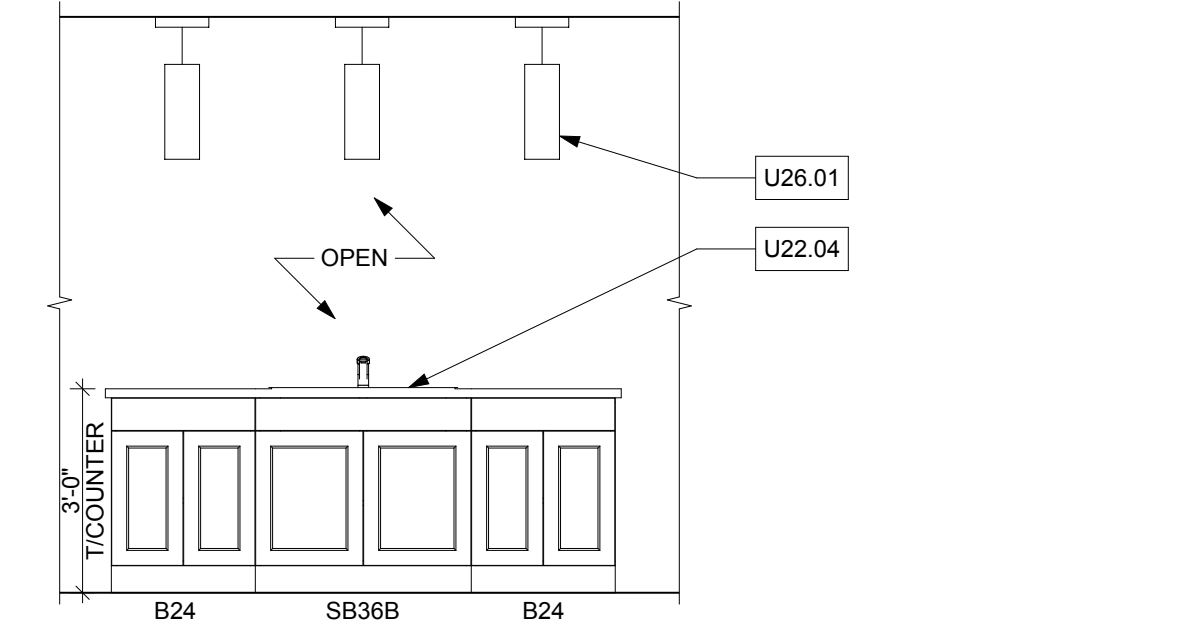


D 1 BR TYPE 1 - TYPICAL (TYPE B COMPLIANT @ FIRST FLOOR UNITS)
SCALE: 1/4" = 1'-0"



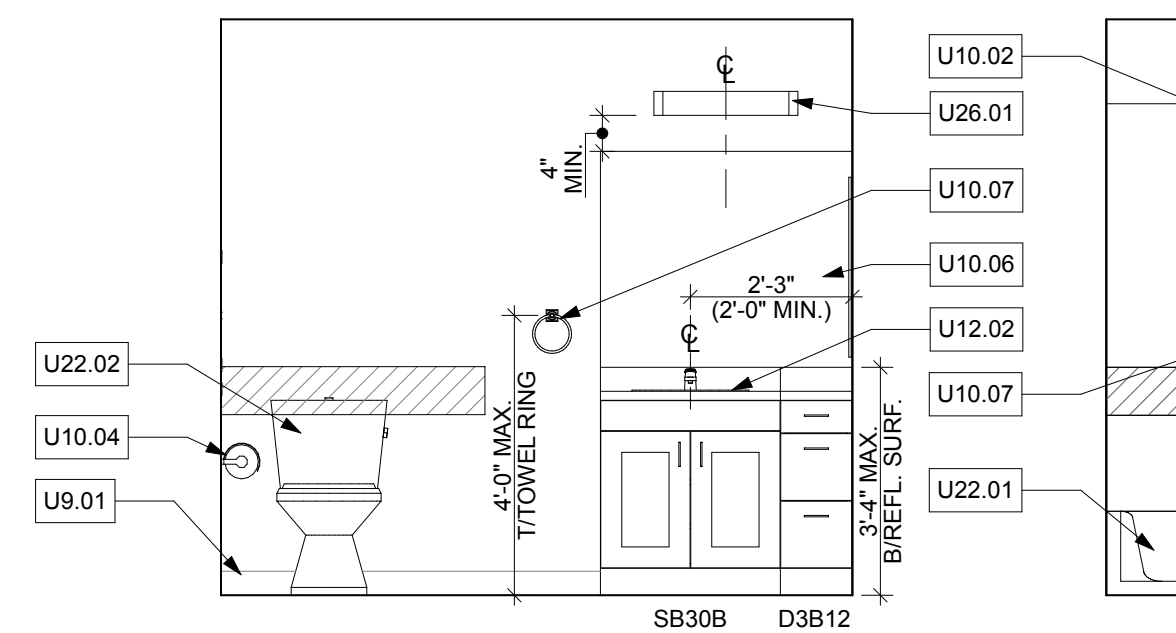
1 KITCHEN - TYPICAL

SCALE: 3/8" = 1'-0"



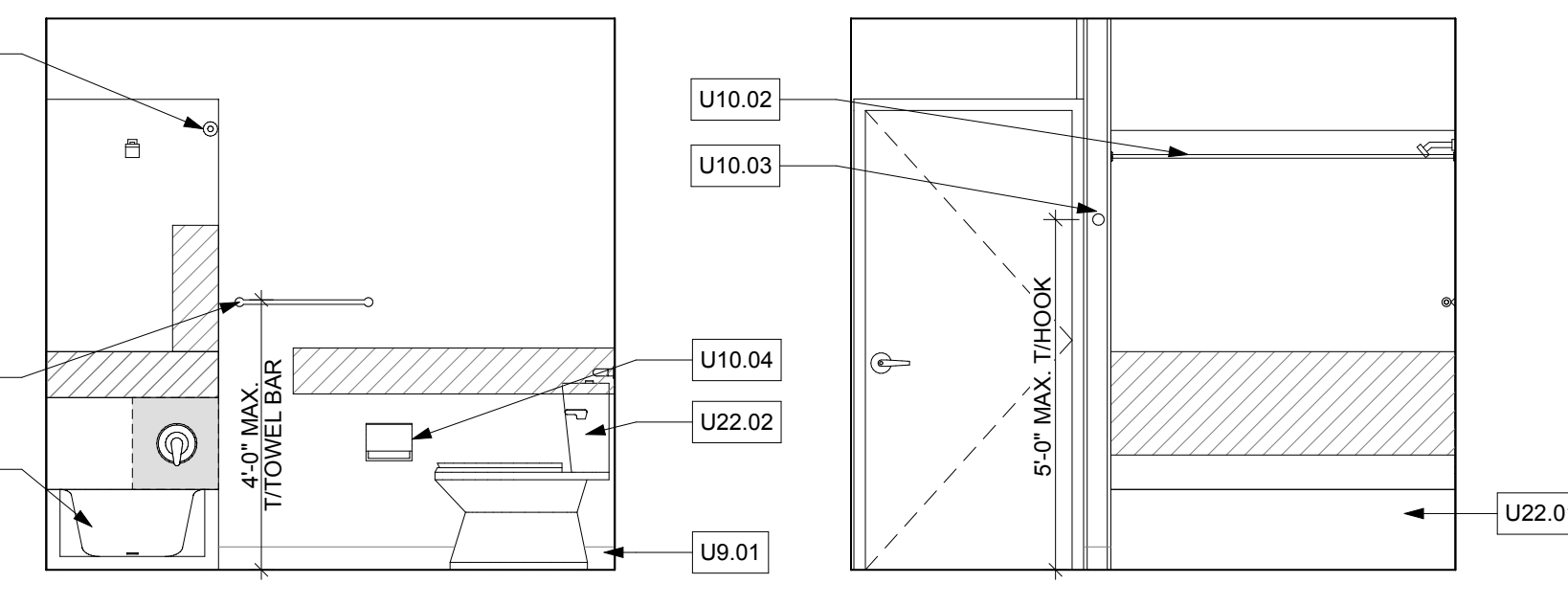
2 KITCHEN - TYPICAL

SCALE: 3/8" = 1'-0"



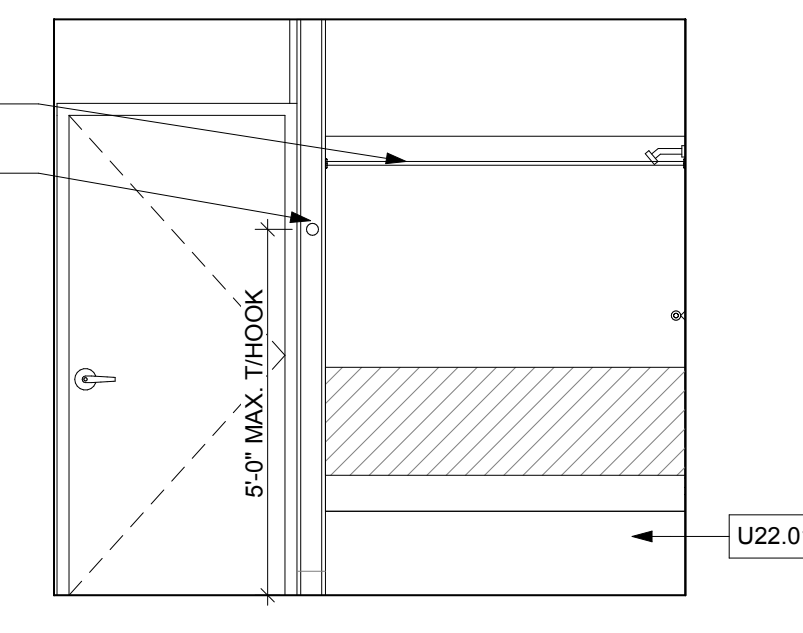
3 BATH - TYPICAL

SCALE: 3/8" = 1'-0"



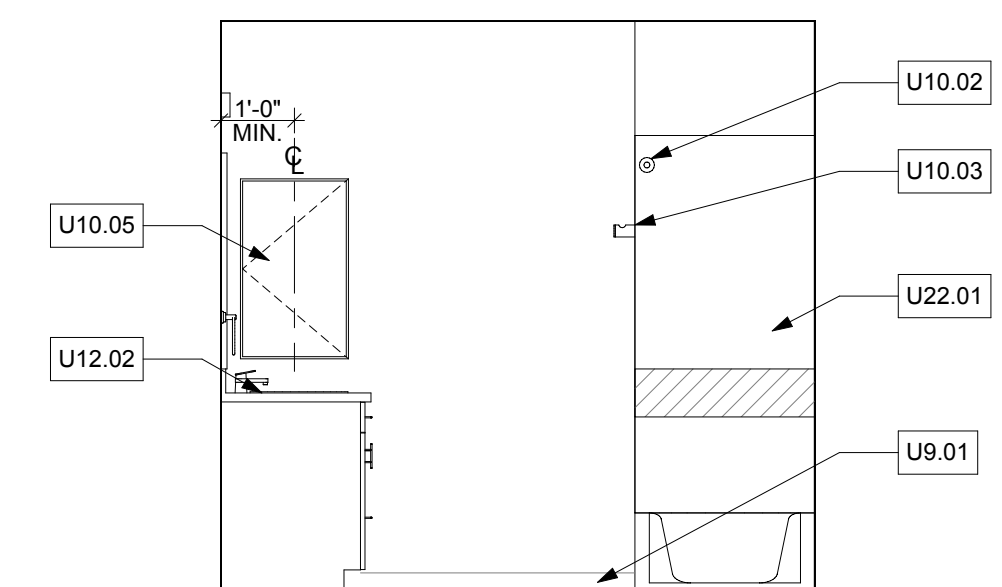
4 BATH - TYPICAL

SCALE: 3/8" = 1'-0"



5 BATH - TYPICAL

SCALE: 3/8" = 1'-0"



6 BATH - TYPICAL

SCALE: 3/8" = 1'-0"

UNIT PLAN KEYNOTE SCHEDULE

#	NOTE
U8.01	ENERGY STAR RATED WINDOW. SEE OVERALL PLAN AND WINDOW SCHEDULE.
U9.01	SCHEDULED WALL BASE. SEE FINISH SCHEDULE. WALL BASE TO CONTINUE BEHIND ALL REMOVABLE BASE CABINETS.
U9.02	GYP. BOARD SOFFIT. SEE REFLECTED CEILING PLANS.
U10.01	GRAB BAR WITH AREA OF BLOCKING BEHIND. SEE A6.1 FOR REQUIREMENTS. SEE ACCESSORIES SCHEDULE.
U10.02	SHOWER CURTAIN ROD. SEE ACCESSORIES SCHEDULE.
U10.03	ROBE HOOK. SEE ACCESSORIES SCHEDULE.
U10.04	TOILET PAPER DISPENSER. SEE ACCESSORIES SCHEDULE & ACCESSIBILITY DIAGRAMS ON A6.1.
U10.05	MEDICINE CABINET. SEE ACCESSORIES SCHEDULE.
U10.06	MIRROR. SEE ACCESSORIES SCHEDULE.
U10.07	TOWEL BAR OR RING W/ AREA OF BLOCKING BEHIND. TYP. SEE ACCESSORIES SCHEDULE.
U10.08	FOLD-DOWN TUB SEAT. SEE ACCESSORIES SCHEDULE.
U11.01	REFRIGERATOR. SEE APPLIANCE SCHEDULE AND INTERIOR ELEVATIONS.
U11.02	RANGE. SEE APPLIANCE SCHEDULE, INTERIOR ELEVATIONS, & ELECTRICAL.
U11.03	RANGE HOOD W/ FAN & LED LIGHT SWITCHED SEPARATELY TO WALL. SEE APPLIANCE SCHEDULE, INTERIOR ELEVATIONS, & ELECTRICAL.
U11.04	MICROWAVE. SEE APPLIANCE SCHEDULE.
U11.05	MICROHOOD. SEE APPLIANCE SCHEDULE, INTERIOR ELEVATIONS, & ELECTRICAL.
U12.01	CABINETS AND P-LAM COUNTERTOPS W/ SIDESPLASHES & BACKSPLASH. SEE INTERIOR ELEVATIONS, MILLWORK NOTES, AND FINISH SCHEDULE.
U12.02	VANITY CABINET WITH CULTURED MARBLE TOP & INTEGRAL BOWL, SIDESPLASH, BACKSPLASH, LOW FLOW FAUCET. SEE INTERIOR ELEVATIONS, MILLWORK NOTES, & PLUMBING.
U12.03	COUNTERTOP OVERHANG. PROVIDE L-BRACKET SUPPORTS.
U12.04	WALL HUNG BASE CABINETS (SHOWN HATCHED) W/ VALENCE, APRON, & ANGLED WALL BRACKETS TO MATCH CABINETS BEYOND. SEE KNEE SPACE DIAGRAM 2/A6.1.
U12.05	REMOVABLE BASE CABINETS (SHOWN SHADED) W/ ANGLED WALL BRACKETS TO MATCH CABINETS BEYOND. SEE REMOVABLE CABINETS DIAGRAMS.
U12.06	WIRE SHELVING & ROD, TYP. SEE ACCESSORIES SCHEDULE.
U12.07	WIRE SHELVING, TYP. SEE ACCESSORIES SCHEDULE.
U12.08	BUILT-IN SHELVING, TYP. SEE INTERIOR ELEVATIONS.
U22.01	TUB & SURROUND W/ BUILT-IN BLOCKING FOR GRAB BAR INSTALLATION, TYP. SEE PLUMBING.
U22.02	TOILET W/ FLUSH LEVER LOCATED ON OPEN SIDE, NOT ADJACENT TO WALL. SEE PLUMBING.
U22.03	ADA-COMPLIANT, LOW FLOW HANDHELD SHOWERHEAD & OFFSET CONTROLS. SEE PLUMBING.
U22.04	KITCHEN SINK. SEE PLUMBING.
U26.01	LIGHT FIXTURE. SEE REFLECTED CEILING PLANS AND ELECTRICAL.
U26.02	WALL MOUNTED ROCKER SWITCHES FOR RANGEHOOD FAN & LIGHT. SEE ELECTRICAL.
U26.03	UNDERCABINET LIGHT. SEE RCPS & ELECTRICAL.
U28.01	HARD-WIRED A/V DOORBELL AT SENSORY IMPAIRED UNITS XXX, XXX, & XXX. SEE ACCESSORIES SCHEDULE AND ELECTRICAL.
U28.02	A/V FIRE ALARM STROBES FOR SENSORY IMPAIRED UNITS XXX, XXX, & XXX. SEE ELECTRICAL.

HOPE MANOR VILLAGE JOLIET

1301 Copperfield Ave. / 1200 Maple Rd. Joliet, IL 60432

WJW Architects

401 W. Superior St., Suite 400 Chicago, IL 60654
312-642-5587 www.wjwarchitects.com

CONSULTANT INFORMATION:

GENERAL NOTES:

- FURN. LAYOUTS SHOWN FOR REFERENCE ONLY. FINAL FURNITURE & CONFIGURATION WILL BE BY INDIVIDUAL RESIDENTS.
- SEE ACCESS. NOTES & DIAGRAMS ON A6.1.
- FLOORING TRANSITIONS ARE NOTED FOR LOCATION REFERENCE ONLY.
- SEE OVERALL FLOOR PLANS FOR LOCATIONS OF UFAS/IA/CANSI ADAPTABLE & UFAS/IA/CANSI ACCESS. UNITS.
- HANDLING OF UNITS (INCL. KITCHENS & BATHS) VARIES BASED ON LOCATION IN BUILDING. SEE OVERALL FLOOR PLANS FOR UNIT HANDLING.
- SEE FLOOR PLANS FOR WALL TYPE TAGS FOR EXTERIOR & DEMISING WALLS & THOSE NOT SHOWN HERE.
- VERIFY ALL DIMS. IN THE FIELD, AFTER DRYWALL INSTALLED, BEFORE ORDERING CABINETS & SHELIVING.

NO.	ISSUED FOR	DATE
1	75% DESIGN DEVELOPMENT	09/09/24
2	100% DESIGN DEVELOPMENT	09/30/24

NOT FOR CONSTRUCTION

PROFESSIONAL DESIGN FIRM REGISTRATION #184 002555
©2024 WJW ARCHITECTS

STAMP

EXPIRATION DATE: 11.30.2024

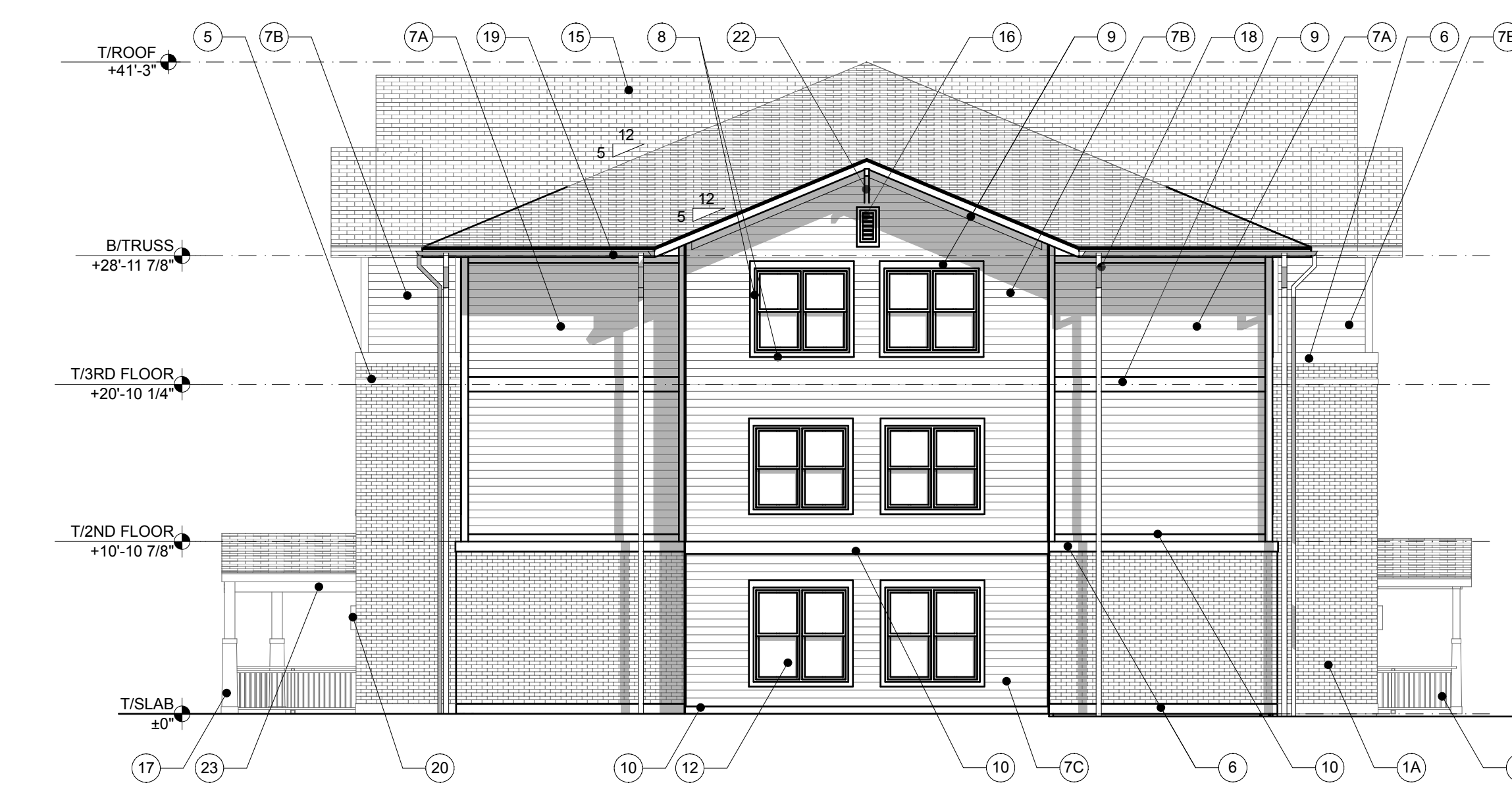
SHEET NAME

UNIT PLANS - TYPICAL

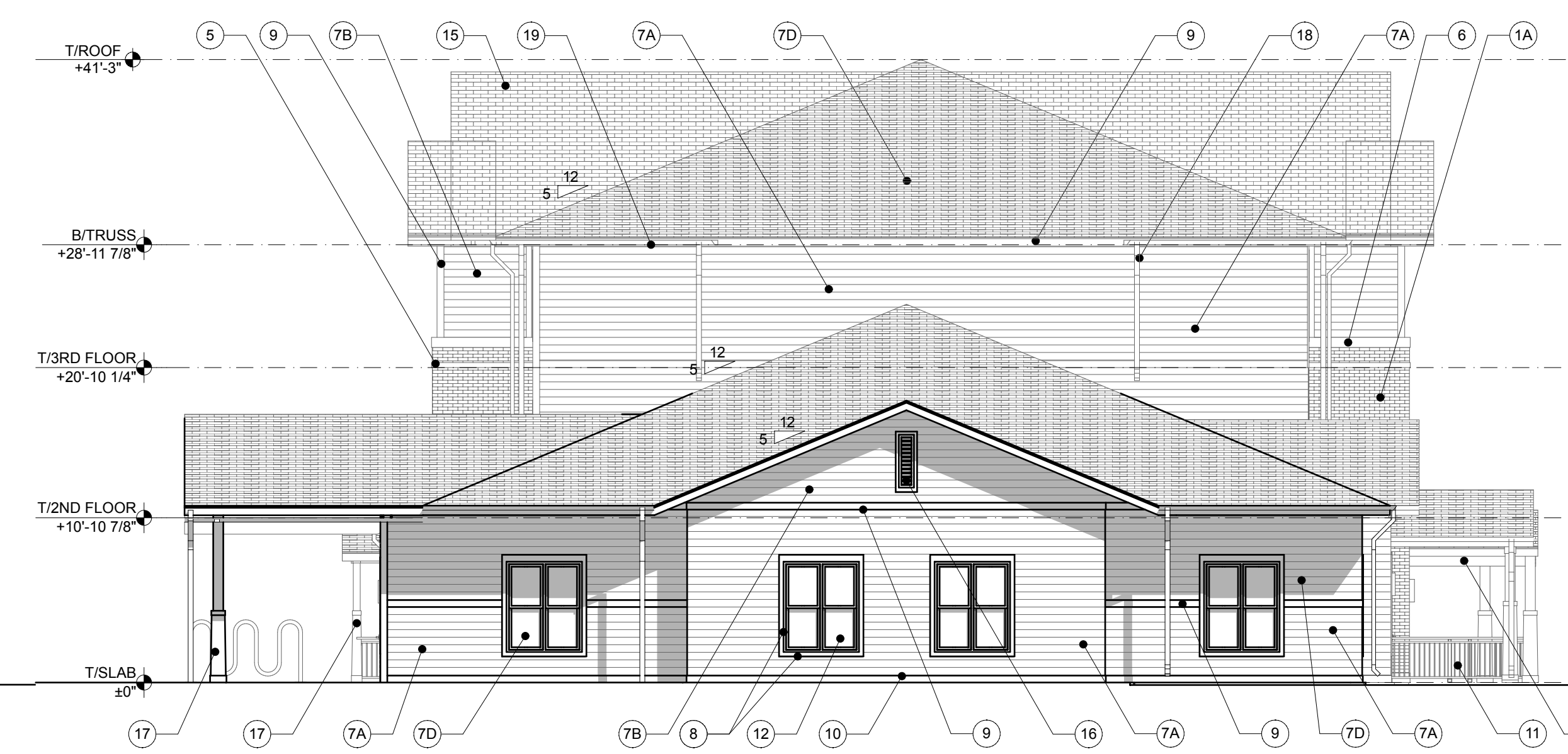
PROJECT NUMBER	SHEET NUMBER
XXXXX	A2.7
WJW PROJECT NUMBER	DRAWN BY
21898	CA/JC/JT/TT
PROJECT NUMBER	CHECKED BY
21898	EG



1 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



2 EAST ELEVATION
SCALE: 1/8" = 1'-0"



3 WEST ELEVATION
SCALE: 1/8" = 1'-0"



4 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

ELEVATION MATERIAL KEY

- 1A - FACE BRICK #1 - 3 5/8"(H) x 3 5/8"(D) x 11 5/8"(L) - MANUF., COLOR & TEXTURE BY ARCHITECT
- 1B - FACE BRICK #2 - 3 5/8"(H) x 3 5/8"(D) x 11 5/8"(L) - MANUF., COLOR & TEXTURE BY ARCHITECT
- 2 - FULL DEPTH EXP. JOINT W/SEALANT AND BACKER ROD - COLOR BY ARCH.
- 3 - 3 5/8" (H) CAST STONE SILL - ACCUCAST STONE - SMOOTH FINISH - COLOR BY ARCH.
- 4 - 7 5/8" (H) CAST STONE HEAD TRIM, ACCUCAST STONE - SMOOTH FINISH - COLOR BY ARCH.
- 5 - 3 5/8" (H) CAST STONE TRIM BAND - ACCUCAST STONE - SMOOTH FINISH - COLOR BY ARCH.
- 6 - 7 5/8" (H) CAST STONE TRIM BAND - ACCUCAST STONE - SMOOTH FINISH - COLOR BY ARCH.
- 7A - JAMES HARDIE "HARDIEPLANK" COLOR #1 - FIBER CEMENT LAP SIDING, SMOOTH FINISH COLORPLUS, 4" EXPOSURE - COLOR(S) BY ARCH. FROM MANUF. FULL RANGE
- 7B - JAMES HARDIE "HARDIEPLANK" COLOR #2 - SAME AS 7A - COLOR(S) BY ARCH.
- 7C - JAMES HARDIE "HARDIEPLANK" COLOR #3 - SAME AS 7A-COLOR(S) BY ARCH.
- 7D - JAMES HARDIE "HARDIEPLANK" COLOR #4 - SAME AS 7A-COLOR(S) BY ARCH.
- 8 - 3 1/2" FIBER CEMENT TRIM BOARD - JAMES HARDIE 5/4 "HARDIETRIM" NT3 BOARDS, SMOOTH FINISH - COLOR(S) BY ARCH. FROM MANUF. FULL RANGE
- 9 - 5 1/2" FIBER CEMENT TRIM BOARD - JAMES HARDIE 5/4 "HARDIETRIM" NT3 BOARDS, SMOOTH FINISH - COLOR(S) BY ARCH. FROM MANUF. FULL RANGE
- 10 - 7 1/4" FIBER CEMENT TRIM BOARD - JAMES HARDIE 5/4 "HARDIETRIM" NT3 BOARDS, SMOOTH FINISH - COLOR(S) BY ARCH. FROM MANUF. FULL RANGE
- 11 - 3" HIGH VINYL RAIL W/ SQUARE BALUSTERS, 6" O.C. POST SPACING - VEKA INTERLOCKING PRIVACY FENCE
- 12 - PRE-FINISHED FIBERGLASS WINDOW UNIT - SEE WINDOW SCHEDULE
- 13 - PRE-FINISHED ALUMINUM STOREFRONT GLASS DOOR W/ SIDELIGHT AND TRANSOM - SEE DOOR SCHEDULE
- 14 - PRE-FINISHED FIBERGLASS ENTRY DOOR W/ SIDELIGHT - SEE DOOR SCHEDULE
- 15 - ASPHALT SHINGLE ROOFING - COLOR BY ARCH. - SEE ROOF PLAN
- 16 - PRE-FINISHED DECORATIVE GABLE VENT - COLOR BY ARCH.
- 17 - FIBER CEMENT WRAPPED COLUMN - SEE STRUCTURAL AND ARCHITECTURAL DETAILS
- 18 - PRE-FINISHED ALUMINUM GUTTER AND DOWNSPOUT - COLOR BY ARCH. - SEE ROOF PLAN
- 19 - PRE-FINISHED ALUMINUM FASCIA - COLOR BY ARCH. - SEE ROOF PLAN
- 20 - WALL MOUNTED LIGHT FIXTURE - SEE ELECTRICAL
- 21 - FIBER CEMENT WRAPPED ROOF BRACKET - COLOR BY ARCH.
- 22 - FIBER CEMENT WRAPPED RAFTER TAIL - COLOR BY ARCH.
- 23 - FIBER CEMENT WRAPPED BEAMS - COLOR BY ARCH.
- 24 - ADDRESS SIGNAGE - SEE ACCESSORIES SCHEDULE. CONFIRM LOCATION & SIZE W/ AHJ
- 25 - MECHANICAL ROOF WELL W/ 4'-0" (H) METAL GUARD RAIL

HOPE MANOR VILLAGE JOLIET
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CONSULTANT INFORMATION:

GENERAL NOTES:

NO.	ISSUED FOR	DATE
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2	100% DESIGN DEVELOPMENT	09/30/24

NOT FOR CONSTRUCTION

PROFESSIONAL DESIGN FIRM REGISTRATION #184 002555
©2024 WJW ARCHITECTS

STAMP

EXPIRATION DATE: 11.30.2024
SHEET NAME

BUILDING B - EXTERIOR ELEVATIONS

PROJECT NUMBER XXXXX	SHEET NUMBER A4.2
WJW PROJECT NUMBER 21898	DRAWN BY CA/JC/JT/TT
DRAWN BY CA/JC/JT/TT	CHECKED BY EG

CASE NO. _____

DATE FILED: _____

**CITY PLAN COMMISSION
JOLIET, ILLINOIS**

**PETITION FOR A PLANNED UNIT DEVELOPMENT
(Check One)**

Preliminary
 Final

NAME OF PUD: Hope Manor Village Joliet

NAME OF PETITIONER: Volunteers of America of Illinois (VOA Illinois)

HOME ADDRESS: _____

CITY, STATE, ZIP: _____

HOME PHONE: _____

CELL #: (312) 564-2310 E-MAIL: nhughes@voail.org

BUSINESS ADDRESS: 47 W Polk Street, Suite 250

CITY, STATE, ZIP: Chicago, IL 60605

BUSINESS PHONE: (312) 564-2310

INTEREST OF PETITIONER: Buyer and developer of the property

NAME OF LOCAL AGENT: _____

ADDRESS: _____ PHONE: _____

OWNER: Silver Cross Hospital & Medical Center & Midwest Commercial Real Estate

HOME ADDRESS: _____

CITY, STATE, ZIP: _____

HOME PHONE: _____

CELL #: _____ E-MAIL: mjepson@silvercross.org

BUSINESS ADDRESS: 1900 Silver Cross Boulevard PHONE: _____

CITY, STATE, ZIP: New Lenox, IL 60451

BUSINESS PHONE: (815) 300-7004

ENGINEER: Twig Technologies

ADDRESS: 129 Capista Drive, Shorewood, IL 60404 PHONE: (815) 744-6600

LAND SURVEYOR: Twig Technologies

ADDRESS: 129 Capista Drive, Shorewood, IL 60404 PHONE: (815) 744-6600

ATTORNEY: Applegate & Thorne-Thomsen

ADDRESS: 425 S. Financial Place, Suite 1900, Chicago, IL 60605 PHONE: (312) 491-4428

LEGAL DESCRIPTION OF PROPERTY: See attached.

COMMON ADDRESS: 1301 Copperfield Avenue, Joliet, IL 60432

PERMANENT INDEX NUMBER (Tax No.): 30-07-11-201-035-0000 and Part of 30-07-11-201-045-0000

SIZE: 2.11 acres

NO. OF LOTS: 2

PRESENT USE: vacant land EXISTING ZONING: R-B

USES OF SURROUNDING PROPERTIES: North: vacant land

South: business/residential

East: residential

West: vacant land

Name of Park District: Joliet Park District

Date Contacted Park District: 10/15/2024, spoke to Brad Staab

Is any open space/park site being offered as part of a preliminary PUD? No

If yes, what amount? N/A

(Acknowledgment by Park District Official) The subject property is situated in the Des Plaines River Valley Enterprise Zone, east of Raynor Ave and Brandon Rd. Per Section 8.9 of the City's Subdivision Regulations, this property is exempt from all regulatory requirements.

Has the Zoning Board of Appeals granted any variance, exception, or special permit concerning this property?

Yes No If yes, list the Case number and name: _____

Is any variance from the Subdivision Regulations being requested? Yes No

If yes, describe: _____

Attach ten (10) copies of the plat to this petition.

List all contiguous holdings in the same ownership (as defined in the Subdivision Regulations) by permanent index numbers: 30-07-11-201-035-0000 and part of 30-07-11-201-045-0000

Attached hereto is an affidavit of ownership indicating the dates the respective holdings of land were acquired, together with the book and page of each conveyance to the present owner as recorded in the Will County Recorder of Deeds office. This affidavit shall indicate the legal owner of the property, the contract owner of the property, and the date the contract of sale was executed.

In the event the property is held in trust: A list of all individual beneficial owners of the trust must be attached.

In the event of corporate ownership: A list of all directors, officers, and stockholders of each corporation owning more than five percent (5%) of any shares of stock must be attached.

STATE OF ILLINOIS) ss
COUNTY OF WILL)

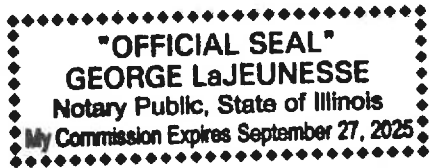
I, Marco Murillo, hereby depose and say that all of the above statements and the statements contained in the papers submitted herewith are true. I agree to be present in person or by representation when this is heard by the Plan Commission.

Date: 10/18/2024 Marco Munilo on behalf of VOA Illinois
Petitioner's Name

Subscribed and sworn to before me this 18 day of October, 20 24

George LaJeunesse
Notary Public

September 27, 2025
My Commission Expires:



LEGAL DESCRIPTION

THE SOUTH 200 FEET OF LOTS 1 AND 2, AND THE SOUTH 175 FEET OF LOTS 3 AND 4, AND THE SOUTH 188 FEET OF LOT 5 (EXCEPT THE NORTH 20 FEET OF THE WEST 15 FEET THEREOF) AND THE EASTERLY 21 FEET OF THE SOUTHERLY 160 FEET OF LOT 6 (EXCEPT THE NORTH 24 FEET OF THE WEST 15 FEET THEREOF) IN BLOCK 3; AND ALSO THE SOUTH 175 FEET OF LOT 5 IN BLOCK 5; AND ALSO LOTS 3 AND 4 AND THE SOUTHERLY 200 FEET OF VACATED SQUIRREL STREET LYING NORTH OF COPPERFIELD AVENUE BETWEEN SAID BLOCKS 3 AND 5, ALL IN HICKORY HILLS SUBDIVISION, A SUBDIVISION BY WILLIAM E. GRINTON, OF THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 11, TOWNSHIP 35 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN WILL COUNTY, ILLINOIS.

PIN: 30-07-11-201-035-0000; 30-07-11-201-045-0000

CITY OF JOLIET OWNERSHIP DISCLOSURE FORM

The City of Joliet requires that applicants for zoning relief, subdivision approval, building permits and business licenses disclose the identity of all persons having an ownership interest in the business and the real property associated with the application. A copy of this form must be completed and submitted with other application materials. Failure to properly complete and submit this form may result in the denial of the application.

I. INFORMATION ABOUT THE APPLICATION

This form is submitted as part of an application for the following (check all that apply):

- Rezoning, Special Use Permit, Variation, or Other Zoning Relief (Complete Sections II and III)
- Preliminary Plat, Final Plat, or Record Plat of Subdivision (Complete Sections II and III)
- Building Permit (Complete Sections II and III)
- Business License (Complete All Sections)

II. INFORMATION ABOUT THE PROPERTY

The address and PIN(s) of the real property associated with this application are:

1301 Copperfield Avenue, Joliet, IL 60432

PIN(s): 30-07-11-201-035-0000 and Part of 30-07-11-201-045-0000

III. PROPERTY OWNERSHIP

Select the type of owner of the real property associated with this application and fill in the appropriate contact information below:

- Individual:** State the names, addresses, and phone #'s of the individual owner(s)
- Corporation:** State the names, addresses, and phone #'s of all persons holding 3% or more of the stock of the corporation and the percentage of shares held by such stockholders
- Limited Liability Company:** State the names, addresses, and phone #'s of all members of the company along with the percentage of ownership held by each member
- Land Trust:** State the names, addresses, and phone #'s of the trustee(s) and all beneficiaries
- Partnership:** State the names, addresses, and phone #'s of all partners
- Other type of organization:** State the names, addresses, and phone #'s of all persons having a legal or equitable ownership interest in the organization or the right to direct the affairs of the organization

E-MAIL: _____ FAX: (815) 300-7047

IV. BUSINESS OWNERSHIP

If the owner of the business is different than the owner of the real property associated with the application, then the following information must be provided:

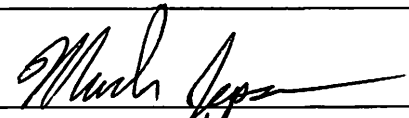
Select the type of business owner associated with this application and fill in the contact information below:

- Individual:** State the names, addresses, and phone #'s of the individual owner(s)
- Corporation:** State the names, addresses, and phone #'s of all persons holding 3% or more of the stock of the corporation and the percentage of shares held by such stockholders
- Limited Liability Company:** State the names, addresses, and phone #'s of all members of the company along with the percentage of ownership held by each member
- Partnership:** State the names, addresses, and phone #'s of all partners
- Other type of organization:** State the names, addresses, and phone #'s of all persons having a legal or equitable ownership interest in the organization

E-MAIL: mjepson@silvercross.org FAX: (815) 300-7047

NOTE:

If a stockholder, member, beneficiary or partner disclosed in Section III or Section IV is not an individual, then the individuals holding the legal or equitable title to the real property or business associated with the application must also be disclosed. For example, if the real property associated with an application is owned by a land trust, and the beneficiary of the land trust is a limited liability company, then the members of the limited liability company must be disclosed. If one of the members of the limited liability company is a partnership, then the identity of the partners must be disclosed. If one of the partners is a corporation, then all persons owning 3% or more of the issued stock must be disclosed.

SIGNED: 

DATE: 10/18/2024

Name, Title, and Telephone Numbers of Person Completing and Submitting This Form:

Mark Jepson
Vice President of Operations, Silver Cross Hospital, (815) 300-7011



47 West Polk Street, Suite 250
Chicago, IL 60605
Tel: 312-564-2300
Fax: 312-564-2301
www.voaindinois.org

Helping America's most vulnerable™

October 18, 2024

James Torri
Director of Planning
City of Joliet
150 W. Jefferson Street
Joliet, IL 60432

RE: Hope Manor Village Joliet, Project Address: 1301 Copperfield Ave, Joliet, IL 60432

Dear Mr. Torri,

Please find below the written material for the Planned Unit Development Petition, which includes the Scope of Development, Phasing of PUD, Financial Plan, Marketing Plan, and Ownership of Open Space.

If you have any additional questions, please feel free to reach me at mmurillo@voail.org or by phone at (312) 521-0833.

Sincerely,

Marco Murillo

Marco Murillo
Senior Director of Real Estate Development

Scope of Development: Site Area, number and types of dwelling units, floor area, open space area, rooms per dwelling unit, etc.

VOA Illinois is submitting a PUD application for Hope Manor Village Joliet, a multifamily supportive living facility proposed at 1301 Copperfield Avenue, Joliet, IL 60432. The site encompasses a 2.11-acre vacant property that was formerly part of the Silver Cross Hospital campus.

The new development will consist of two three-story residential buildings (labeled Building A and Building B in the architectural drawings), with 24 units in each building, resulting in a combined 48 residential units. The unit breakdown will include 4 one-bedroom units and 44 two-bedroom units, with the average net area for a one-bedroom unit being 629 SF and for a two-bedroom unit being 850 SF. In addition to the residential units, Building B will feature a one-story common space that includes offices, meeting rooms, and activity areas, providing essential amenities for residents. Building A will have a total gross floor area of 25,910 SF, while Building B will encompass 28,650 SF.

The project will include two parking areas with a combined 48 parking spaces, as well as 6 additional land banked spaces that can be added if needed. On the north side of the property, a children's playground will provide outdoor recreation opportunities. The total open space area, which includes outdoor recreation and landscaped areas, will be 47,300 SF. These amenities are designed to support the well-being of residents and enhance their quality of life.

This development aims to serve women recovering from addiction, particularly opioid addiction, as well as those who are pregnant or caring for young children. It will offer supportive services such as counseling, recovery groups, and children's programming, ensuring that residents have access to the resources they need for their recovery and overall well-being.

Phasing of PUD: general timeline of expected completion dates.

The construction of the Hope Manor Village Joliet project is anticipated to begin in February 2025, with an expected completion date in May 2026. The entire project will be completed in a single phase, rather than being divided into multiple phases.

Financial Plan

The financial plan for Hope Manor Village Joliet (the "Project") will primarily consist of funding from the Illinois Housing Development Authority (IHDA). This will include: (i) a permanent loan through IHDA's Permanent Supportive Housing program, and (ii) 4% Low-Income Housing Tax Credits (LIHTC). The LIHTC will be sold to CIBC to generate equity proceeds for the Project's development. Additionally, the Project will receive another loan through the Federal Home Loan Bank of Chicago's Affordable Housing Program.

Marketing Plan

The marketing plan for Hope Manor Village Joliet is specifically aimed at reaching individuals who require supportive living arrangements, such as those recovering from addiction, rather than targeting a broader market audience. A dedicated site-based waitlist will be established to manage applications. The waitlist will consist of referrals from the Will County Problem Solving Courts, specifically the Adult Drug Court, Stepping Stones Treatment Center, and the local Joliet DCFS office. Additionally, VOA Illinois is committed to collaborating with other local drug treatment providers and human service organizations to create a strong referral network, ensuring that those who need assistance can access housing and supportive services available at Hope Manor Village Joliet.

Ownership of Open Space

VOA Illinois will own and maintain all open space at 1301 Copperfield Avenue.

